



**SOUTH BURNETT  
REGIONAL COUNCIL**

## FACT SHEET

# Understanding the difference between a dwelling house, secondary dwelling and dual occupancy

### What is a dwelling house?

A dwelling house is generally described as a standalone house that is used for residential use. A dwelling house can also include a secondary dwelling that is commonly known as a granny flat or relative's accommodation.

### Who resides in a dwelling house?

The residential use of a premises can include a dwelling house, a secondary dwelling and any domestic outbuildings associated with the dwelling house that is used for the accommodation of a single household. A household is considered both an individual or a group of two or more related or unrelated people who reside in a dwelling, with the common purpose to live together on a long-term basis.

### What is a secondary dwelling?

A secondary dwelling is a dwelling house that:

- is on the same lot as another dwelling house (the primary dwelling);
- is smaller in size than the primary dwelling;
- is used by the same household as the primary dwelling;
- can be detached or attached to the primary dwelling; and
- can be self-contained.

The SBRC Planning Scheme 2017 requires that a secondary dwelling:

1. is no larger than 70m<sup>2</sup> in gross floor area or 40% of the gross floor area of the primary dwelling, whichever is less; and
2. provides parking for one vehicle with access via the same driveway as the primary dwelling.

A secondary dwelling must be used in conjunction with the primary dwelling and therefore cannot be separately leased or serviced e.g. Air B & B (water, electricity, bins

etc).

Building an additional dwelling house on a lot that will be separately serviced or leased and used by another households is considered a dual occupancy and not a secondary dwelling.

### What do you need to know about a dual occupancy?

A dual occupancy is two separate dwelling houses on a single lot and is commonly known as a duplex. It could also be two dwellings within a single community title or one body corporate scheme.

Dual occupancies allow for each dwelling to be separately serviced or sub-metered. The two dwellings can have a similar gross floor area and separate street addresses/letter boxes.

Please refer to Table 1 on page three of this document for further information on the differences between a dual occupancy and a dwelling house with a secondary dwelling.

### Do I need to make an application?

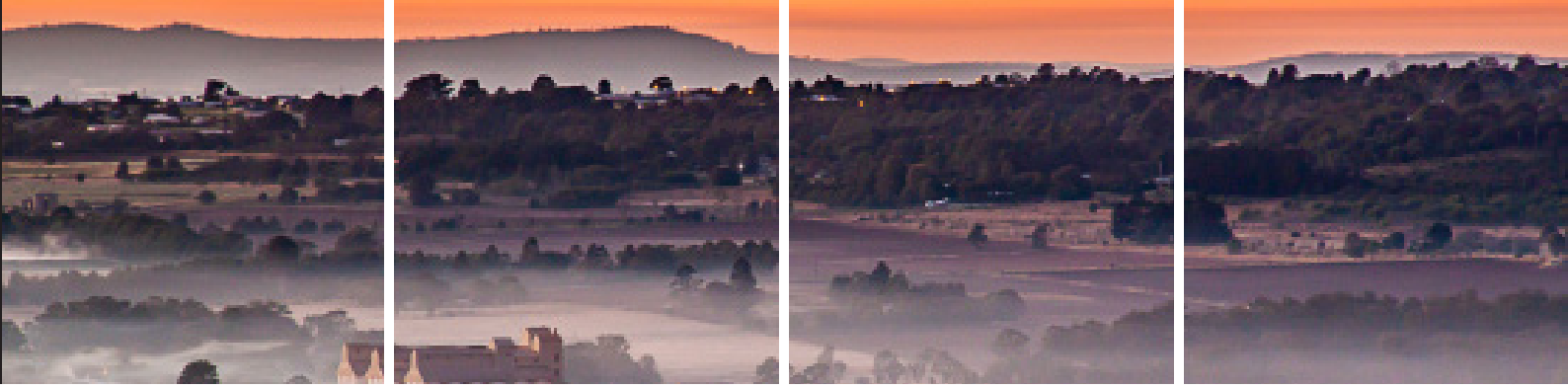
A dwelling house will not require planning approval in all residential zones.

Where a secondary dwelling is proposed on a lot containing an existing dwelling house and it meets the requirements (listed under 'what is a secondary dwelling?'), it will not require planning approval. If the secondary dwelling does not meet these requirements, planning approval is required.

A dual occupancy requires planning approval in all residential zones. This means you will be required to submit a development application to obtain planning approval. A dual occupancy:

- in the medium density residential zone; or
- on a corner block greater than 1000m<sup>2</sup> in the low-density residential zone,

is subject to the requirements of the residential zone code and is subject to



code assessment. All other development applications for a dual occupancy that does not meet these requirements are subject to impact assessment (requiring public notification).

Developments that are within suitable walking distance to the CBD and other essential services is preferred by Council.

A dual occupancy in the rural zone and on land greater than 100 hectares do not require planning approval.

#### **What is the application fee for a secondary dwelling or dual occupancy?**

All assessable development requiring planning approval will have an application fee associated with the development application.

The fee for a development application subject to code assessment is \$1,520.

The fee for a development application subject to impact assessment is \$2,170.

#### **If approved, what conditions apply?**

Conditions of approval will depend on the scale, nature and location of the proposed development. However, conditions may relate to matters including, but not limited to:

- Access
- Connection to services
- Infrastructure works
- Landscaping
- Screening
- Refuse storage

#### **Will I have to pay infrastructure charges for a dwelling house, secondary dwelling, or a dual occupancy?**

Infrastructure charges are not payable for a dwelling house or a secondary dwelling.

Infrastructure charges are payable for a dual occupancy and are to be paid prior to the commencement of the use.

#### **Do I need any other approvals?**

In addition to any planning approvals, you

will need to obtain a building works approval for any building works and an approval for plumbing and drainage works. An operational works permit may also be required for works on a local government road.

#### **What else do I need to know?**

The planning scheme contains all the planning requirements for developing a dwelling house with a secondary dwelling and dual occupancy. However, there may be other matters that need to be considered, including but not limited to:

- Obligations under the *Body Corporate and Community Management Act 1997* for Body Corporates and Community Management Schemes
- Requirements for connections to Council's infrastructure (e.g. water, sewer etc.)
- Requirements of the telecommunications and electricity provider.

#### **Where do I lodge my application?**

Lodge your application:

- In person at Council's Customer Service Centre at 45 Glendon Street, Kingaroy
- Online at [info@southburnett.qld.gov.au](mailto:info@southburnett.qld.gov.au)
- By mail to:

Chief Executive Officer

Attention Planning and Land Management

South Burnett Regional Council

PO Box 336

Kingaroy 4610

#### **Further Information**

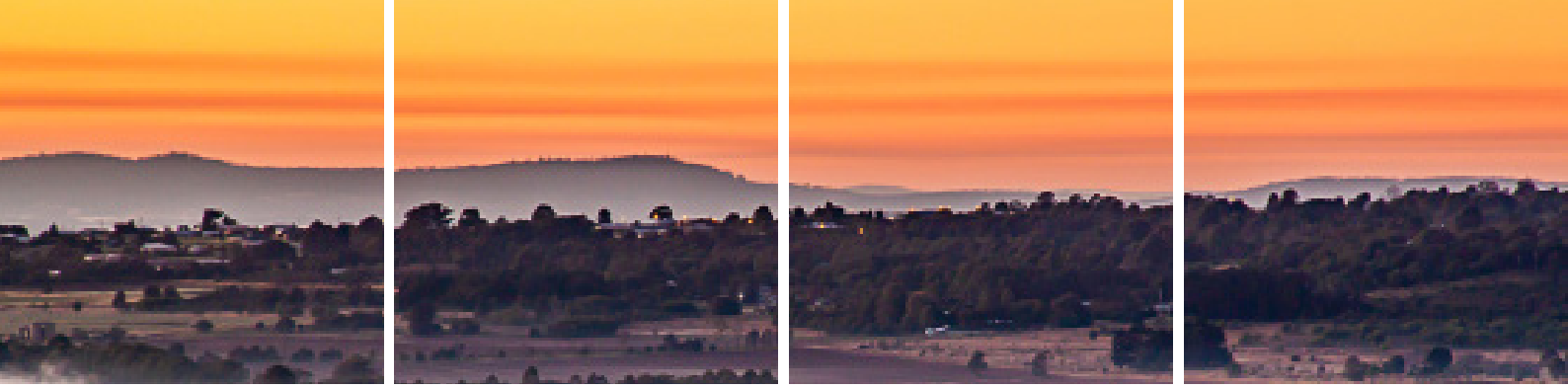
For further information or to obtain an application form, please contact Council's Planning team:

Telephone: 07 4189 9100

Email: [info@sbrc.qld.gov.au](mailto:info@sbrc.qld.gov.au)

Website: [www.southburnett.qld.gov.au](http://www.southburnett.qld.gov.au)

Alternatively, call into any of Council's Customer Service Centres for assistance.



**Table 1 - The differences between a secondary dwelling and dual occupancy**

	Secondary dwelling associated with a welling house	Dual occupancy
Minimum lot sizes	Generally, there is no minimum lot size for a Secondary dwelling. The lot needs to be of sufficient size and dimension to accommodate the activity For houses on lots less than 400m <sup>2</sup> in the Low-density residential zone setbacks are listed in the assessment benchmarks	The following minimum lot sizes apply to establishing a Dual occupancy: • 600m <sup>2</sup> within the Low and Medium density residential zone
Size of dwelling	Secondary dwellings are limited to 70m <sup>2</sup> in gross floor area or 40% of the gross floor area of the primary dwelling, whichever is less	There is no limitation on gross floor area for each dwelling. Both dwellings can be of equal size. However, there must be sufficient for private open space
Number permitted	One (1) per lot	One (1) per lot
Number of households	A Secondary dwelling must be occupied by persons who form part of one household with the primary dwelling and cannot be separately let	Dual occupancies may have separate connections to services and/or be sub-metered (e.g. sub-metered water supply)
Connections to services (electricity, water, sewerage)	A Secondary dwelling cannot have separate connections or separate metering	Dual occupancies may have separate connections to services and/or be sub-metered (e.g. sub-metered water supply)
Access/ Driveways	A Secondary dwelling has one crossover/driveway, irrespective of the number of street frontages and shares this with the primary dwelling	Dual occupancies can have one crossover / driveway, or one crossover / driveway per street frontage where the site has more than one street frontage
Car parking spaces	A Secondary dwelling is required to have one car parking space in addition to the parking space/s for the primary dwelling	Dual occupancies are required to have two (2) car parking spaces per dwelling, a total of four (4) car parking spaces on the site. Plus, one (1) visitor space
Street address/ Letter box	A Secondary dwelling will share the same street address and letter box as the primary dwelling	Dual occupancies will have separate street addresses (e.g. 1A and 1B) and will have separate letter boxes
Rubbish collection	Only one set of rubbish bins will be provided	Each dwelling will be provided with separate rubbish bins