

23 June 2021



### 1 PURPOSE

This Stormwater Management Plan has been prepared as part of the Development Application for the proposed restaurant development at 95 Youngman Street, Kingaroy.

### 2 INTRODUCTION

#### 2.1 Project description

The current proposal involves the construction of a new drive through restaurant. The development proposal also includes outdoor dining areas, landscaping, servicing and drive through pavements.

The proposed development is depicted on architectural plans attached in Appendix 1, with excerpt of the layout below.

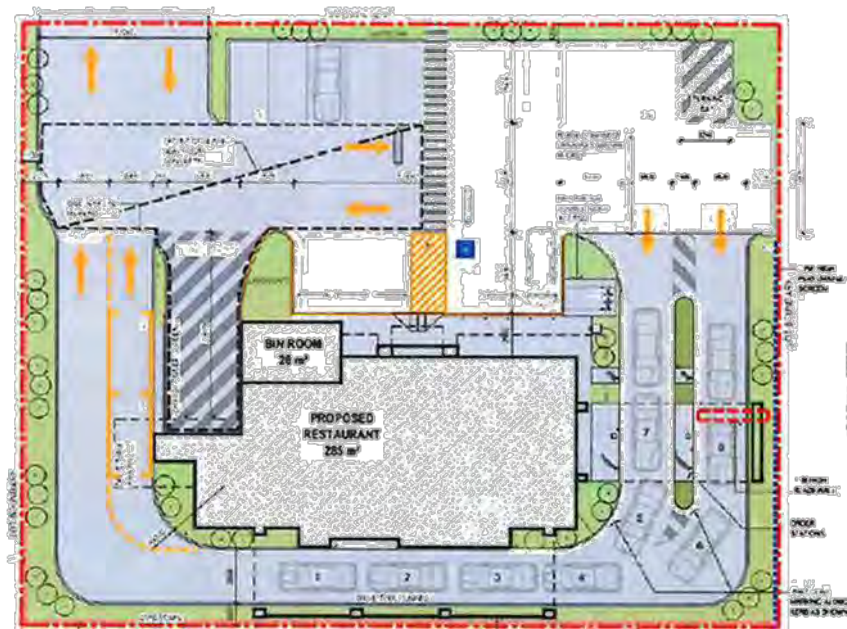


Figure 1 – Proposed Development

23 June 2021



### 3 SITE CHARACTERISTICS

#### 3.1 Site Location

The site is located at 95 Youngman Street, Kingaroy and is formally known as Lots 7 and 8 on RP7924.

The site is bounded by Alford Street to the North, Youngman Street to the East, a petrol station to the South and existing residential to the West.



Figure 2 - Site Location

Excellence with Economy in Engineering

6

23 June 2021



### 3.2 Topography and Existing Site Drainage

The pad site development area is currently occupied by an existing building and existing on grade car parking areas.

The site is accessed from Alford Street to the existing car parking at the rear of the site. The existing building is located on the Eastern side of the site

The site is very flat with marginal falls to the street frontages.

Stormwater runoff from the existing site sheet flows across the site with the car park area discharging to kerb and channel via a grated drain across the driveway to Alford Street. The roofwater from site discharges to kerb and channel on Youngman Street.

A copy of a survey plan for the site prepared by ONF Surveyors is attached in Appendix 2.

## 4 SITE DATA

Site data has been obtained from the following sources of information:

- As constructed plans
- South Burnett Regional Council
- Satellite imagery
- Discussions with relevant authorities
- DBYD
- Survey plans

6

6

23 June 2021



## 5 STORMWATER

### 5.1 Lawful Point of Discharge

The lawful point of discharge for the proposed development is the Kerb and Channel on both Youngman Street and Alford Street.

### 5.2 Flooding

The location of the proposed development is located on the edge of the council flood mapping trigger. The flooding areas are confined to the external road network.

The floor level of the proposed building is located above the surrounding ground levels which are shown as flood free on councils mapping.

### 5.3 Site Based Stormwater Management Plan

The aim of the Stormwater Management Plan outlined below is to:

- Prevent or minimise adverse social or environmental impacts from stormwater runoff originating from the proposed development.
- Achieve acceptable levels of stormwater runoff quality and quantity.

The Stormwater Management Plan aims to identify Stormwater Quantity and Quality Best Management Practice for the site and demonstrate that water quantity and quality impacts will be minimised in receiving waters.

The Stormwater Management Plan outlines the site in two sections, the operational phase and the construction phase. The operational phase addresses treatment of contaminated runoff from the developed site by mechanical methods before discharging into receiving waters whilst the construction phase of the Stormwater Management Plan addresses erosion and sediment control to prevent contamination of water sources by stormwater runoff during construction of the site.

### 5.4 Operational Phase

#### 5.4.1 Proposed Site Drainage

Stormwater runoff from the proposed development will be collected and conveyed in a new internal stormwater network.

Runoff from the new drive through pavements and roof areas will be directed to the new. Flow from the development site will discharge into the kerb and channel on both Alford and Youngman Streets.

The proposed stormwater infrastructure is shown on MPN Plan 9007-DA01 attached in Appendix 3.

*Excellence with Economy in Engineering*

8

23 June 2021



#### 5.4.2 Stormwater Quantity Management Strategy

The existing site is largely impervious and the proposed development will not increase the area of imperviousness. As there will be no increase in impervious area the peak runoff volumes from the proposed development will not exceed the peak runoff volumes from the existing development.

As a result of the above no detention has been proposed on site.

#### 5.4.3 Stormwater Quality Management Strategy

The total area of the proposed development does not trigger the requirements of the State Planning Policy July 2017 for the treatment of stormwater runoff.

In lieu of treatment devices 'Best Practice Management' will be incorporated as part of the development works. This will include the following:

- Roofwater first flush diverters
- Landscape buffers
- Drainage swales to pits where possible

### 5.5 Construction Phase (Sediment and Erosion Control)

#### 5.5.1 Intent of Erosion and Sediment Control Management Plan

To prevent stormwater contamination (of watercourses) and the release of contaminated stormwater and wastewater by ensuring compliance with the Environmental Protection Act 1994 and Environmental Protection (Water) Policy 2009.

#### 5.5.2 Implementation Strategy

Establish control measures and best practice approaches to prevent stormwater contamination and minimise the risk and adverse effects of erosion and sedimentation. All Erosion and Sediment Control measures must be designed, constructed and maintained in a manner that is commensurate with the site's erosion risk.

#### 5.5.3 Erosion and Sediment Control Measures

- Obtain a license or approval to operate activities that are classed as environmental relevant activities (i.e. they have the potential to cause environmental harm).
- Implement and maintain appropriate control measures to prevent sediment laden wastewater and other potential pollutants such as oil, paint and wet concrete from entering the stormwater system via stormwater drains and gullies. The control measures which must be considered to be adopted are:
  - Limitation of site access during construction to minimise disruption to traffic.
  - Install a temporary construction entry/exit sediment trap at all site accesses to minimise mud and sediment from the site being tracked onto public road, particularly during wet weather or when the site is muddy.
  - Install and maintain appropriate sediment fences around construction areas.
  - Divert clean stormwater runoff, using catch drains, around construction areas to existing or new stormwater drainage system.

*Excellence with Economy in Engineering*

9

23 June 2021



- o Install sandbags and other pollution containment devices around stormwater drains and any other locations where required to prevent sediment entering the trunk stormwater system.
- o Cover open earth/ soil areas progressively (with concrete slabs and pavements or mulch) to minimise areas of bare earth/ soil.
- o Any stockpiles of excavated soil and demolition/ construction waste must be located where risk of erosion and sedimentation is minimal, and must be protected from wind and water erosion.
- o Implement and maintain appropriate control measures such as catch drains and sediment fences to prevent ponding of stormwater or discharge of stormwater from the site to adjacent properties.
- o Provision of spill/ pollution control equipment that is readily accessible to clean up spills and leaks.
- o Ensure spill/ pollution control measures are available and maintained in working condition.
- o Sediment contained by the sediment control devices such as sandbags, sediment fences and containment bunds must be frequently removed and placed in a controlled area.
- o Implement an inspection schedule for any spill or leaks of any potential polluting areas or activities.

#### 5.5.4 Erosion and Sediment Control Management Goals

- Licenses, approvals, permits and inspection reports are in order.
- Sediment or pollution control devices such as sandbags, sediment fences and containment bunds are in place, maintained and effective.
- Spill/ pollution control equipment is readily accessible at designated locations.
- No accumulated sediment is contained by the sediment control devices such as hay bales, sediment fences and containment bunds.
- No sediment exceeding a depth of 300mm in the pollution control devices (e.g. silt trap).

#### 5.5.5 Erosion and Sediment Control Implementation Program

- Licenses, permits or approvals for each environmentally relevant activity must be obtained prior to the commencement of the particular activity.
- Appropriate control measures such as sediment fences, temporary construction entry/exit sediment traps, pollution containment devices (e.g. sandbags), stormwater diversion and administrative controls must be installed and established prior to commencement of the earthworks and construction activities.
- Pollution control devices such as spill control equipment must be inspected on a regular basis (at least weekly).
- Other sediment and pollution control equipment such as containment bunds, hay bales and sediment fences must be inspected on a regular basis (at least daily).
- Inspection for any leaks, spills or potential contaminating activity must be performed on a regular basis (at least daily).
- Remove accumulated sediment or other contaminants from sediment/ pollution control devices on a regular basis.

23 June 2021



- All erosion and sediment control measures must be inspected within 24 hours of expected rain and within 18 hours of a rainfall event.

#### 5.5.6 Responsible Person or Organisation

The contractor shall be responsible for the implementation and maintenance of the Erosion and Sediment Control Measures.

#### 5.5.7 Reporting/ Review

Records such as licenses, approvals, permits and inspection reports must be reviewed on a regular basis (e.g. at least monthly) to ensure that legal compliance is met, complaints are reviewed and systems are working to prevent contamination.

#### 5.5.8 Corrective Actions

- Perform clean-up of any spills immediately.
- Any mud or sediment which is tracked onto public roads is to be immediately removed using dry clean-up methods (i.e. shovel and broom).
- Remove or relocate any stockpiles of waste where there is a reasonable risk of erosion and sedimentation.
- Replace or repair sediment or pollution control devices if they are not maintained in good working condition.

23 June 2021



### 6 CONCLUSION

This Stormwater Management Plan demonstrates that under the proposed concept plan, stormwater quality and quantity treatment is achievable to the levels required by State Planning Policy July 2017.

No detention is proposed on site due to the existing site being largely impervious with no increase in runoff occurring as a result of the development.

Best Management Practice will be undertaken for the site stormwater drainage including the use of first flush diverters and landscape buffers.

The lawful point of discharge for the proposed development is the existing kerb and channel on both Alford and Youngman Streets. The new internal network will discharge to these points.

### 7 LIMITATIONS OF REPORT

MPN have prepared this report for the proposed restaurant development at 95 Youngman Street Kingaroy in accordance with MPN's proposal to Town Planning Alliance. This report is provided for the exclusive use of Town Planning Alliance for this specific project and its requirements. It should not be used or relied upon by a third party and MPN accept no responsibility for the use of this report by any party other than Town Planning Alliance.

Discharge volumes to each of the lawful points of discharge must be equal.

Discharge flows to the Youngman Street lawful point of discharge must not exceed 30 litres/second.

Amended in red by SARA on 5 August 2021

**PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE**

SARA ref: 2107/23517 SRA

Date: 5 August 2021





23 June 2021



**Appendix 1  
Architectural Plans**

*Excellence with Economy in Engineering*

13

# KINGARROY RESTAURANT

95 YOUNGMAN STREET KINGARROY QLD 4610

## DRAWING LIST

- A00 COVER PAGE & LOCATION PLAN
- A01 PROPOSED SITE PLAN
- A02 PROPOSED FLOOR PLAN
- A03 PROPOSED ELEVATIONS 1 @200
- A04 PROPOSED ELEVATIONS 1
- A05 PROPOSED ELEVATIONS 2
- A06 PROPOSED ELEVATIONS 3
- A07 PROPOSED ELEVATIONS 4
- A08 LANDSCAPE PLAN

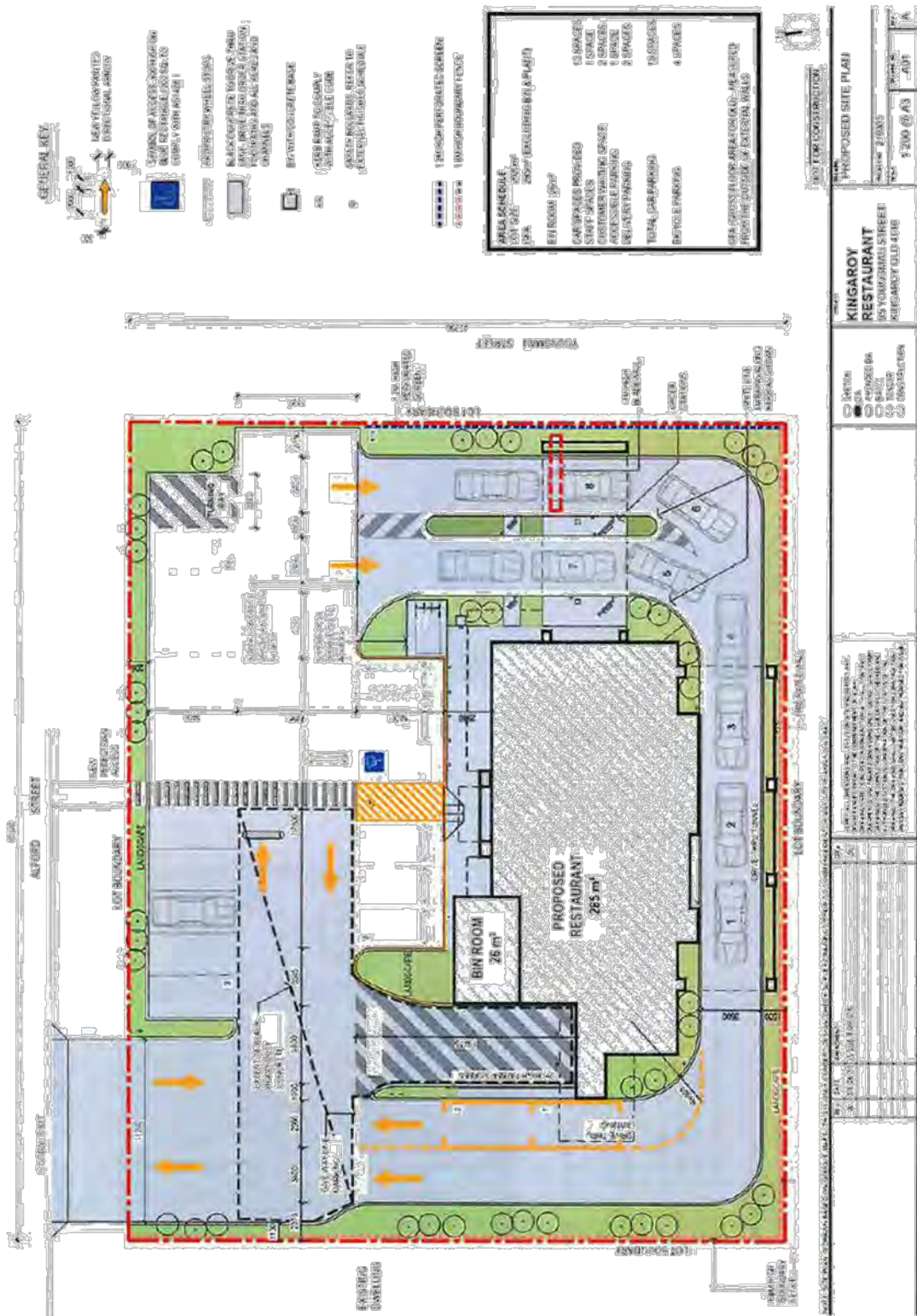


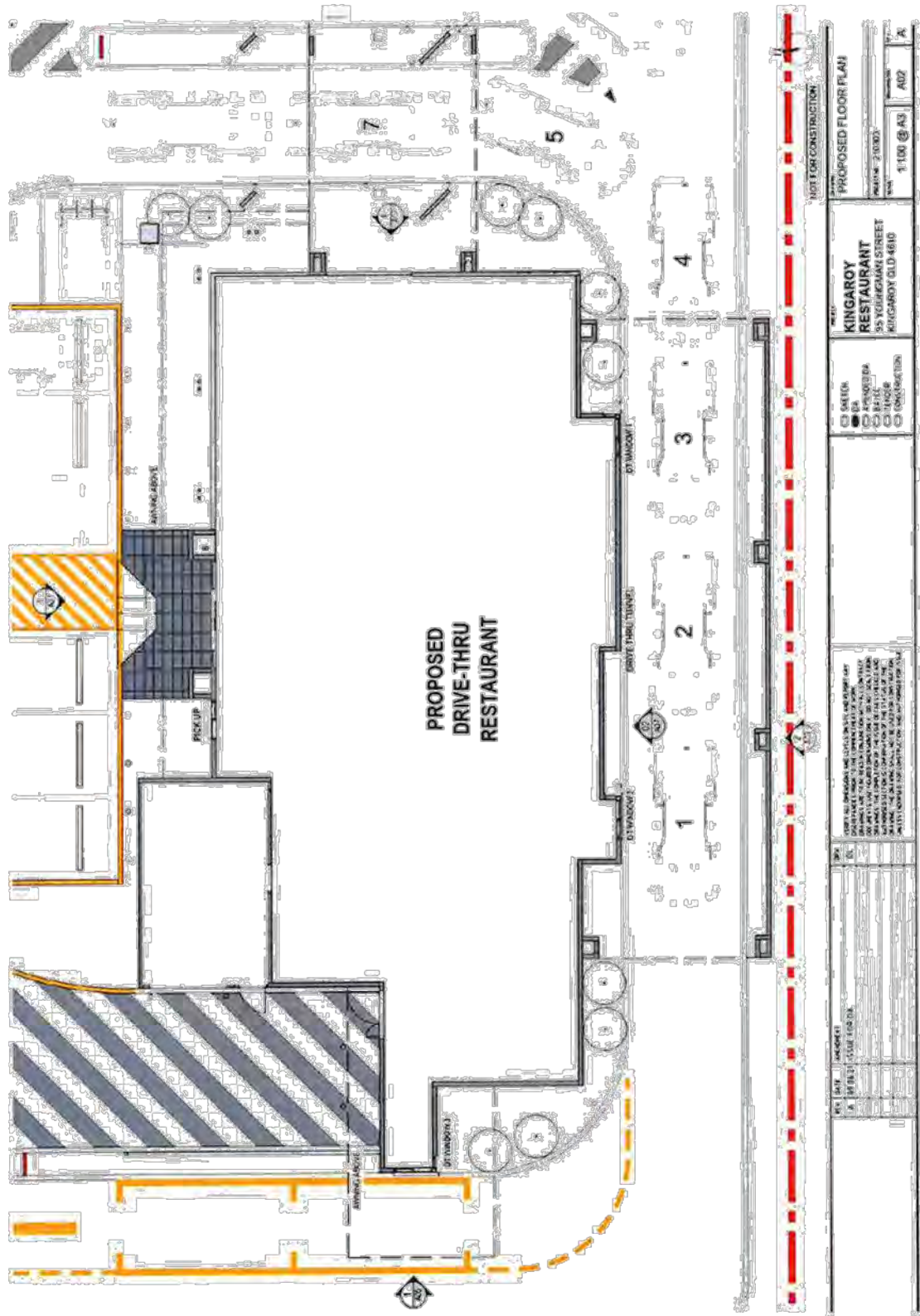
LOCATION PLAN



PROJECTIONS ARE FOR INFORMATION PURPOSES ONLY

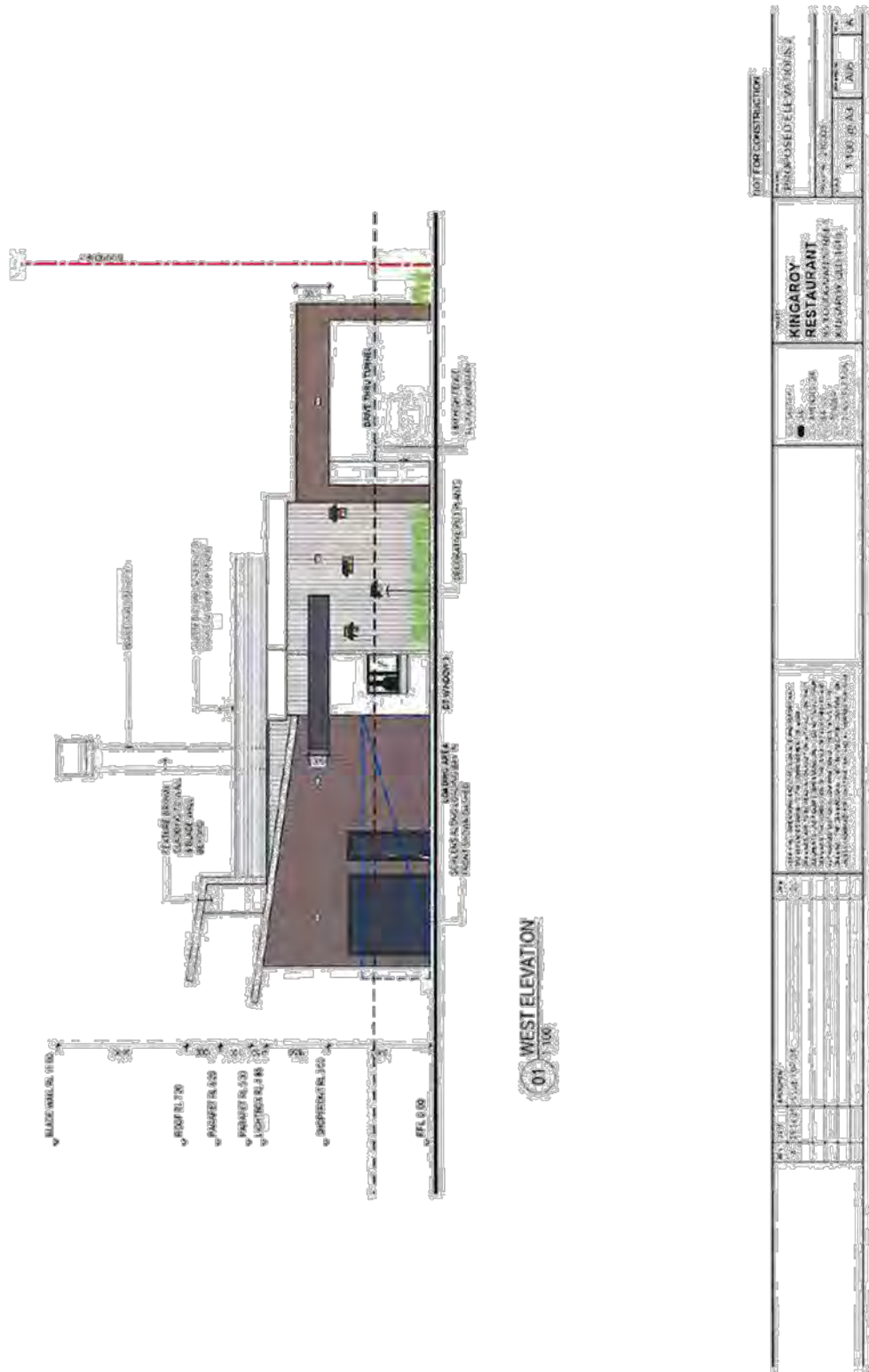
<p><b>NOT FOR CONSTRUCTION</b></p>	
<p><b>COVER PAGE &amp; LOCATION PLAN</b></p>	
<p><b>KINGARROY RESTAURANT</b> 95 YOUNGMAN STREET KINGARROY QLD 4610</p>	
<p>DATE: 31/03/20</p>	<p>SCALE: 1:100</p>
<p>PROJECT NO: 1115 @ A3</p>	<p>DRAWING NO: A00</p>
<p>DATE: 31/03/20</p>	<p>SCALE: 1:100</p>
<p>PROJECT NO: 1115 @ A3</p>	<p>DRAWING NO: A00</p>
<p><b>LEGEND</b></p> <p> <input type="checkbox"/> EXISTING DA  <input type="checkbox"/> EXISTING  <input type="checkbox"/> CONSTRUCTION                 </p>	
<p><b>NOTES</b></p> <p>1. ALL INFORMATION AND DATA IS FOR INFORMATION PURPOSES ONLY.</p> <p>2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.</p> <p>3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.</p> <p>4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.</p>	

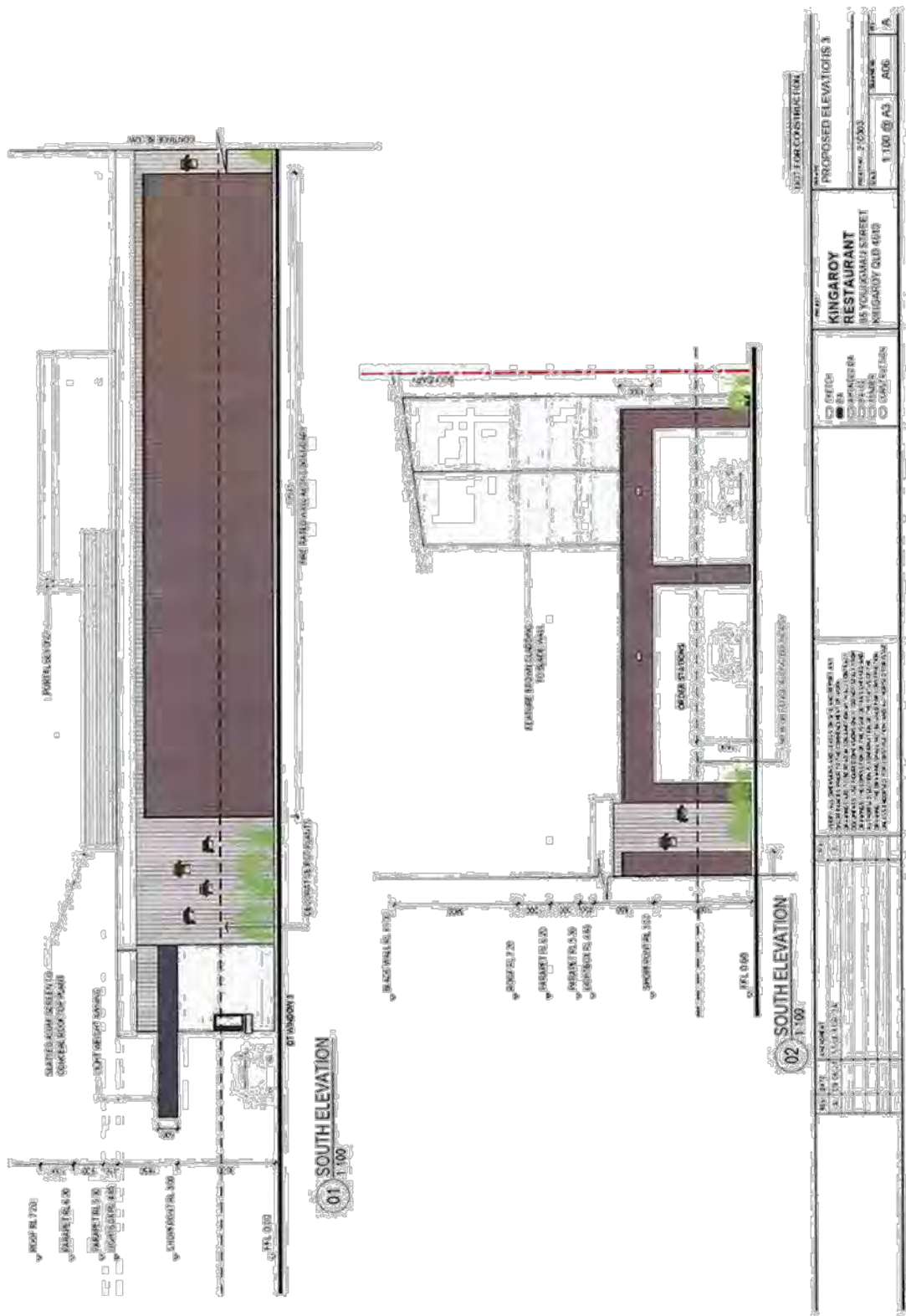




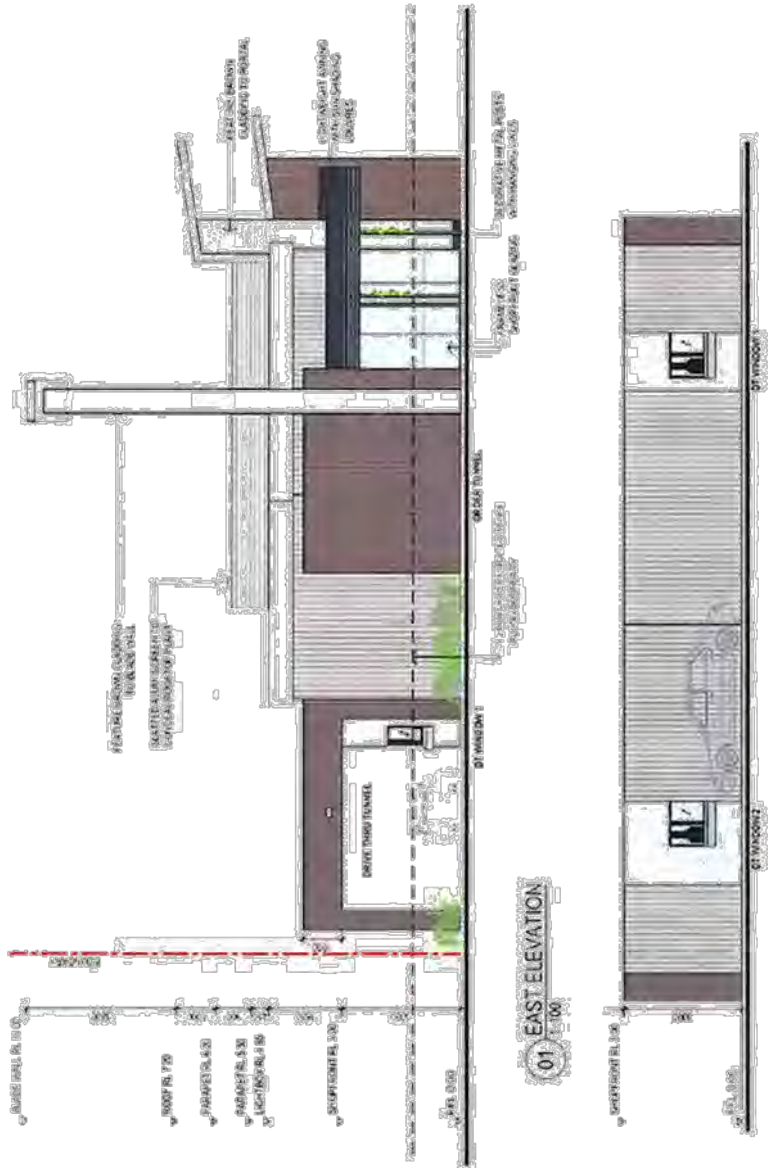












FOR CONSTRUCTION

PROPOSED ELEVATIONS

**KINGAROO RESTAURANT**

100 KINGAROO DRIVE, KINGAROO VIC 3103

DATE: 21/10/2021

SCALE: 1:100

PROJECT NO: 21/100-EP-A3

APR

100 KINGAROO DRIVE, KINGAROO VIC 3103

DATE: 21/10/2021

SCALE: 1:100

PROJECT NO: 21/100-EP-A3

APR

95

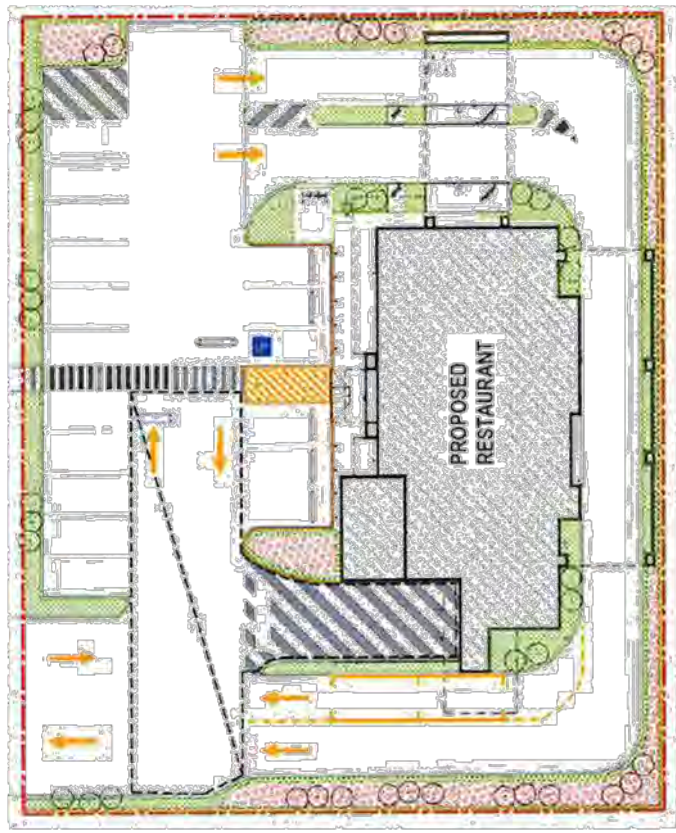
LANDSCAPE PLANT SPECIFICATION NOTES

**GENERAL:** All plants to be supplied in accordance with the specifications and standards of the relevant authorities. All plants to be supplied in accordance with the specifications and standards of the relevant authorities.

**PLANTING:** All plants to be planted in accordance with the specifications and standards of the relevant authorities. All plants to be planted in accordance with the specifications and standards of the relevant authorities.

**MAINTENANCE:** All plants to be maintained in accordance with the specifications and standards of the relevant authorities. All plants to be maintained in accordance with the specifications and standards of the relevant authorities.

**PLANTING & MAINTENANCE:** All plants to be planted and maintained in accordance with the specifications and standards of the relevant authorities. All plants to be planted and maintained in accordance with the specifications and standards of the relevant authorities.



**PLANT SCHEDULE**

NO.	SYMBOL	PLANT NAME	QUANTITY	UNIT	REMARKS
01	[Symbol]	PLANT NAME	10	EA	
02	[Symbol]	PLANT NAME	20	EA	
03	[Symbol]	PLANT NAME	30	EA	
04	[Symbol]	PLANT NAME	40	EA	
05	[Symbol]	PLANT NAME	50	EA	
06	[Symbol]	PLANT NAME	60	EA	
07	[Symbol]	PLANT NAME	70	EA	
08	[Symbol]	PLANT NAME	80	EA	
09	[Symbol]	PLANT NAME	90	EA	
10	[Symbol]	PLANT NAME	100	EA	

**PLANT SCHEDULE** (continued)

ALL PLANTS TO BE SUPPLIED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES. ALL PLANTS TO BE SUPPLIED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES.

ALL PLANTS TO BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES. ALL PLANTS TO BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES.

ALL PLANTS TO BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES. ALL PLANTS TO BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES.

**LANDSCAPE PLAN**

SCALE: 1:250 @ A3

DATE: 20/10/2021

DRAWN BY: [Name]

CHECKED BY: [Name]

**KINGAROY RESTAURANT**

85 YOUNGMAN STREET

KINGAROY QLD 4630

**PLANT SCHEDULE**

NO. 01 02 03 04 05 06 07 08 09 10

SYMBOL [Symbol] [Symbol] [Symbol] [Symbol] [Symbol] [Symbol] [Symbol] [Symbol] [Symbol] [Symbol]

PLANT NAME [Name] [Name] [Name] [Name] [Name] [Name] [Name] [Name] [Name] [Name]

QUANTITY 10 20 30 40 50 60 70 80 90 100

UNIT EA EA EA EA EA EA EA EA EA EA

REMARKS [Remarks] [Remarks] [Remarks] [Remarks] [Remarks] [Remarks] [Remarks] [Remarks] [Remarks] [Remarks]

**PLANT SCHEDULE** (continued)

ALL PLANTS TO BE SUPPLIED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES. ALL PLANTS TO BE SUPPLIED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES.

ALL PLANTS TO BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES. ALL PLANTS TO BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES.

ALL PLANTS TO BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES. ALL PLANTS TO BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE RELEVANT AUTHORITIES.

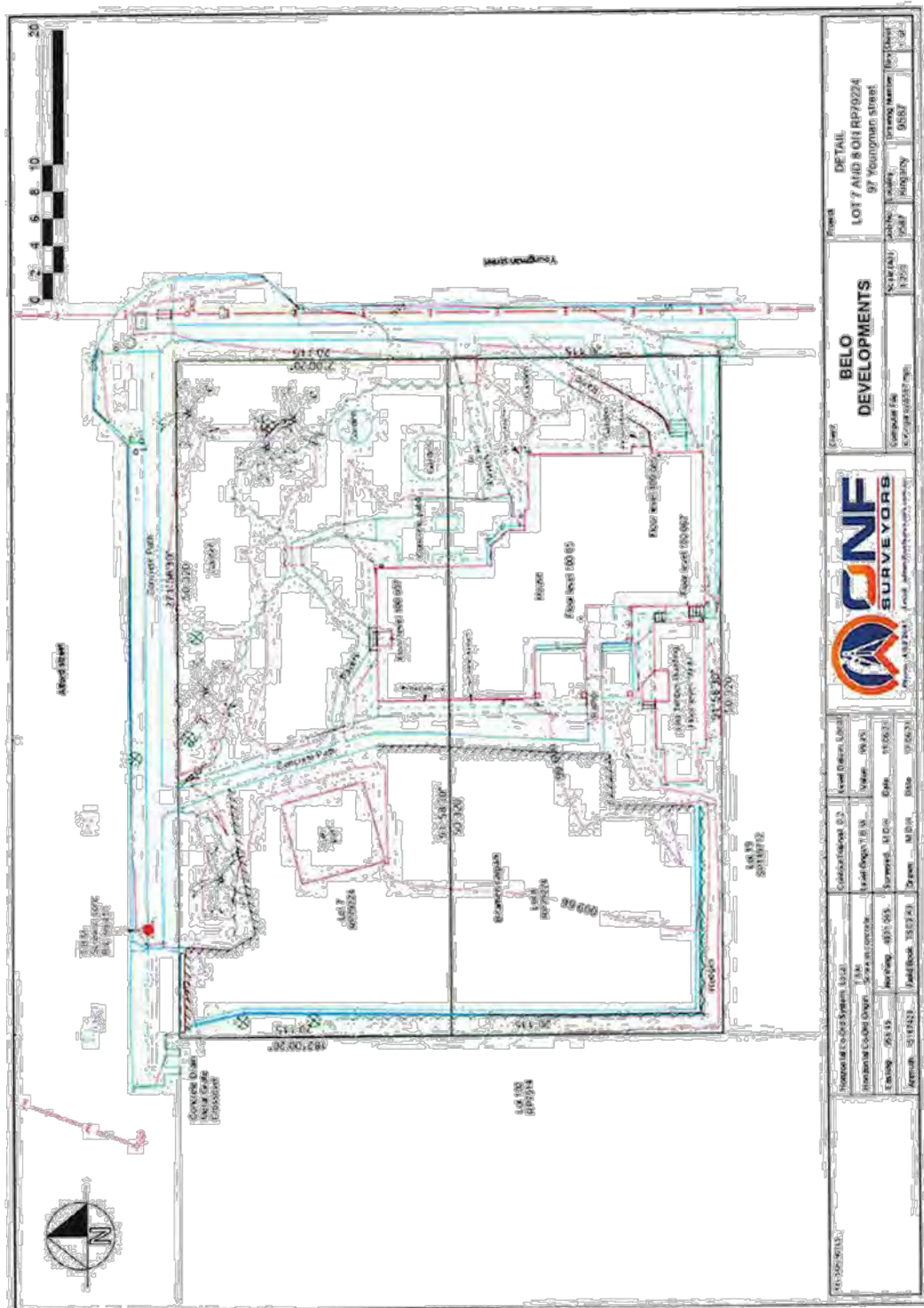
23 June 2021



Appendix 2  
Survey Plan

*Excellence with Economy in Engineering*

14



Ordinary Council Meeting

25 December 2030

23 June 2021



Appendix 3  
MPN Plans

8

*Excellence with Economy in Engineering*

15

Item 0.0 - Attachment 3

Page 68



Delegated Authority \_\_\_\_\_

Date: \_\_\_\_\_

**ATTACHMENT D  
ASSESSMENT BENCHMARKS**

MATERIAL CHANGE OF USE OR A CHANGE THAT CREATES A NEW FOOD AND DRINK OUTLET  
WPCN (APP 41) 03 2019 (REVISED) (PRIORITY) (COMMUNITY)

- 1 Zone Code**
- 1.1 Principal Centre Zone Code**
- 1.1.1 Purpose**

PURPOSE & OVERALL OUTCOMES	PROPOSAL	COMPLIANCE
<p><b>(1)</b> The purpose of the principal centre zone code is to provide for a large variety of uses and activities (including, for example, administrative, business, community, cultural, entertainment, professional, residential or retail activities) to-</p> <ul style="list-style-type: none"> <li>a) form the core of an urban area; and</li> <li>b) Service the local government area.</li> </ul> <p><b>(2)</b> The overall outcomes sought for the zone code are as follows:</p> <ul style="list-style-type: none"> <li>a) The amount of zoned land is more than enough to accommodate Kingaroy's commercial needs over the life of this Planning Scheme and, as such, no expansion of the zone is envisaged.</li> <li>b) Shops, offices and cinemas and other people oriented activities are concentrated into the Retail core precinct so that this area becomes a vibrant, active place and a focus for civic projects.</li> <li>c) The Frame precinct accommodates commercial activities which, due to their scale or nature -- or because the goods they sell are too large to be transported to a car on foot -- could disrupt the smooth passage of pedestrians along town centre streets. Examples include retail showrooms, offices, building supplies and sales or hire yards.</li> <li>d) Development scale and intensity is to be the highest in the Region, but nevertheless generally no higher than 2-3 storeys, so as to maintain scale consistent with expectations of a major regional town. Taller buildings may be contemplated in the Retail core precinct where for mixed commercial and residential activities that exhibit outstanding design characteristics that bolster Kingaroy's regional centre.</li> </ul>	<p>a) The proposal is identified as a consistent and compatible use under the Principal Centre Zone code.</p> <p>b) The proposed food and drink outlet is not directly located within the retail core precinct, however will continue to support the locality to become a vibrant and active place. We additionally note that a recent Economic support Instrument has changed the level of assessment from Impact to Code assessment for Food &amp; Drink Outlets within the Principal Centre Zone. This suggests that under the Economic support Instrument that this use is supported in principal throughout the Principal Centre Zone, even outside of the core precinct.</p> <p>c) The subject site is not located within the Frame precinct.</p> <p>d) The proposed development does not exceed 2-3 storeys and maintains a building height that is consistent with the expectations of a major regional town.</p> <p>e) The proposal is not for residential development.</p> <p>f) The subject site is not located within the retail core precinct, however provides a high level design that encourages safe pedestrian activity.</p>	<p><input checked="" type="checkbox"/> Compliant</p> <p><input type="checkbox"/> N/A</p> <p><input type="checkbox"/> Performance Solution</p>

Delegated Authority

Date:

ENVIRONMENTAL CONSENT BY THE LOCAL PLANNING AUTHORITY UNDER THE ENVIRONMENTAL PERMITS REGULATIONS 2016 (SI 2016/1011) IS REQUIRED FOR THE PROPOSED DEVELOPMENT.

PURPOSE & OVERALL OUTCOMES	PROPOSAL	COMPLIANCE
<p>role and so transcend the preferred rural town character form.</p> <p>e) Residential development, short-term accommodation and tourist accommodation is provided at an appropriate scale and integrates with and enhances the fabric of the centre. Residential development in the Retail core precinct is enabled above ground storeys.</p> <p>f) Development encourages active and safe pedestrian links within the Retail core precinct.</p> <p>g) Where appropriate service industry uses may be located in the zone.</p> <p>h) Development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and public/active transport use.</p> <p>i) Sites that are contaminated or pose a health risk from prior activities are remediated prior to being developed for sensitive land use (as defined in the Regulation).</p>	<p>g) The proposal is not for an service industry use.</p> <p>h) The development incorporates sustainable practices such as maximising energy efficiency and water conservation.</p> <p>i) The subject site is not contaminated nor pose a health risk from prior activities.</p>	



Delegated Authority

Date:

VEHICLE CHANGES OFFERED ABOVE THROUGH ROADWAY DESIGN QUANTIFY FROM LAND AT 55 YONGE STREET, WILLOWBURY

1.1.2 Performance Outcomes & Acceptable Outcomes

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
<b>Section 1: General</b>			
<p><b>PO1</b></p> <p>The scale, bulk and design of buildings provides a safe and welcoming built environment that reflects the intended streetscape character and is consistent with the scale and form of buildings in the Kingaroy town centre and routinely found in larger regional towns.</p>	<p><b>AO1.1</b></p> <p>Buildings are a maximum of 3 storeys above ground level, and</p> <p><b>AO1.2</b></p> <p>Buildings are built to the street alignment, and</p> <p><b>AO1.3</b></p> <p>Building entrances are clearly visible from the street, and</p> <p><b>AO1.4</b></p> <p>Development incorporates an all-weather awning built to a line 0.5m short of all carriages with at least 3m vertical clearance, and</p> <p><b>AO1.5</b></p> <p>The maximum building length in one plane is less than 30m, with variations at least 0.5m deep and 3m wide between continuing facades.</p>	<p><b>AO1.1</b></p> <p>The proposal does not exceed a building height of 3 storeys above ground level.</p> <p><b>AO1.2</b></p> <p>The proposed building has been orientated towards the street alignment, whilst incorporating the vehicle maneuvering required for the drive through facility.</p> <p><b>AO1.3</b></p> <p>The proposed building entrances are clearly visible from the street with high quality landscaping to support the visual features.</p> <p><b>AO1.4</b></p> <p>The proposed development is set back from carriages. Notwithstanding, the proposed design incorporates eaves which provide both shade and shelter, and allow for unobstructed pedestrian movement.</p> <p><b>AO1.5</b></p> <p>The proposal does not involve a building length that exceeds 30m without significant building articulation and variation.</p>	<p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>

Delegated Authority

Date:

MATERIAL CHANGE OF USE FOR A DWELL THROUGH ROOFS AND GABLE OUTLINES  
 OPEN LAND AT 25 VOLLEZEHL STREET, RINGBAY

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
	<p>and</p> <p><b>AO1.6</b> Upper levels incorporate horizontal and vertical variations such as balconies, windows, shading devices and parapets. and</p> <p><b>AO1.7</b> Buildings incorporate: a) Elements distinguishing different levels; and b) Variations in roof shape, recesses or projections, shade devices and detailing.</p> <p>and</p> <p><b>AO1.8</b> In the Retail core precinct, parking areas and parking structures are behind or under buildings.</p> <p>and</p> <p><b>AO1.9</b> Plant and service equipment (air conditioning, exhaust fans, lift motor rooms, refuse bins, telecommunication devices, etc) are integrated into buildings.</p> <p><b>AO2.1</b> Where adjoining residential zoned land, development provides: a) 1.8m high screen fencing to all side and</p>	<p><b>AO1.6</b> The proposed development incorporates articulation, variation and shading devices throughout.</p> <p><b>AO1.7</b> The proposed building is for a single storey. Nonetheless, the design incorporates a high quality architectural built form and roof shape.</p> <p><b>AO1.8</b> The subject site is not located within the retail core precinct. As such, this criterion is not applicable.</p> <p><b>AO1.9</b> The plant and service equipment areas will be appropriately screened and integrated into the buildings.</p> <p><b>AO2.1</b> The proposal provides a 1.8m screen acoustic fence along all side boundaries. Furthermore, high quality landscaping is provided in conjunction with generous setbacks</p>	<p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>
<p><b>PO2</b> Development respects the amenity and intended urban form of adjoining non-commercial sites.</p>			

Delegated Authority

Date:

PLANNING CHANGE OF USE FOR ALBERT THROUGH FOOTPATHS DEVELOPMENT  
 OFFICERS AT 153 VICTORIA STREET, AUCKLAND

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
PO3 Buildings maximise shop-front exposure to streets in the Retail core precinct.	rear boundaries; and b) minimum 5m side and rear boundary setbacks; and c) minimum 3 metre boundary setback to street frontages.	exceeding the prescribed minimum identified in the Acceptable Outcome.	<input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
PO4 Development provides a safe and secure environment.	AO3.1 For development in the Retail core precinct, buildings are built to side boundaries, except for pedestrian and vehicular access, and AO3.2 The ground level comprises display windows and active space (e.g. shops, cafés, offices, personal services, hotels, medical facilities and small showrooms). AO3.3 Buildings incorporate windows and doors opening to the street. AO4.1 Development provides: a) opportunities for casual surveillance, and sightlines to and from open spaces, streets and adjacent development; b) activity areas adjacent to pedestrian pathways; c) pathways, underpasses and other spaces that minimise sudden changes of	AO3.1 The subject site is not located within the retail core precinct. As such, this criterion is not applicable. AO3.2 The subject site is not located within the retail core precinct. As such, this criterion is not applicable. AO3.3 The subject site is not located within the retail core precinct. As such, this criterion is not applicable. AO4.1 The proposed development provides a safe design that allows for high level of accessibility for pedestrians. In addition, the building is orientated towards the street to allow for opportunities for casual surveillance.	<input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution

010

Delegated Authority

Date:

DIRECTIONAL CHANGE OF USE FOR A DRIVE THROUGH FOOD AND BEVERAGES OUTLET  
 1000 LINDA AVE, YOUNGFRANK STREET, WINDSOR

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
	grade and blind corners; d) lighting of external areas; e) increased visibility of high risk areas such as car parks, stairwells and the like; f) entrances to buildings that are oriented to face open or 'active' spaces; and g) clear sight lines from within the building at the entry point. and AO4.2 Parking areas with more than 20 parking spaces provide dedicated, obvious and direct pedestrian paths linking parking spaces with public streets and/or entry points to on-site commercial premises. and AO4.3 Pedestrian movement areas involve minimal vehicle conflict points and facilitate equitable access. and AO4.4 The ground level of buildings facing the primary frontage comprises windows and active space.	AO4.2 The proposal does not include more than 20 parking spaces. As such, this criterion is not applicable.	<input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
		AO4.3 The proposed design incorporates a safe pedestrian area that involves minimal vehicle conflict points.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
		AO4.4 The building is orientated towards the street to allow for opportunities for casual surveillance.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution

Delegated Authority

Date:

NATIONAL OFFICE OF CERTIFICATION FOR SUSTAINABLE DEVELOPMENT  
 1000 LINDEN BLVD SUITE 1000 GREENSBORO, NC 27409

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		PROPOSAL		COMPLIANCE	
PO5 Development is adequately serviced.		AOS.1 Development is connected to reticulated water supply and sewerage.	AOS.1 The subject site is connected to reticulated water supply and sewerage. Please refer to this civil report prepared by MPN Consulting.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution			
		AOS.2 Stormwater is discharged to a lawful point of discharge.	AOS.2 Stormwater from the subject site will be lawfully discharged. Please refer to the civil report prepared by MPN Consulting.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution			
		AOS.3 Where involving an increase in gross floor area of more than 5000m <sup>2</sup> , development provides bus and taxi loading areas within 100m of the main entrance.	AOS.3 The proposal does not involve a GFA greater than 5000sqm.	<input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution			
PO6 Pedestrian safety is enhanced by appropriate access arrangements.		AO6.1 Where an alternative exists, no direct vehicular access is provided from Glendon Street.	AO6.1 The subject site is not located along Glendon Street.	<input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution			
		AO6.2 Driveways providing access to less than 20 parking spaces are no more than 3.0m wide where they cross the footpath.	AO6.2 The proposed driveway has been designed in accordance with the relevant standards. Please refer to the traffic report prepared by Q Traffic.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution			
		AO6.3 No new driveways are established within 30m of an existing one (shared driveways may need to be used).	AO6.3 The proposed driveway has been designed in accordance with the relevant standards. Please refer to the traffic report prepared by Q Traffic.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution			

Delegated Authority

Date:

INTERNAL COUNCIL USE FOR A DRAFT REPORT. INFORMATION SUBJECT TO CHANGE UPON FINAL APPROVAL AND SIGNATURE.

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
<p><b>PO7</b> Refuse storage areas are located for convenient collection, screened from public view and provided with facilities for self-contained cleaning.</p>	<p><b>AO7.1</b> Refuse storage areas allow the appropriately-sized collection vehicle to enter and exit in a forward gear. The use of staff car parking areas to accommodate internal manoeuvring is permissible, and</p> <p><b>AO7.2</b> The refuse storage area is provided in a building or other enclosed structure screened to a minimum height of 0.2m above the height of the refuse receptacles, and</p> <p><b>AO7.3</b> Refuse storage areas are provided with an impervious base that is drained to an approved waste disposal system and provided within a dedicated hose cock.</p>	<p><b>AO7.1</b> The proposed development involves on-site bulk refuse collection. The proposal allows the collection vehicle to enter and exit in a forward gear. Please refer to the traffic report prepared by Q Traffic.</p> <p><b>AO7.2</b> The proposed development involves on-site bulk refuse collection. The proposal allows the collection vehicle to enter and exit in a forward gear. Please refer to the traffic report prepared by Q Traffic.</p> <p><b>AO7.3</b> The proposed development involves on-site bulk refuse collection. The proposal allows the collection vehicle to enter and exit in a forward gear. Please refer to the traffic report prepared by Q Traffic.</p>	<p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>
<p><b>PO8</b> Development is located and designed to ensure that land uses are not exposed to: a) Areas that pose a health risk from previous activities; and b) Unacceptable levels of contaminants.</p>	<p><b>AO8.1</b> Development does not occur: a) In areas that pose a health risk from previous activities; and b) on sites listed on the Contaminated Land Register or Environmental Management Register, or</p>	<p><b>AO8.1</b> The subject site does not pose a health risk from previous activities and is not located on the contaminated land register.</p>	<p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>

Delegated Authority \_\_\_\_\_

Date: \_\_\_\_\_

HASSELL CHANGE OF USE FOR A RUFFE WARDEN ROAD AND RUCKEL DRIVE  
 15755 LAND AT 15 VOLCKMANN STREET, ORCHARD

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
	<p><b>AO8.2</b>                      Areas that pose a health risk from previous activities and contaminated soils which are subject to development are remediated prior to plan sealing, operational works permit, or issuing of building works permit.</p>	<p><b>AO8.2</b>                      The subject site does not pose a health risk from previous activities and is not located on the contaminated land register.</p>	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
<p><b>Section 2: For development affected by one or more overlays</b></p>			
<p><b>Airport environs overlay</b>                      Wildlife hazard sub-area</p>	<p>No outcome specified.</p>	<p><b>AO9</b>                      The subject site is not located within the wildlife hazard sub-area. As such, this criterion is not applicable.</p>	<input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
<p><b>PO9</b>                      Development does not significantly increase the risk of wildlife hazard particularly flying vertebrates, such as birds and bats, intruding within an airport operational airspace.</p>			

Delegated Authority

Date

GENERAL CHANGE OF USE FOR A DUMP THROUGH ROAD AND DRAINAGE OUTLET  
UPON LAND AT 10 VOLCANO DRIVE, AUCKLAND

**2 Use / Development Codes**

**2.1 Services and Works Code**

**2.1.1 Purpose**

PURPOSE & OVERALL OUTCOMES	PROPOSAL	COMPLIANCE
<p><b>1) The purpose of the Works and services code is to provide for the adequate provision of services and control of operational works.</b></p> <p><b>2) The purpose of the code will be achieved through the following overall outcomes:</b></p> <p>a) Infrastructure is provided in a cost-effective, efficient and co-ordinated manner to a standard ordinarily expected in the locality.</p> <p>b) Development is planned, designed, constructed and operated to manage stormwater and wastewater in ways that protect environmental values and achieve water quality objectives.</p> <p>c) Development is provided with sufficient vehicle parking and servicing in a manner that provides safe and efficient access and circulation.</p> <p>d) Landscaping enhances visual amenity, integrates the built and natural environments, maximises water efficiency, minimises soil loss, provides shade in large paved areas and does not adversely impact on infrastructure.</p> <p>e) Filling or excavation maintains the amenity and health of the community and environment.</p> <p>f) Development is reflective of and responsive to the environmental constraints of the land and is established where the impacts of natural hazards are avoided or safely managed.</p>	<p>a) The proposed infrastructure is provided in a cost-effective, efficient and co-ordinated manner. Please refer to the civil report prepared by MPN Consulting.</p> <p>b) The proposed infrastructure is to be designed constructed and operated to manage stormwater and waterways in ways that protect the environmental values.</p> <p>c) The proposed development is provided with sufficient vehicle parking and servicing in a manner that provides safe and efficient access and circulation. Please refer to the traffic report prepared by Q Traffic.</p> <p>d) Generous high quality landscaping is provided to enhance the visual amenity and to ensure it is integrated into the built form of the proposal.</p> <p>e) Any filling and excavation is addressed in the Civil engineering report prepared by MPN Consulting.</p> <p>f) The proposed development responds to the applicable constraints of the land and impacts of natural hazards are appropriately managed.</p>	<p><input checked="" type="checkbox"/> Compliant</p> <p><input type="checkbox"/> N/A</p> <p><input type="checkbox"/> Performance Solution</p>



Delegated Authority

Date:

NATIONAL OFFICE OF WATER SUPPLY THROUGH RESOURCE MANAGEMENT  
 OPEN LAND AT 15 YOUNG STREET, WELLINGTON

**2.1.2 Performance Outcomes & Acceptable Outcomes**

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		PROPOSAL		COMPLIANCE	
<b>Section 1: General</b>							
<b>PO1</b>	The development is planned and designed considering the land use constraints of the site for achieving stormwater design objectives.	<b>AO1.1</b> A stormwater quality management plan provides for achievable stormwater quality treatment measures that meet the design objectives identified in Table 9.4.4.	<b>AO1</b> Please refer to the civil engineering report prepared by <i>MPW Consulting</i> .	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution			
<b>PO2</b>	Development does not discharge wastewater to a waterway or off-site unless demonstrated to be best practice environmental management for that site.	<b>AO2.1</b> A wastewater management plan prepared by a suitably qualified person and addresses: a) wastewater type; b) climatic conditions; c) water quality objectives; d) best-practice environmental management; and <b>AO2.2</b> Wastewater is managed in accordance with a waste management hierarchy that: a) avoids wastewater discharge to waterways; or b) minimizes wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater.	<b>AO2</b> Please refer to the civil engineering report prepared by <i>MPW Consulting</i> and traffic report prepared by <i>Q Traffic</i> .	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution			
<b>PO3</b>	Construction activities avoid or minimise adverse impacts on	<b>AO3.1</b> An erosion and sediment control plan addresses the design objectives for the	<b>AO3</b> Please refer to the civil engineering report prepared by <i>MPW Consulting</i> .	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution			

Delegated Authority

Date

MATERIAL CHANGE OF USE PER A SPAT THROUGH ROAD AND FUTURE DEVELOPMENT AT 55 VILLIAMS STREET, AUCKLAND

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
<p>PO4 stormwater quality.</p> <p>Operational activities avoid or minimise changes to waterway hydrology from adverse impacts of altered stormwater quality and flow.</p>	<p>AO4.1 Development incorporates stormwater flow control measures to achieve the design objectives for the post- construction phase in Table 9.4.4.</p>	<p>AO4 Please refer to the civil engineering report prepared by MPN Consulting.</p>	<p><input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant</p> <p><input type="checkbox"/> N/A</p> <p><input type="checkbox"/> Performance Solution</p>
<p><b>Section 2: Infrastructure</b></p> <p>PO5 Development is provided with infrastructure which:</p> <p>a) conforms with industry standards for quality;</p> <p>b) is reliable and service failures are minimised; and</p> <p>c) is functional and readily augmented.</p>	<p>AO5.1 Except in the Rural zone, all development occurs on a site with frontage to a sealed road, and</p> <p>AO5.2 Infrastructure is designed and constructed in accordance with the standards contained in PSP1 – Design and Construction Standard.</p>	<p>AO5.1 The proposed development occurs on a site with a sealed road.</p> <p>AO5.2 Please refer to the civil engineering report prepared by MPN Consulting.</p>	<p><input checked="" type="checkbox"/> Compliant</p> <p><input type="checkbox"/> N/A</p> <p><input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant</p> <p><input type="checkbox"/> N/A</p> <p><input type="checkbox"/> Performance Solution</p>
<p><b>Section 3: Vehicle Parking</b></p> <p>PO6 Vehicle parking and access is provided to meet the needs of occupants, employees, visitors and other users.</p>	<p>AO6.1 Vehicle parking spaces are provided on-site in accordance with Table 9.4.5, and</p> <p>AO6.2 A service bay is provided on-site for the service vehicle nominated in Table 9.4.5, and</p>	<p>AO6.1 Vehicle car parking is provided in excess of the requirements identified in Table 9.4.5. Please refer to the traffic report prepared by Q Traffic.</p> <p>AO6.2 A service bay is provided on-site in accordance with Table 9.4.5. Please refer to the traffic report prepared by Q Traffic.</p>	<p><input checked="" type="checkbox"/> Compliant</p> <p><input type="checkbox"/> N/A</p> <p><input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant</p> <p><input type="checkbox"/> N/A</p> <p><input type="checkbox"/> Performance Solution</p>

Delegated Authority

Date:

APPROPRIATE CHANGES OF USE FOR A ROAD THROUGHOUT AND OVER THE COURSE OF THE ROAD AT 15 YELMORAN STREET, BRUNNEN

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
	<p><b>A06.3</b> Driveway crossings are provided to the standard contained in PSP1 – Design and Construction Standards.</p> <p>and</p> <p><b>A06.4</b> Vehicle parking and manoeuvring areas are provided in accordance with the standards contained in PSP1 – Design and Construction Standards.</p>	<p><b>A06.3</b> The proposed driveway crossing has been provided in accordance with the relevant PSP. Please refer to the traffic report prepared by Q Traffic.</p> <p><b>A06.4</b> Vehicle parking, manoeuvring and circulation has been designed in accordance with the standards contained in the PSP. Please refer to the traffic report prepared by Q Traffic.</p>	<p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>
<p><b>Section 4: Landscaping</b> <b>P07</b> Landscaping is appropriate to the setting and enhances local character and amenity.</p>	<p><b>A07.1</b> Landscaping is provided in accordance with the relevant zone code provisions, and</p> <p><b>A07.2</b> Where shade tree planting is required in vehicle parking areas each planting bed has a minimum area of 2m<sup>2</sup> and is unsealed and permeable, and</p> <p><b>A07.3</b> Plantings along frontages or boundaries are in the form of defined gardens with three tier planting comprised of groundcovers, shrubs (understorey), and trees (canopy).</p>	<p><b>A07.1</b> The proposed landscaping is provided in accordance with the Principal Centre zone code. High quality landscaping is provided along the site boundaries to minimize any potential adverse impacts generated from the proposal.</p> <p><b>A07.2</b> The proposed landscaping is provided in accordance with the Principal Centre zone code. High quality landscaping is provided along the site boundaries to minimize any potential adverse impacts generated from the proposal.</p> <p><b>A07.3</b> The proposed landscaping is provided in accordance with the Principal Centre zone code. High quality landscaping is provided along the site boundaries to minimize any potential adverse impacts generated from the proposal.</p>	<p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p> <p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>

Delegated Authority

Date:

MATERIAL CHANGE OF USE FOR A CODE THROUGH FOGS AND CHECK OUTLET  
 UPON LOCK AT 95 FOURTH ST. LANDSCAPE

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
<b>PO8</b> Plant species avoid adverse impacts on the natural and built environment, infrastructure and the safety of road networks.	and provided with a drip irrigation system, mulching and border barriers. <b>AO8.1</b> Landscaping utilises plant species that are appropriate for the location and intended purpose of the landscaping, and <b>AO8.2</b> Species selection avoids non-invasive plants.	potential adverse impacts generated from the proposal. <b>AO8</b> The proposal will utilize plant species that are appropriate for the location and avoid non-invasive plants. <b>AO9</b> The proposal will utilize plant species that are appropriate for the location and avoid non-invasive plants.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution  <input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
<b>Section 5: Filling and Excavation</b>			
<b>PO9</b> Development results in ground levels that retain: <ul style="list-style-type: none"> <li>a) access to natural light;</li> <li>b) aesthetic amenity;</li> <li>c) privacy; and</li> <li>d) safety.</li> </ul>	<b>AO9.1</b> The depth of: fill is less than 2m above ground level; or excavation is less than 2m below ground level. <b>AO9.2</b> The toe of the fill, or top of the excavation is not less than 0.5m inside the site property boundary, and <b>AO9.3</b> Works do not occur on slopes over 15% in grade, and <b>AO9.4</b> Retaining walls over 1m in height are terraced 1.5m for every 1m in height and	<b>AO9</b> Please refer to the Civil report prepared by <i>MPN Consulting</i> .  <b>AO9</b> Please refer to the Civil report prepared by <i>MPN Consulting</i> .  <b>AO9</b> Please refer to the Civil report prepared by <i>MPN Consulting</i> .	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution  <input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution  <input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution

Delegated Authority

Date

NATURAL GRASSES OF USE FOR A MORE THROUGH ROOFS AND DOWN SLOPES  
 15-20% AND AT 25 TOLERANCE STREET, BUNLAK

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
	landscaped, and		<input type="checkbox"/> Performance Solution
	<b>AO9.5</b> Better slopes are not steeper than 25% and are grassed and terraced 1.5m for every 1m in height. and	<b>AO9</b> Please refer to the Civil report prepared by MPW Consulting.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
	<b>AO9.6</b> Filling or excavation for the purpose or retention of water: is certified by an RPEQ engineer to safely withstand the hydraulic loading; directs overflow such that no scour damage or nuisance occurs on adjoining lots.	<b>AO9</b> Please refer to the Civil report prepared by MPW Consulting.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
<b>PO10</b> Filling or excavation does not cause damage to public utilities.	<b>AO10.1</b> Filling or excavation does not occur within 2m horizontally of any part of an underground water supply, sewerage, stormwater, electricity or telecommunications system.	<b>AO10</b> Please refer to the Civil report prepared by MPW Consulting.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
<b>PO11</b> Filling and excavation avoids water ponding on the premises or nearby premises that will adversely impact on the health of the community.	<b>AO11.1</b> Following filling or excavation: a) the premises: (i) are self-draining, and, (ii) has a minimum slope of 0.25%; and, b) surface water flow is: (i) directed away from neighbouring properties; or	<b>AO11</b> Please refer to the Civil report prepared by MPW Consulting.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution

Delegated Authority

Date

MANUAL CHANGE OF USE FOR AREAS THROUGH ROAD-AND-CURB OUTLET  
 OPEN LAND AT 55 VICTORIA STREET, AUCKLAND

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
	(i) discharged into a stormwater drainage system designed and constructed in accordance with AS3500 section 3.2.		
<b>Section 6: All operational work subject to an overlay</b>			
<b>Biodiversity overlay</b>			
<b>PO12</b> Development avoids, minimises or mitigates adverse impacts on areas of environmental significance.	<b>AO12.1</b> Uses and associated works are confined to areas not identified on Overlay Map 05.	<b>AO12</b> The subject site is not located within the biodiversity overlay.	<input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
	<b>AO12.2</b> Development is compatible with the environmental values of the area.	<b>AO12</b> The subject site is not located within the biodiversity overlay.	<input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
	<b>AO12.3</b> Where development within an area identified on Overlay Map 05 is unavoidable, measures recommended by a suitably qualified ecologist are incorporated to protect and retain the environmental values and underlying ecosystem processes within or adjacent to the development site to the greatest extent practical.	<b>AO12</b> The subject site is not located within the biodiversity overlay.	<input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution
<b>PO13</b> Biodiversity values of identified areas of environmental significance are protected from the impacts of development	<b>AO13.1</b> Development adjacent to Protected Areas identified on Overlay Map 05 is set back a minimum of 100m from the park boundaries in the absence of any current 'Management Plans' for these areas.	<b>AO13</b> The subject site is not located within the biodiversity overlay.	<input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution

Delegated Authority

Date:

MATERIAL CHANGE OF USE FOR A HOME THROUGH FLOOD HAZARD OVERLAY  
4810 VICTORIAN STREET, WINDSOR

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
<p><b>PO14</b> There are no significant adverse effects on water quality, ecological and biodiversity values.</p>	<p><b>AO14.1</b> Uses and associated works are confined to areas outside overlaid flow paths and natural drainage features. and <b>AO14.2</b> The Waterway Corridors identified on Overlay Map 05 are maintained in a natural state.</p>	<p><b>AO14</b> The subject site is not located within the biodiversity overlay.</p>	<p><input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>
<p><b>Flood Hazard Overlay</b> <b>PO15</b> Development directly, indirectly and cumulatively avoids any significant increase in water flow, velocity or flood level, and does not increase the potential for flood damage either on site or other properties.</p>	<p><b>AO15.1</b> Works associated with the proposed development do not: a) involve a net increase in filling greater than 50m3 in the area identified on Overlay Map 03; b) result in any reductions of on-site flood storage capacity and contain within the site any changes to depth / duration/velocity of flood waters; or c) change flood characteristics outside the site in ways that result in: (i) loss of flood storage; (ii) loss of/changes to flow paths; (iii) acceleration or retardation of flows; or (iv) any reduction in flood warning times.</p>	<p><b>AO15</b> The subject site is only marginally affected by the flood hazard overlay. The proposed works will not change the flood characteristics outside the site and impact the loss of flood storage or alter the flow paths.</p>	<p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>
<b>Regional Infrastructure Overlay</b>			

Delegated Authority

Date:

MINORIAL CHANGE OF USE FOR A DRIVE THROUGH FOOD AND BEVERAGE OUTLET  
 AT 170 VOLUNTEER STREET, WERRACREE

PERFORMANCE OUTCOMES	ACCEPTABLE OUTCOMES	PROPOSAL	COMPLIANCE
<p><b>PO16</b> Earthworks do not restrict access to and along major electricity infrastructure corridors by the electricity providers, using their normal vehicles and equipment.</p>	<p><b>AO16.1</b> Earthworks do not alter levels along the boundaries of existing easements by more than 300mm and do not result in increased inundation of electricity infrastructure.</p>	<p><b>AO16</b> The proposed works will not impact upon any major electricity infrastructure corridors.</p>	<p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>
<p><b>PO17</b> There is no worsening of drainage or erosion conditions affecting the bulk supply and linear infrastructure.</p>	<p>No outcome specified.</p>	<p><b>AO17</b> The proposal does not adversely impact the bulk supply and linear infrastructure.</p>	<p><input checked="" type="checkbox"/> Compliant <input type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>
<p><b>Water Catchments Overlay</b></p>			
<p><b>PO18</b> There are no significant adverse effects on the water quality of the Region's drinking water supply.</p>	<p><b>AO18.1</b> Development within the Bjelke-Petersen Dam Water Resource Catchment Area and the 800m buffer to Boondooma and Gordonbrook Dams shown on Overlay Map 06 has no significant adverse effect on the quantity and availability of raw water for consumption, as determined by a suitably qualified water quality expert.</p> <p>OR</p> <p><b>AO18.2</b> Development within the Cooyer Creek water supply buffer area shown on Overlay Map 06 complies with the specific outcomes and measures of the <i>Seawater Development Guidelines: Development Guidelines for Water Quality Management in Drinking Water Catchments 2012</i>.</p>	<p><b>AO18</b> The subject site is not located within the Water Catchments Overlay.</p>	<p><input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>
		<p><b>AO18</b> The subject site is not located within the Water Catchments Overlay.</p>	<p><input type="checkbox"/> Compliant <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Performance Solution</p>



Delegated Authority

Date

Item 0.0

Page 88

Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

**NEGOTIATED REPORT FOR MATERIAL CHANGE OF USE FOR A TELECOMMUNICATIONS FACILITY AT 125 LEWIS DUFF ROAD, BALLOGIE (LOT 33 ON BO44) - APPLICANT: LENDLEASE SERVICES PTY LTD FOR OPTUS MOBILE PTY LTD**

**File Number:** MCU21/0005  
**Author:** Senior Planner  
**Authoriser:** Chief Executive Officer

	SIGNATURE	DATE
MANAGER	<i>[Signature]</i>	7/10/21
GM	<i>[Signature]</i>	8/10/21
CEO	<i>[Signature]</i>	8.10.2021

**PRECIS**

Negotiated Report for Material Change of use for a Telecommunications Facility at 125 Lewis Duff Road, Ballogie (Lot 33 on BO44) - Applicant: Lendlease Services Pty Ltd for Optus Mobile Pty Ltd

**SUMMARY**

- ☐ The applicant submitted representations on 22 September 2021 requesting a Negotiated Decision Notice in relation to Material change of use – development permit (Telecommunications facility);
- ☐ The nature of the requested amendments relate to:
  - GEN3 Amenity – request to have this condition amended to include galvanised steel similar to other communication towers in the region which will blend into the skyline due to its mast tower being a lattice structure achieving a better visual appearance;
  - ENG6 & 8 Stormwater – request to remove these conditions due to the minimal hard surface areas with runoff to be considered negligible.

**OFFICER'S RECOMMENDATION**

That Council issue a Negotiated Decision Notice for Material change of use – development permit (Telecommunications facility) at 125 Lewis Duff Road, Ballogie (and described as Lot 33 on BO44) pursuant to the provisions of s76 of the *Planning Act 2016* subject to the amendments listed as follows:-

**GENERAL**

**GEN1.** The development must be completed and maintained generally in accordance with the approved plans and documents and any amendments arising through conditions to this development approval:

Drawing Title	Prepared by	Ref	Revision	Date
Overall Site Plan	Lendlease	B1860-P1	01	15/04/21
Draft Site Plan	Lendlease	B1860-P2	01	26/11/20
Draft Site Elevation	Lendlease	B1860-P3	01	26/11/20

**Note:** Where there is any inconsistency between the approved plans and documents and the conditions of the approval, the conditions of the approval will prevail.

**APPROVED USE**

**GEN2.** This Development Approval is a Material Change of Use for Telecommunication facility as shown on the approved plans and does not imply or comprise an approval for any uses.

**AMENITY**

**GEN3.** The tower must be finished in a non-reflective colour eg. pale-grey/eucalyptus or galvanised steel finish to minimise visual impacts in the locality.

Delegated Authority

Date

**ENGINEERING WORKS**

ENG1. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to Council's endorsement of the Survey Plan unless stated otherwise.

ENG2. Undertake Engineering designs and construction in accordance with the Planning Scheme, Council's Standard Drawings, relevant Australian Standards, Codes of Practice, and relevant design manuals.

ENG3. Be responsible for any alteration necessary to electricity, telephone, water mains, sewer mains, stormwater drainage systems or easements and/or other public utility installations resulting from the development or from road and drainage works required in connection with the development.

**LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS**

ENG4. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.

ENG5. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.

**STORMWATER MANAGEMENT**

ENG6. Provide overland flow paths that do so as to not adversely alter the characteristics of existing overland flows on other properties, or that create an increase in flood damage on other properties.

ENG7. Adjoining properties and roadways to the development are to be protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.

ENG8. Discharge all minor storm flows that fall or pass onto the site to the lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).

**VEHICLE ACCESS**

ENG9. Design and construct a gravel vehicle turnout at the Lewis Duff Road entrance point, in accordance with Council's Standard Drawing 00049. The turnout shall be designed to accommodate the largest expected vehicle.

ENG10. Design and construct the access track to the site with a minimum width of 4m and 150mm depth of gravel.

**EROSION AND SEDIMENT CONTROL - GENERAL**

ENG11. Ensure that all reasonable actions are taken to prevent sediment or sediment laden water from being transported to adjoining properties, roads and/or stormwater drainage systems.

**ADVICE**

ADV1. Section 85 (1)(a) of the *Planning Act 2016* provides that, if this approval is not acted upon within the period of six (6) years the approval will lapse.

**WHEN APPROVAL TAKES EFFECT**

ADV2. This development approval starts to have effect in accordance with the provisions of Section 71 of the *Planning Act 2016*.

**WHEN APPROVAL LAPSES**

Delegated Authority \_\_\_\_\_ Date \_\_\_\_\_

ADV3. This development approval will lapse in accordance with the provisions contained within Sections 85 and 88 of the *Planning Act 2016*, unless otherwise stated elsewhere within this development approval.

ADV4. Section 85 (1)(a) of the *Planning Act 2016* provides that, if this approval is not acted upon within the period of six (6) years the approval will lapse.

#### INFRASTRUCTURE CHARGES

ADV5. Infrastructure charges are now levied by way of an infrastructure charges notice, issued pursuant to section 119 of the *Planning Act 2016*.

#### HERITAGE

ADV6. This development approval does not authorise any activity that may harm Aboriginal Cultural Heritage. Under the *Aboriginal Cultural Heritage Act 2003* you have a duty of care in relation to such heritage. Section 23(1) provides that "A person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal Cultural Heritage." Council does not warrant that the approved development avoids affecting Aboriginal Cultural Heritage. It may therefore, be prudent for you to carry out searches, consultation, or a Cultural Heritage assessment to ascertain the presence or otherwise of Aboriginal Cultural Heritage. The Act and the associated duty of care guidelines explain your obligations in more detail and should be consulted before proceeding. A search can be arranged by visiting <https://www.datsip.qld.gov.au> and filling out the Aboriginal and Torres Strait Islander Cultural Heritage Search Request Form.

#### APPEAL RIGHTS

ADV6. Attached for your information is a copy of Chapter 6 of the *Planning Act 2016* as regards Appeal Rights.

---

Delegated Authority

Date:

#### **FINANCIAL AND RESOURCE IMPLICATIONS**

No implication can be identified.

#### **LINK TO CORPORATE/OPERATIONAL PLAN**

Growth and Opportunity

GO2 Balanced development that preserves and enhances our region.

GO2.1 Implement Council's planning scheme to support sustainable development of business, industry and community liveability

#### **COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)**

Refer to CONSULTATION in this report.

#### **LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)**

No implication identified.

#### **POLICY/LOCAL LAW/DELEGATION IMPLICATIONS**

No implication can be identified.

#### **ASSET MANAGEMENT IMPLICATIONS**

No implication can be identified.

#### **Report**

##### **Background / Introduction**

Council approved, under delegation the application for a Material change of use – development permit (Telecommunications facility ) on the subject site on 17 September 2021 subject to conditions. The decision notice was issued to the applicant on 22 September 2021.

Pursuant to s74 of the *Planning Act 2016*, the applicant may change the development approval, during the applicant's appeal period, by making change representations to Council to change the conditions of the approval. The applicant's appeal period starts on the date the decision notice is given to the applicant and expires within 20 business days from this date.

Council received the applicant's change representations on 22 September 2021 and are considering the change representations within the applicant's appeal period.

2

---

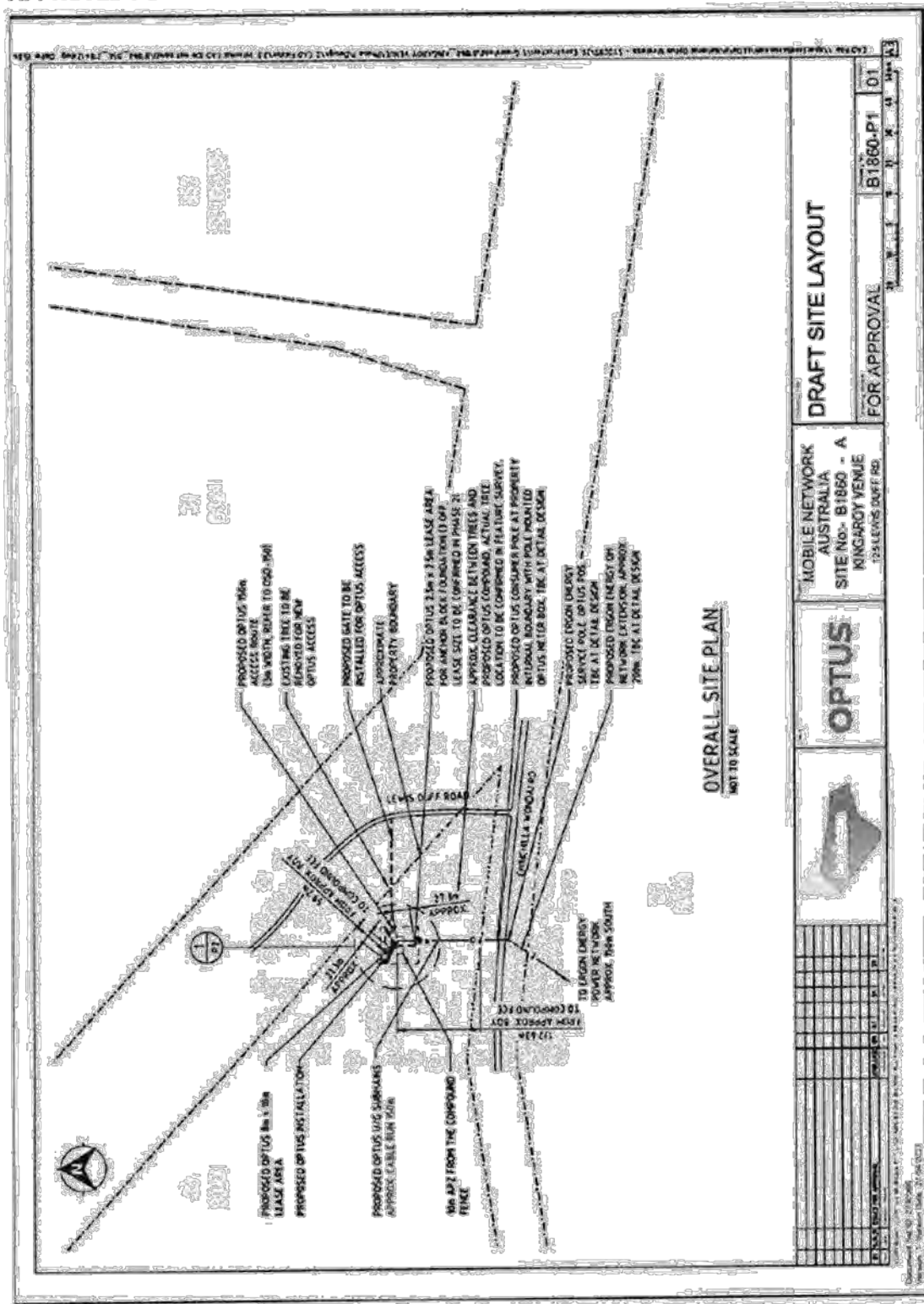
Item

Page 4

Delegated Authority

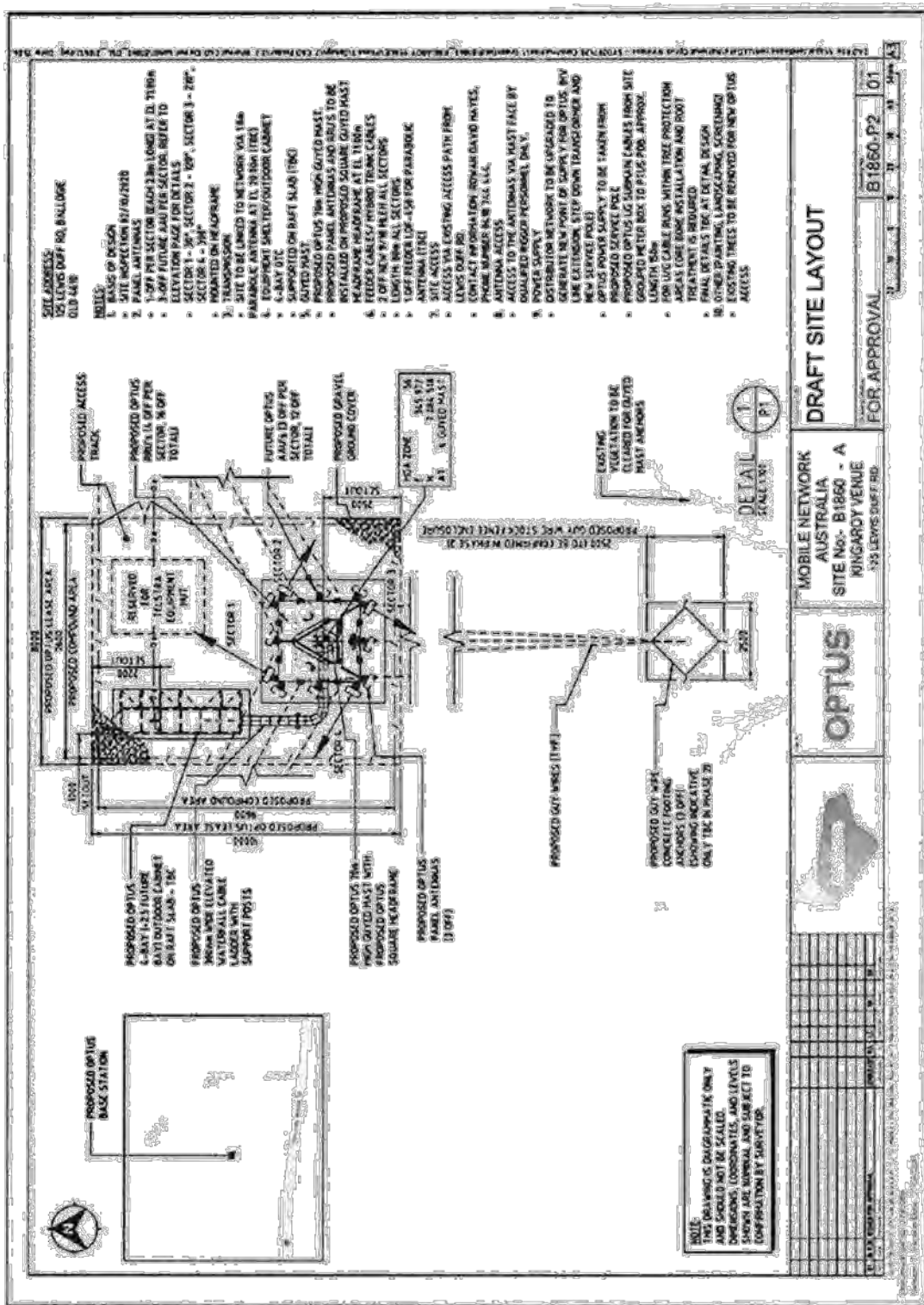
Date:

APPROVED PLAN



Delegated Authority

Date

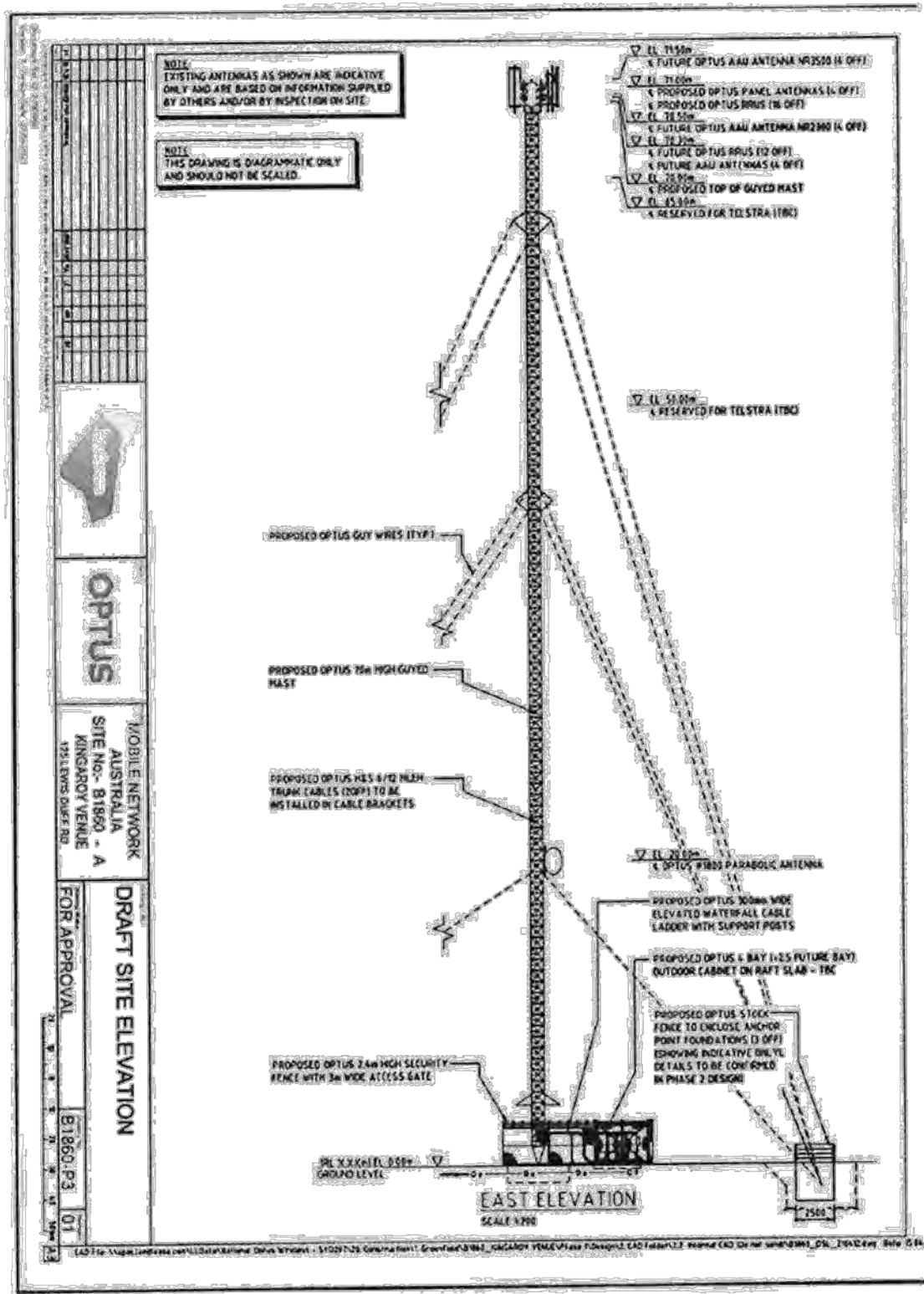


Item

Page 6

Delegated Authority

Date:

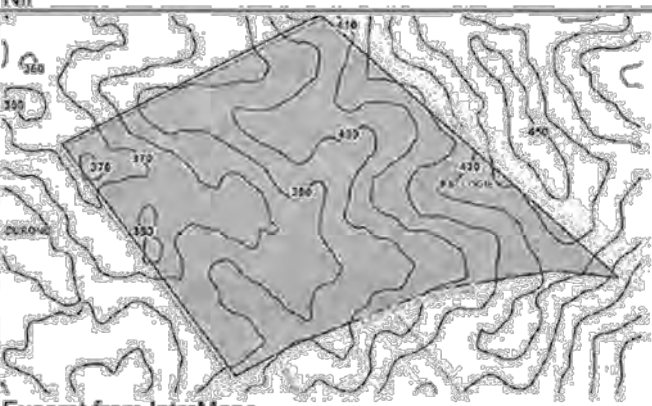




Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

<b>APPLICATION DETAILS</b>	
Application Number:	MCU21/0005
Applicant:	Optus Mobile Pty Ltd C/- Lendlease Services Pty Ltd
Type of Application:	Request for Negotiated Decision Notice
Appeal Period Suspended:	22 September 2021
Representations Received Date:	22 September 2021

<b>SITE AND LOCALITY DESCRIPTION</b>	
Street Address:	125 Lewis Duff Road, Ballogie
RP Description:	Lot 33 on BO44
Assessment Type:	Impact assessable
Number of Submissions:	N/A
State Referral Agencies:	SARA – 22 June 2021
Referred Internal Specialists:	Development Engineer

<b>SITE AND LOCALITY DESCRIPTION</b>								
Land Area:	517ha							
Existing Use of Land:	Large privately owned rural property currently undeveloped except for some sheds, dams and the landowner's dwelling approximately 2km north-west from the proposed Optus compound.							
Road Frontage:	Access to the site will be via a new unsealed track which will connect to Lewis Duff Road which runs along the eastern boundary, before intersecting with Chinchilla Wondai Road which runs along the southern lot boundary.							
Road/s	<b>Road Hierarchy</b>							
Chinchilla Wondai Road	DTMR – Main road 2,924m approx							
Lewis Duff Road	Access minor 2,891m approx							
Easements	Nil							
Significant Site Features:	Nil							
Topography:	 <p>Excerpt from IntraMaps</p>							
Surrounding Land Uses:	<table border="1"> <thead> <tr> <th>Land Use</th> <th>Zone/Precinct</th> </tr> </thead> <tbody> <tr> <td>North</td> <td rowspan="4">Large rural parcel holdings generally vacant. Smaller rural lots approximately 16ha in area to the south of the subject lot.</td> </tr> <tr> <td>South</td> </tr> <tr> <td>East</td> </tr> <tr> <td>West</td> </tr> </tbody> </table>	Land Use	Zone/Precinct	North	Large rural parcel holdings generally vacant. Smaller rural lots approximately 16ha in area to the south of the subject lot.	South	East	West
Land Use	Zone/Precinct							
North	Large rural parcel holdings generally vacant. Smaller rural lots approximately 16ha in area to the south of the subject lot.							
South								
East								
West								
Services:	State controlled road. Electricity services will need to be reticulated once the mast is erected.							

Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

<b>APPROVED DEVELOPMENT</b>	
Type of Approval:	Development Permit
Approved Development:	Material change of use - Telecommunications facility as follows:- <ul style="list-style-type: none"> <li>- 1 new 70m guyed mast with 3 guyed wire anchors;</li> <li>- 1 square headframe;</li> <li>- 4 new panel antennas (future);</li> <li>- 16 new remote radio units;</li> <li>- 1x1800mm parabolic dish antenna;</li> <li>- 1x4bay outdoor unit at the base of the guyed mast;</li> <li>- 2.4m high chainlink security compound fencing;</li> <li>- 150m unsealed access track with access gate; and</li> </ul> Ancillary equipment associated with the operation of the facility including but not limited to radio remote units attached to the pole, GPS antenna, cabling, earthing and electrical works.
Variations Sought:	N/A
Level of Assessment:	Impact assessable
Area to be used:	8mx10m excluding informal track to Telecommunications facility
Impervious Area:	N/A
Site Cover:	1.5% approximately
Car Parking Spaces:	Space available for construction and maintenance
Service Vehicle Provision:	Nil
Submissions Received:	Nil
Decision Notice Issued:	22 September 2021

**CONSULTATION:**

**Referral Agencies**

SARA – Provided conditions of approval relating to direct access prohibited, construction (refer to Attachment B).

**Other advice**

CASA – The applicant provided details to CASA who in turned advised via response email on 7 April 2021 no requirements. It was suggested to the applicant that they report the location and height of the tower to Aircservices so that its location can be added to aeronautical charts and maps as necessary.

**Other Referrals**

<b>INTERNAL SPECIALIST</b>	<b>REFERRAL</b>	<b>REFERRAL / RESPONSE</b>
Contract Engineer	Development	Council's Development Engineer provided feedback in response to the applicant's representations relating to stormwater.
Infrastructure Charges Unit		Telecommunications facility is listed as a Minor use under the South Burnett Regional Council Charges Resolution (No. 3) 2019.  Nb. The adopted charge is the charge for another similar use listed in this table that council decides to apply to the use.  Council considers that the adopted charge for a Minor use applies.

Delegated Authority	Date
As per South Burnett Regional Council Charges Resolution (No. 3) 2019 Table 2.2 the charge for a Minor use is Nil (Refer to Attachment A – Adopted Infrastructure Charge).	

**Public Notification**

The Notice of Compliance was received by Council on 23 July 2021. The information attached to the notice confirms that the public notification of the application was undertaken in accordance with the requirements of Part 4 of the *Planning Act 2016*. The Notice of Compliance states the public notification included:

- Publishing a notice in the South Burnett Times on Tuesday 1 July 2021;
- Place a notice on the land from 21 June 2021; and
- Notifying owners of all land adjoining the site on 1 July 2021.

No submissions were received objecting to or supporting the proposed development.

**Planning Considerations**

Section 76(1) of the *Planning Act 2016* establishes the following parameters in relation to the assessment of change representations made during the appeal period:

- 76 Deciding change representations**  
 (1) The assessment must assess the change representations against and having regard to the matters that must be considered when assessing a development application, to the extent those matters are relevant.

**Assessment of Proposed Changes – Change to Conditions of the Development Approval**  
 Changes to the conditions of approval have been proposed by the applicant shown as applicant's change representations, the officer's assessment of the proposed amendments and any recommended amendments to the condition/s.

**Applicant's Change Representations**



Figure 1 - Excerpt from email of the applicant

**Officer's Response and recommendation**

The construction of the guy mast will be of lattice construction and the inclusion of galvanised steel finish would be considered a suitable material given the lattice construction and the impact on the surrounding area of a material known withstand and age accordingly.

**Recommendation – Condition to be amended to include galvanised steel finish as follows:-**

GEN3. The tower must be finished in a non-reflective colour eg. pale-grey/eucalyptus or **galvanised steel finish** to minimise visual impacts in the locality.

Standard conditions relating to stormwater are imposed on developments to ensure the applicant/developer does not make alter the overland flow regime and affect other properties.

Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

**Recommendation** – Condition to be amended to ensure the developer “maintains” existing overland flow paths and that any stormwater flows to be discharged in accordance with the QUDM as follows:-

ENG6. **Maintain** Provide overland flow paths that do so as to not adversely alter the characteristics of existing overland flows on other properties, or that create an increase in flood damage on other properties.

**CONCLUSION:**

The requested change representations have been assessed with regard to the applicable assessment framework as identified in the report. The amendment to condition GEN3 be approved and deletion of ENG6 be refused however amended as the alternative. It is therefore recommended that the development approval be amended as identified above.

The attached Statement of Reasons (refer Attachment C) is not required to be amended.

2

Delegated Authority

Date:

**ATTACHMENTS**

Nil

Delegated Authority

Date:

**ATTACHMENT A**

**INFRASTRUCTURE CHARGES NOTICE**

*(Section 119 of the Planning Act 2016)*

**APPLICANT:** Optus Mobile Pty Ltd C/- Lendlease Services Pty Ltd  
Zenith Tower B, Level 5 821 Pacific Hwy  
CHATSWOOD NSW 2067

**APPLICATION:** Material Change of use - Impact assessable - One (1) new 70m telecommunication facility (guyed mast), with a square headframe, four (4) new panels antennas, one (1) parabolic dish antenna, associated ancillary equipment and one (1) five bay outdoor unit (ODU) within a fenced compound.

**DATE:** 14/09/2021

**FILE REFERENCE:** MCU21/0005

<b>AMOUNT OF THE LEVIED CHARGE:</b> <i>(Details of how these charges were calculated are shown overleaf)</i>	<b>\$0.00</b>	<b>Total</b>
	\$0.00	Water Supply Network
	\$0.00	Sewerage Network
	\$0.00	Transport Network
	\$0.00	Parks and Land for Community Facilities Network
	\$0.00	Stormwater Network

**AUTOMATIC INCREASE OF LEVIED CHARGE:** The amount of the levied charge is subject to an automatic increase. Refer to the Information Notice attached to this notice for more information on how the increase is worked out.

**LAND TO WHICH CHARGE APPLIES:** Lot 33 B044

**SITE ADDRESS:** 125 Lewis Duff Rd, Ballogie

**PAYABLE TO:** South Burnett Regional Council

**WHEN PAYABLE:** Material Change of Use – When the change happens.  
*(In accordance with the timing stated in Section 122 of the Planning Act 2016)*

**OFFSET OR REFUND:** Not Applicable.

This charge is made in accordance with South Burnett Regional Council's *Charges Resolution (No. 3) 2019*

Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

**DETAILS OF CALCULATION**

**Water Supply**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Specialised Use (Telecomms Tower)			\$0.00	CR Table 2.2	\$0.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Nil	-		\$0.00	CR Table 2.2	\$0.00

**Sewerage**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Specialised Use (Telecomms Tower)			\$0.00	CR Table 2.2	\$0.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Nil	-		\$0.00	CR Table 2.2	\$0.00

**Transport**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Specialised Use (Telecomms Tower)			\$0.00	CR Table 2.2	\$0.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Nil	-		\$0.00	CR Table 2.2	\$0.00

Delegated Authority \_\_\_\_\_ Date \_\_\_\_\_

**Parks and Land for Community Facilities**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Specialised Use (Telecomms Tower)			\$0.00	CR Table 2.2	\$0.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Nil			\$0.00	CR Table 2.2	\$0.00

**Stormwater**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Specialised Use (Telecomms Tower)			\$0.00	CR Table 2.2	\$0.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Nil			\$0.00	CR Table 2.2	\$0.00

**Levied Charges**

Development Description	Water Supply	Sewerage	Transport	Parks & Land for Community Facilities	Stormwater	Total
Specialised Use (Telecomms Tower)	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<b>Total</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>

*\* In accordance with Section 3.3 of the Charges Resolution, the discount may not exceed the adopted charge. Any surplus discounts will not be refunded, except at South Burnett Regional Council's discretion.*



Delegated Authority

Date

## INFORMATION NOTICE

**Authority and Reasons for Charge** This Infrastructure Charges Notice has been given in accordance with section 119 of the *Planning Act 2016* to support the Local government's long-term infrastructure planning and financial sustainability.

**Appeals** Pursuant to section 229 and Schedule 1 of the *Planning Act 2016* a person may appeal an Infrastructure Charges Notice. Attached is an extract from the *Planning Act 2016* that details your appeal rights.

**Automatic Increase Provision of charge rate (\$)** An infrastructure charge levied by South Burnett Regional Council is to be increased by the difference between the Producer Price Index (PPI) applicable at the time the infrastructure charge was levied, and PPI applicable at the time of payment of the levied charge, adjusted by reference to the 3-yearly PPI average<sup>3</sup>. If the levied charge is increased using the method described above, the charge payable is the amount equal to the sum of the charge as levied and the amount of the increase.

However, the sum of the charge as levied and the amount of the increase is not to exceed the maximum adopted charge the Authority could have levied for the development at the time the charge is paid.

**GST** The Federal Government has determined that contributions made by developers to Government for infrastructure and services under the *Planning Act 2016* are GST exempt.

**Making a Payment** This Infrastructure Charges Notice cannot be used to pay your infrastructure charges.

To pay the levied charge, you must request an Itemised Breakdown showing the total levied charge payable at the time of payment. An Itemised Breakdown must be presented at the time of payment.

An Itemised Breakdown may be requested by emailing [info@southburnett.qld.gov.au](mailto:info@southburnett.qld.gov.au)

Payment can be made at any of the following South Burnett Regional Council Offices:

- 69 Hart Street, Blackbutt, 4314;
- 45 Glendon Street, Kingaroy, 4610;
- 42 Stephens Street West, Murgon, 4605;

<sup>3</sup> 3-yearly PPI average is defined in section 114 of the *Planning Act 2016* and means the PPI adjusted according to the 3-year moving average quarterly percentage change between financial quarters. PPI Index is the producer price index for construction 6427.0 (ABS PPI) index number 3101 – Road and Bridge construction index for Queensland published by the Australian Bureau of Statistics.

Delegated Authority	Date
---------------------	------

- 48 Drayton Street, Nanango, 4615;
- McKenzie Street, Wondai, 4606; or
- via other methods identified on the Itemised Breakdown.

**Enquiries**

Enquiries regarding this Infrastructure Charges Notice should be directed to the SOUTH BURNETT REGIONAL COUNCIL, Department of Planning and Land Management, during office hours, Monday to Friday by phoning (07) 4189 9100 or email at [info@southburnett.qld.gov.au](mailto:info@southburnett.qld.gov.au)

Item	Page 17
------	---------

Delegated Authority

Date:

**ATTACHMENT B – CONCURRENCE AGENCY RESPONSE**

SARA



SARA reference: 2105-22886-SRA  
 Council reference: MCU21/0005  
 Applicant reference: B1880 KINGAROY VENUE

22 June 2021

Chief Executive Officer  
 South Burnett Regional Council  
 PO Box 336  
 KINGAROY Qld 4610  
 info@southburnett.qld.gov.au

Attention: Sam Dunstan

Dear Sir/Madam

**SARA response—125 Lewis Duff Road, Ballogie**

(Referral Agency response given under section 58 of the Planning Act 2016)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 26 May 2021.

**Response**

Outcome: Referral agency response – with conditions.  
 Date of response: 22 June 2021  
 Conditions: The conditions in Attachment 1 must be attached to any development approval.  
 Advice: Advice to the applicant is in Attachment 2.  
 Reasons: The reasons for the referral agency response are in Attachment 3.

**Development details**

Description: Development permit: Material change of use for a Telecommunication Facility  
 SARA role: Referral Agency  
 SARA trigger: Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1 (Planning Regulation 2017)  
 Development application for a material change of use within 25m of a

Agency Centre regional office  
 Level 2, 208 Rossiter Street  
 Mackay  
 PO Box 112, Mackay QLD 4740

Page 1 of 6

Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

2106-22686 SRA

State-controlled road

SARA reference: 2105-22686 SRA

Assessment Manager: South Burnett Regional Council

Street address: 125 Lewis Duff Road, Balligie

Real property description: 338044

Applicant name: Optus Pty Ltd C/Lendlease Services Pty Ltd

Applicant contact details: Zenith Centre, Level 5, Tower B, 821 Pacific Highway  
Chatswood NSW 2167  
jessica.bradbury@lendlease.com

**Representations**

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules). Copies of the relevant provisions are in Attachment 4.

A copy of this response has been sent to the applicant for their information.

For further information please contact Thomas Gardner, Principal Planning Officer, on 0749242916 or via email RockhamptonSARA@dsd.qld.gov.au who will be pleased to assist.

Yours sincerely



Anthony Walsh  
Manager Planning

- cc Optus Pty Ltd C/Lendlease Services Pty Ltd, jessica.bradbury@lendlease.com
- enc Attachment 1- Referral agency conditions
- Attachment 2 - Advice to the applicant
- Attachment 3 - Reasons for referral agency response
- Attachment 4- Representations provisions



Delegated Authority \_\_\_\_\_ Date \_\_\_\_\_

2105-01060-0000

**Attachment 1—Referral agency conditions**

(Under section 56(1)(b)(i) of the Planning Act 2016 the following conditions must be attached to any development approval relating to this application)

No.	Conditions	Condition timing
<b>Material change of use</b>		
Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1—The chief executive administering the Planning Act 2016 nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following conditions.		
1.	Direct access is not permitted between Chinchilla-Wondai Road and the subject site.	At all times.
2.	<p>(a) A Construction Management Plan must be prepared by a suitably qualified person and given to the District Director (Wide Bay) of the Department of Transport and Main Roads.</p> <p>(b) The Construction Management Plan must demonstrate that there will be no disruption to Chinchilla-Wondai Road during the course of construction.</p> <p>(c) The construction of the development must be undertaken in accordance with the Construction Management Plan.</p>	<p>(a) and (b) Prior to obtaining development approval for building work or operational work, whichever occurs first.</p> <p>(c) At all times during construction of the development.</p>

Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

2106/2020/SBA

**Attachment 2 – Advice to the applicant**

General advice	
1.	Terms and phrases used in this document are defined in the Planning Act 2016 its regulation of the State Development Assessment Provisions (SDAP) v2.6. If a word remains undefined it has its ordinary meaning.
2.	<p>Condition 2 (Inclusive) states a requirement for the submission of a Construction Management Plan to the Department of Transport and Main Roads.</p> <p>The Construction Management Plan should include sufficient detail about the number of trips, frequency and duration of traffic generated during the construction period and what measures are needed to ensure the development does not worsen the operating conditions on the state-controlled road during the course of construction.</p> <p>Submission of the Construction Management Plan or enquires about this matter can be made to the Department of Transport and Main Roads via email to <a href="mailto:WBB.DAS@tmc.qld.gov.au">WBB.DAS@tmc.qld.gov.au</a> (reference: TMR21-033091).</p>

Delegated Authority

Date:

21/05/2021/SRA

**Attachment 3—Reasons for referral agency response**

*(Given under section 56(7) of the Planning Act 2016)*

**The reasons for the SARA's decision are:**

- The positioning of the Telecommunication Facility on the subject site will not cause a distraction that will create a safety hazard for users of Chinchilla-Wondal Road.
- The Telecommunication Facility will not result in a worsening of operating conditions on Chinchilla-Wondal Road as the proposal will not generate large volumes of traffic once operational.
- The Telecommunication Facility will not create a safety hazard for users of Chinchilla-Wondal Road as there is no direct access proposed between the subject site and the State-controlled road.
- The development application has demonstrated compliance with the State Development Assessment Provisions, State code 1: Development in a state-controlled road environment subject to the implementation of conditions.

**Material used in the assessment of the application:**

- The development application material and submitted plans
- Planning Act 2016
- Planning Regulation 2017
- The State Development Assessment Provisions (version 2.5)
- The Development Assessment Rules
- SARA DA Mapping system

State Assessment and Referral Agency

Page 5 of 8

**Delegated Authority** \_\_\_\_\_ **Date** \_\_\_\_\_

2100-22086/000

**Attachment 4—Change representation provisions**

(page left intentionally blank)

Blue Association and Referral Agency

Page 2 of 6

Item \_\_\_\_\_ Page 23



Delegated Authority \_\_\_\_\_

Date: \_\_\_\_\_

**ATTACHMENT C**

**NOTICE ABOUT DECISION – STATEMENT OF REASONS**

*The following information is provided in accordance with Section 63(4) & (5) of the Planning Act 2016*

The development application for:

<b>Type of Approval</b>	Material Change of use - Development permit
<b>Level of Assessment</b>	Impact
<b>Application No</b>	MCU21/0005
<b>Name of Applicant</b>	Optus Mobile Pty Ltd C/- Lendlease Services Pty Ltd
<b>Street Address</b>	125 Lewis Duff Road, Ballogie
<b>Real Property Address</b>	Lot 33 BO 44

On 7 October 2021 the above development was:

Approved in full, with conditions.

**1. Reasons for the Decision**

The reasons for this decision are:

- Considered to be the most appropriate location to address the blackspot mobile and data services in Ballogie;
- Achieves good separation to surrounding sensitive land uses;
- There is minimal vegetation clearing required for the facility;
- The site is not located on any known environmentally significant area;
- The structure can provide additional area on which other antenna may be installed at a later stage;
- Predicted maximum EME levels are calculated at less than 0.15% of the maximum 100% level specified under the relevant mandatory Australia safety standard;
- The proposed facility will not compromise future use of the land;
- The Telecommunications facility will contribute to the economic and social benefits to the surrounding community.

**2. Assessment Benchmarks**

The following benchmarks apply to this development:

- Strategic Framework
- Reconfiguring a lot code
- Rural residential zone code
- Services and works code

**Note:** Each application submitted to Council is assessed individually on its own merit.

Delegated Authority

Date: 28.9.21

**0.0 OPERATIONAL WORKS APPLICATION FOR CHINCHILLA WONDAL ROAD, DURONG (LOT 1 ON RP50789) - LAY GRAVEL, CONCRETE HARDSTAND FOR FUEL PODS**

**File Number:** OPW21/0005  
**Author:** Engineering Contractor, Planning & Land Management  
**Authoriser:** Chief Executive Officer

SIGNATURE	DATE
<i>[Signature]</i>	28/9/21
<i>[Signature]</i>	29/9/21
<i>[Signature]</i>	29.09.21

**PRECIS**

Development Application for Operational Work – Earthworks for the construction of hardstand associate with a fuel depot on the Chinchilla Wondal Rd, Durong – Lot 1 RP50789 – OPW21/0005.

**SUMMARY**

- Application for Operational Work for Earthworks for the construction of hardstand associate with a fuel depot on the Chinchilla Wondal Rd, Durong – Lot 1 RP50789 – OPW21/0005.
- The proposed Operational Work is approved with conditions.
- These conditions are seen to be in accordance with South Burnett Regional Council Planning Scheme 2017, development guidelines and best practices.

**OFFICER'S RECOMMENDATION**

It is recommended that Council approve the development application for Operational Work for the construction of hardstand associate with a fuel depot on the Chinchilla Wondal Rd, Durong – Lot 1 RP50789, subject to the following conditions:

**GENERAL**

ENG 1 Compliance with the plans and specifications submitted with Development Application OPW21/0005, approval conditions, and all Council Planning Scheme Policies.

- (a) This approval extends to Earthworks as detailed, and is conditional upon a set of "Issued for Construction" drawings, amended if required by the conditions of this approval, being submitted to Council for endorsement, prior to pre-start meeting.

ENG 2 Undertake all approved works and works required by conditions of this development approval at no cost to Council.

ENG 3 Pay to Council, inspection fees based on Council's Fees and Charges current at the time of commencement of works and based on the estimated project cost as estimated or accepted by Council prior to the pre-start meeting.

ENG 4 Adhere to the following hours of construction unless otherwise approved in writing by Council:

Monday to Saturday	6.30am to 6.30pm	Noise permitted
Monday to Sunday	6.30pm to 6.30am	No noise permitted
Sunday and Public Holidays		No noise permitted

Do not conduct work or business that causes audible noise from or on the site outside the above hours.

ENG 5 Be responsible to carry out Work Health and Safety legislative requirements.

ENG 6 Ensure all work sites are maintained in a clean, orderly state at all times.

Delegated Authority

Date: 28.9.21

ENG 7 Manage all waste in accordance with the relevant legislation and regulations.

ENG 8 Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.

ENG 9 Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development, immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damage immediately upon completion of works associated with the development.

ENG 10 Submit to Council, a Certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the approved plans and specifications and to Council's requirements.

**STORMWATER**

ENG 11 Ensure that earthworks and fill on the subject land do not lead to ponding of stormwater or actionable nuisance and ensure that the development drains freely to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.

ENG 12 Do not concentrate stormwater onto adjoining properties.

**DEVELOPMENT WORKS**

ENG 13 Maintain erosion and sedimentation controls at all times during the course of the project. Council Officers will inspect and assess the sediment and erosion control measures and temporary fencing implemented, and any alterations and/or supplementary works required must be incorporated.

ENG 14 Implement measures to prevent site vehicles tracking sediment and other pollutants from the site onto adjoining streets during the course of the project, and to prevent dust nuisance during construction and the ensuing defects liability period.

ENG 15 Be responsible for protecting nearby property owners from dust pollution arising from construction and maintenance of the works required by this approval, and comply with any lawful instructions from the Assessment Manager if, in his opinion, a dust nuisance exists.

**EARTHWORKS**

ENG 16 Do not use contaminated material as fill on the site. Undertake any filling using inert materials only, with a maximum particle size of 75mm.

ENG 17 Ensure open drains and fill platforms are constructed with a longitudinal grade on no less than 0.1%.

**ACCESSES**

ENG 18 Accesses shall be constructed generally in accordance with Figure 7.4 in Austroads Guide to Road Design Part 4: Intersections and Crossing – General (2009), subject to approval by the Department of Transport and Main Roads.

ENG 19 Entry and Exit signage shall be Size 'A', to a Class 1 reflective standard.

**INSPECTIONS AND TESTING**

Delegated Authority

Date: 28.9.21

ENG 20 Submit to Council the pre-start meeting agenda at the confirmation of a date and time for the meeting.

ENG 21 Provide Council with a minimum of two clear working days notice to undertake compulsory inspections and meetings at the following stages:

- (a) Pre-start meeting with Council, Contractor, Supervising Engineer and developer;
- (b) at the point of completion of all works.

ENG 22 Submit to Council, all inspection and test data in its entirety prepared by the applicant, Engineer, Principal Contractor or by Subcontractors in relation to the Operational Work. Undertake any further inspection, testing or analysis required, due to failure of work to meet specifications or where the testing previously provided is considered insufficient on behalf of the Principal Contractor by a NATA accredited entity (where applicable).

ENG 23 Uncover all works covered prior to inspection to allow inspection by Council at Council's sole discretion.

ENG 24 Allow Council to enter a work site to which this approval relates and undertake testing or analysis of any part of the construction, and Council is not liable for the rectification of or compensation for any damage caused in the testing or analysis process. Should work be found to be not constructed to specification or of poor quality, any reasonable instruction given by Council Officers must be considered to be a condition of approval and undertaken by the Principal Contractor.

ENG 25 Where complete or incomplete works under this approval adversely affect adjoining properties, Council land, roads or other infrastructure, Council requires by notice, works to be completed.

ENG 26 Undertake any works for the safety or health of the community or protection of infrastructure where Council deems it necessary.

The approval is subject to construction being undertaken in accordance with the Approved Plans as listed below:

Consultant	Drawing No./ Revision	Drawing/Plan Title	Date
Hayley Deans Design	DW01 Rev A	Title Plan	24/06/21
Hayley Deans Design	DW02 Rev A	Site Plan	24/06/21
Hayley Deans Design	DW03 Rev A	Floor Plan	24/06/21
Hayley Deans Design	DW05 Rev A	Signage Plan	24/06/21

**ADVICE NOTES**

The applicant be advised that:

- (a) Prior to commencement of the use or endorsement of the survey plan as applicable, the applicant shall contact Council to arrange a Development Compliance Inspection.
- (b) The applicant must ensure compliance with environmental conditions whether required to hold an Environmental Authority or not. These include, but are not limited to water quality, air quality, noise levels, waste waters, lighting and visual quality as

Delegated Authority

Date: 28.9.21

a result of any activity or by-product or storage of materials within the confines of the building(s) and property boundaries.

Any amendment, alteration or addition to the development approval will require further consideration by Council in assessing any changes to the environmental conditions.

- (c) The *Aboriginal Cultural Heritage Act 2003* (ACHA) is administered by the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs (DATSIMA). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care:
  - (i) is not negated by the issuing of this development approval;
  - (ii) applies on all land and water, including freehold land;
  - (iii) lies with the person or entity conducting an activity; and
  - (iv) if breached, is subject to criminal offence penalties.

Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care. Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA. The applicant should contact DATSIP's Cultural Heritage Co-ordination Unit on telephone (07) 3224 2070 for further information on the responsibilities of developers under the ACHA.

- (d) The **relevant period** for the development approval (Operational Work) shall be **two (2) years** starting the day the approval is granted or takes effect. In accordance with Section 85(1)(c) of the *Planning Act 2016* (PA), the development approval for Operational Work lapses if the development does not substantially start within the abovementioned **relevant period**.

An applicant may request Council to extend the **relevant period** provided that such request is made in accordance with Section 86 of PA and before the development approval lapses under Section 85 of the PA.

- (e) Council is to be indemnified against any claims arising from works carried out by the applicant on Council's property.
- (f) The relevant Planning Scheme for this Development Permit is the South Burnett Regional Council Planning Scheme 2017. All references to the Planning Scheme and Schedules within these conditions refer to the above Planning Scheme.
- (g) Approval for the access works to be constructed shall be obtained from the Department of Transport and Main Roads.

**Conclusion**

The proposed development has been assessed against the requirements of the South Burnett Regional Council Planning Scheme 2017. It is considered that the proposed development generally complies with the requirements of the Planning Scheme and as such, the applicant should be provided with a Development Permit. The Development Permit should contain the conditions detailed in the Officer's Recommendation in order to ensure that the proposal complies with the South Burnett Regional Council Planning Scheme 2017.

**FINANCIAL AND RESOURCE IMPLICATIONS**

No implication can be identified.

Delegated Authority

Date: 28.9.21

**LINK TO CORPORATE/OPERATIONAL PLAN**

Growth and Opportunity

GO2 Balanced development that preserves and enhances our region.

GO2.1 Implement Council's planning scheme to support sustainable development of business, industry and community liveability

**COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)**

Refer to CONSULTATION in this report.

**LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)**

No implication identified.

**POLICY/LOCAL LAW/DELEGATION IMPLICATIONS**

No implication can be identified.

**ASSET MANAGEMENT IMPLICATIONS**

No implication can be identified.

Delegated Authority

Date: 28/9/21

PROPOSAL PLANS

**GENERAL NOTES:**  
 1. ANY VARIATIONS TO THE PROPOSED PLANS MUST BE APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.  
 2. ALL MATERIALS TO BE USED MUST BE APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.  
 3. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 4. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 5. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 6. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 7. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 8. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 9. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 10. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.

**GENERAL NOTES:**  
 1. ANY VARIATIONS TO THE PROPOSED PLANS MUST BE APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.  
 2. ALL MATERIALS TO BE USED MUST BE APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.  
 3. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 4. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 5. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 6. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 7. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 8. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 9. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 10. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.

**GENERAL NOTES:**  
 1. ANY VARIATIONS TO THE PROPOSED PLANS MUST BE APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.  
 2. ALL MATERIALS TO BE USED MUST BE APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.  
 3. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 4. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 5. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 6. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 7. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 8. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 9. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.  
 10. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NZS 4399 SERIES AND THE NZS 3604 SERIES.

Item 0.0

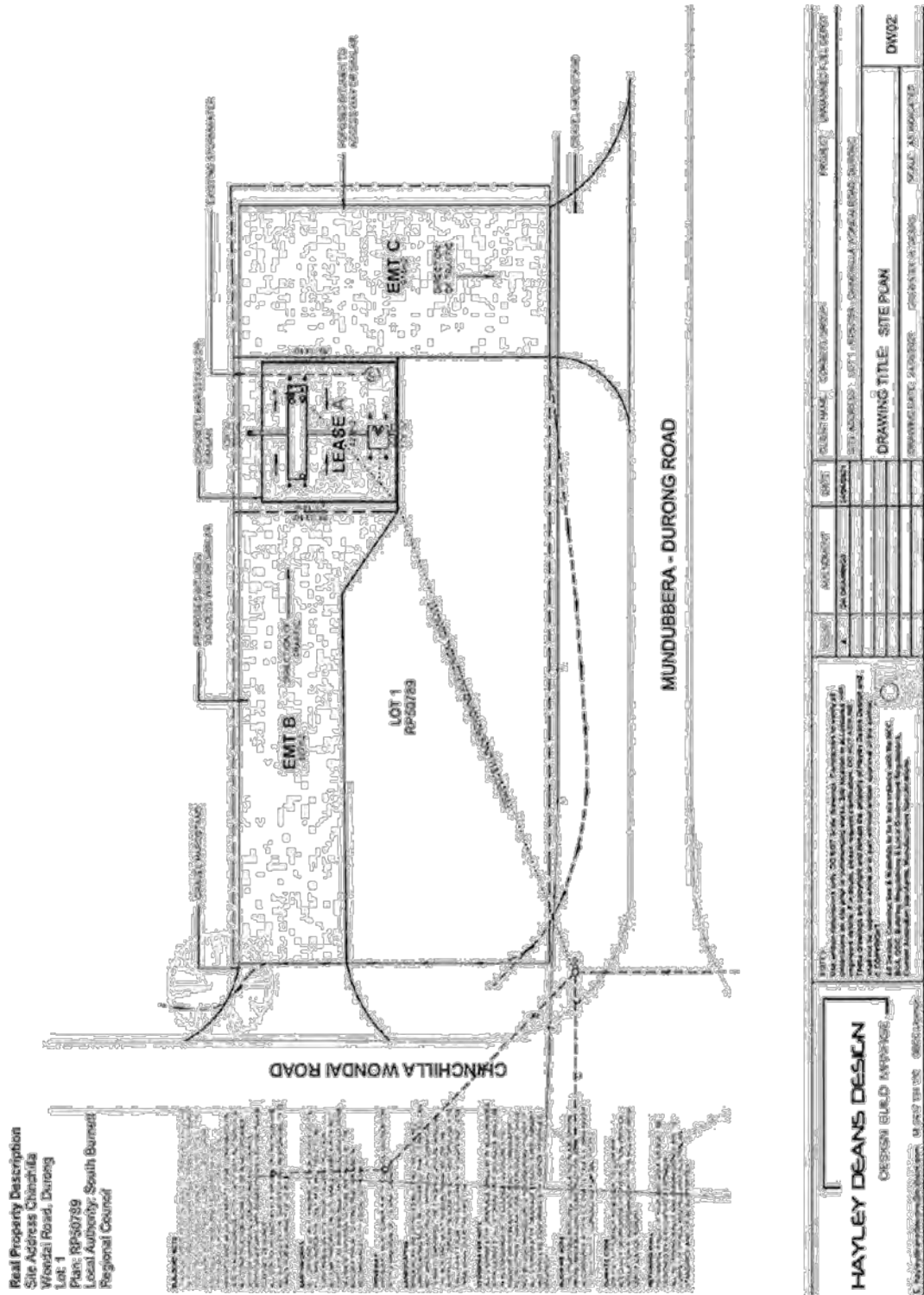
Page 6

REVISIONS	DATE	DESCRIPTION	BY
1	28/09/21	ISSUED FOR PERMIT	JD
2	28/09/21	ISSUED FOR PERMIT	JD

**HAYLEY DEANS DESIGN**  
DESIGN BUILT APPROACH

Delegated Authority

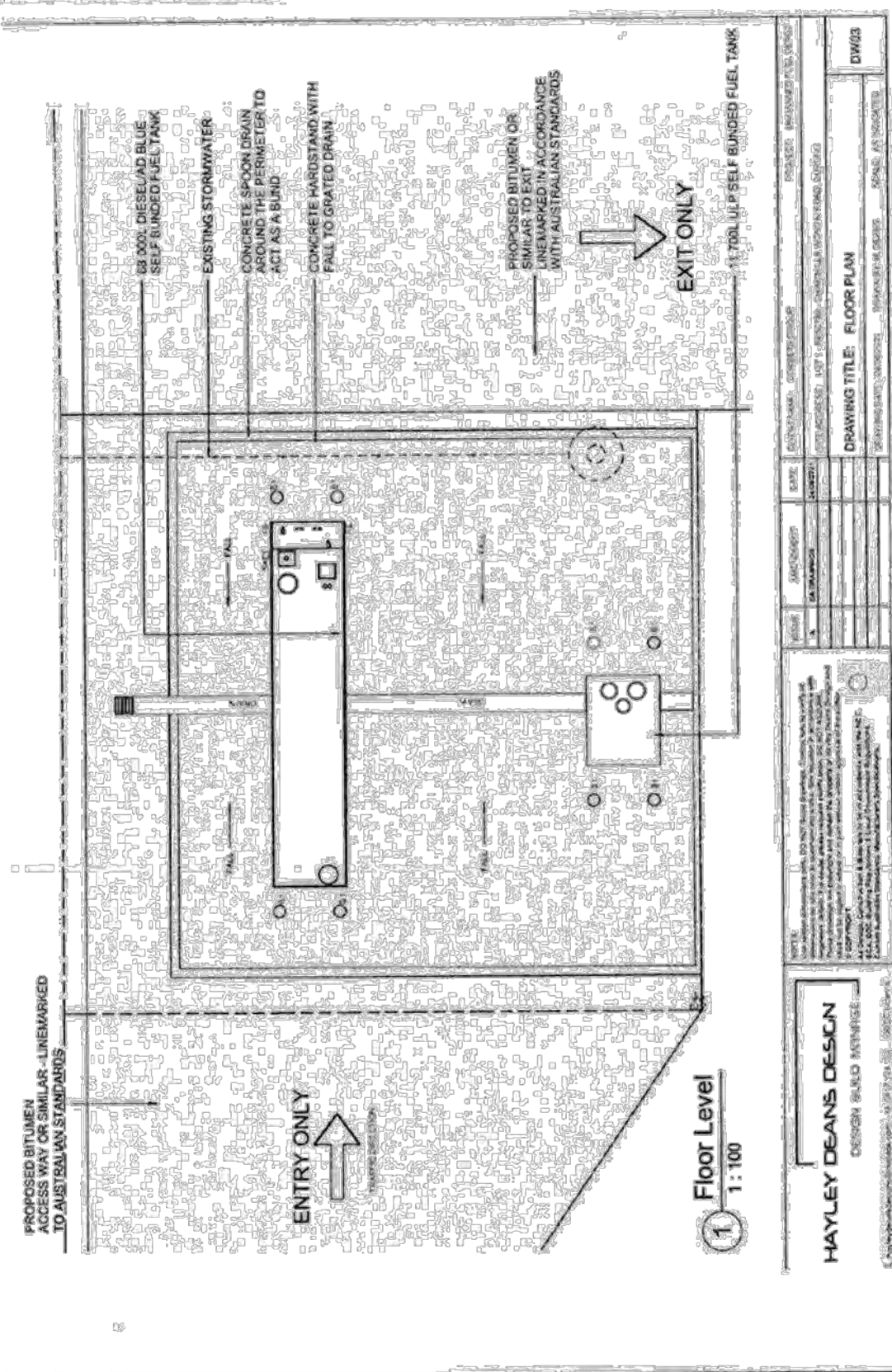
Date: 28.9.21





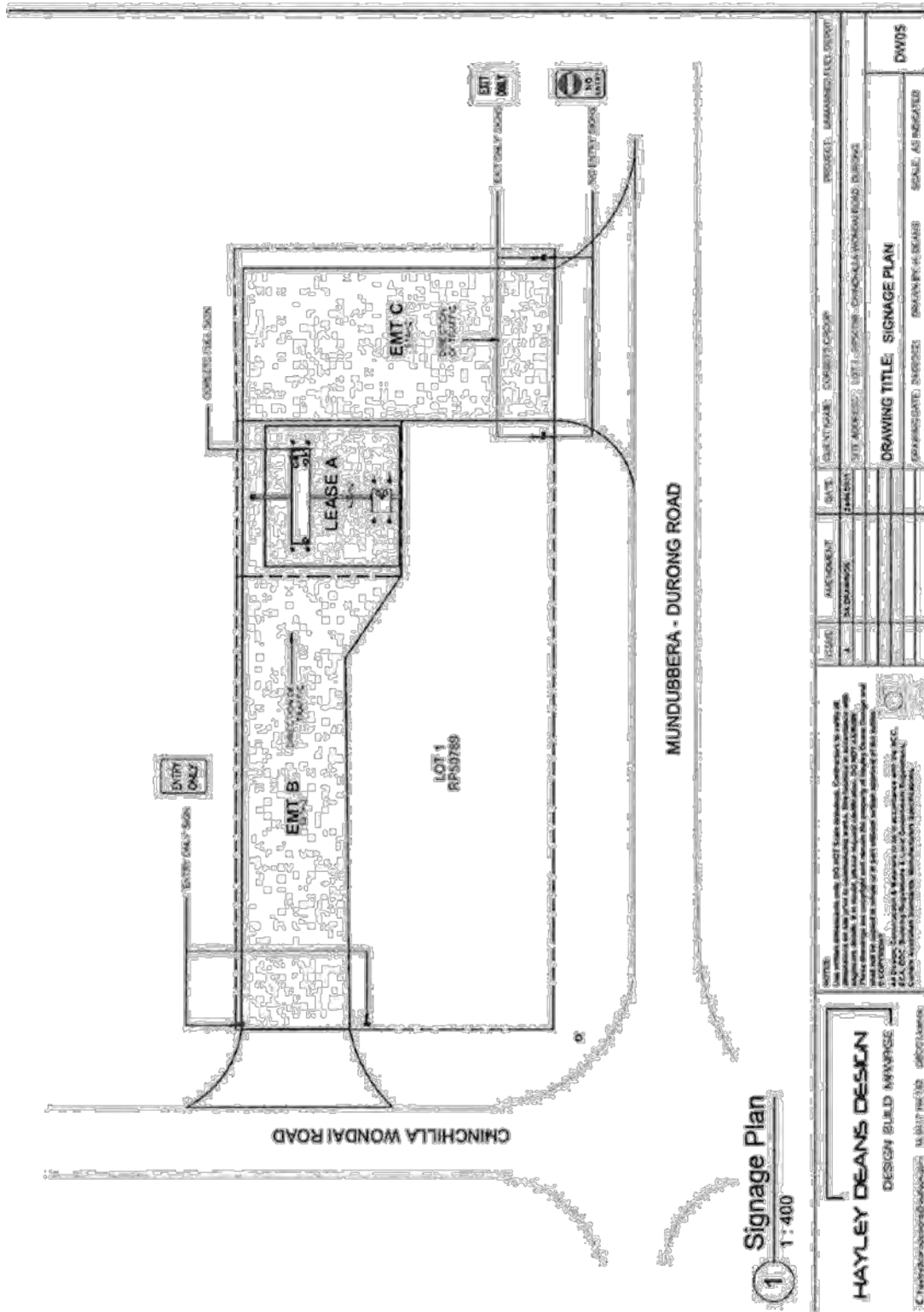
Delegated Authority

Date: 28.9.21



Delegated Authority

Date: 28.9.21



1 Signage Plan  
1:400

**HAYLEY DEANS DESIGN**  
DESIGN BUILD INFRASTRUCTURE

**NOTES:**  
Use within developments only. DO NOT SCALE DRAWINGS. Contractors to verify all dimensions and locations on site. All dimensions are in millimetres unless otherwise stated. These drawings are copyright and remain the property of Hayley Deans Design and Infrastructure Pty Ltd. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Hayley Deans Design and Infrastructure Pty Ltd. All rights reserved.

PROJECT:	EMERGENCY MEETING TIMES
CLIENT:	EMERGENCY MEETING TIMES
DATE:	28/09/2021
PROJECT ADDRESS:	LOT 1 RFS0789, CHINCHILLA WONDAI ROAD, MUNDUBBERA
DRAWING TITLE:	SIGNAGE PLAN
DRAWING NUMBER:	DW005
SCALE:	AS INDICATED

Delegated Authority

Date: 28.9.21

**REPORT**

The applicant seeks approval for Earthworks for site remediation for an old fuel depot.

<b>APPLICATION SUMMARY</b>	
Applicant:	Corbets Group
Proposal:	Operational Work - Earthworks
Properly Made Date:	25 August 2021
Street Address:	Chinchilla Wondai Rd, Durong
RP Description:	Lot 1 RP50789
Assessment Type:	Code
Number of Submissions:	Not Applicable
State Referral Agencies:	Not Applicable
Referred Internal Specialists:	Not Applicable

The following table describes the key development parameters for the proposal:

<b>PROPOSED DEVELOPMENT</b>	
Proposed Development:	Operational Work - Earthworks
Variations Sought:	Not Applicable
Level of Assessment:	Code
Area to be used:	4,095 m2
Impervious Area:	Nil
Site Cover:	Nil
Car Parking Spaces:	Nil
Service Vehicle Provision:	Nil
Submissions Received:	Not Applicable
Decision Making Period Ends:	13 October 2021

**SITE DETAILS:**

<b>SITE AND LOCALITY DESCRIPTION</b>	
Land Area:	4,095 m2
Existing Use of Land:	Council Lot - Truck Parking/Breakdown Area
Road Frontage:	Cnr Chinchilla Wondai Rd/ Mundubbera Durong Rd
Road/s	Road Hierarchy
	State Highway
Easements	Nil
Significant Site Features:	Nil
Topography:	Flat
Surrounding Land Uses:	Land Use
	Zone/Precinct
North	Rural
South	Rural
East	Rural
West	Rural
Services:	Nil

Delegated Authority

Date: 28.9.21

**Background / Site History**

The site is owned by the South Burnett Regional Council, and has been leased by Ampol as a fuel depot.

**ASSESSMENT:**

**Framework for Assessment**

Categorising Instruments for Statutory Assessment

For the *Planning Act 2016*, the following Categorising Instruments may contain Assessment Benchmarks applicable to development applications:

- The *Planning Regulation 2017*
- the Planning Scheme for the local government area
- any Temporary Local Planning Instrument
- any Variation Approval

Of these, the planning instruments relevant to this application are discussed in this report.

**Assessment Benchmarks Pertaining to the Planning Regulation 2017**

The following Assessment Benchmarks from the *Planning Regulation 2017* are applicable to this application:

<b>PLANNING REGULATION 2017 DETAILS</b>	
Assessment Benchmarks:	Nil.
WBB Regional Plan Designation:	N/A

**Assessment Benchmarks Pertaining to the Planning Scheme**

The applicable planning scheme for the application is South Burnett Regional Council Version 1.3. The following sections relate to the provisions of the Planning Scheme.

Planning Scheme:	South Burnett Regional Council Planning Scheme Version 1.3
Strategic Framework Land Use Category:	Not Applicable
Zone:	Not Applicable
Precinct:	Not Applicable
Consistent/Inconsistent Use:	Not Applicable
Assessment Benchmarks:	Service and Works Code

Delegated Authority

Date: 28.9.21

Assessment Benchmarks – Planning Scheme Codes

The application has been assessed against each of the applicable codes and found to be compliant with, or can be conditioned to comply with, each. The pertinent issues arising out of assessment against the codes are discussed below:

**SERVICE AND WORKS CODE**

Performance outcomes	Assessment benchmarks
<b>General</b>	
<b>PO1</b> The development is planned and designed considering the land use constraints of the site for achieving stormwater design objectives.	<b>AO1.1</b> A stormwater quality management plan provides for achievable stormwater quality treatment measures that meet the design objectives identified in Table 9.4.4.
<b>PO2</b> Development does not discharge wastewater to a waterway or off-site unless demonstrated to be best practice environmental management for that site.	<b>AO2.1</b> A wastewater management plan prepared by a suitably qualified person and addresses : (a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best-practice environmental management;  and <b>AO2.2</b> Wastewater is managed in accordance with a waste management hierarchy that: (a) avoids wastewater discharge to waterways; or (b) minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater.
<b>PO3</b> Construction activities avoid or minimise adverse impacts on stormwater quality.	<b>AO3.1</b> An erosion and sediment control plan addresses the design objectives for the construction phase in Table 9.4.4.
<b>PO4</b> Operational activities avoid or minimise changes to waterway hydrology from adverse impacts of altered stormwater quality and flow.	<b>AO4.1</b> Development incorporates stormwater flow control measures to achieve the design objectives for the post-construction phase in Table 9.4.4.
<ul style="list-style-type: none"> <li>• No changes to stormwater</li> <li>• No wastewater discharge is proposed.</li> </ul>	
<b>Infrastructure</b>	
<b>PO5</b> Development is provided with infrastructure which: (a) conforms with industry standards for quality; (b) is reliable and service failures are minimised; and (c) is functional and readily augmented.	<b>AO5.1</b> Except in the Rural zone, all development occurs on a site with frontage to a sealed road.  and <b>AO5.2</b> Infrastructure is designed and constructed in accordance with the standards contained in PSP1 – Design and Construction Standards.

Delegated Authority

Date: 28-9-21

Performance outcomes	Assessment benchmarks
<ul style="list-style-type: none"> <li>• <i>Not Applicable to application</i></li> </ul>	
<p><b>Vehicle parking</b></p>	
<p><b>PO6</b> Vehicle parking and access is provided to meet the needs of occupants, employees, visitors and other users.</p>	<p><b>AO6.1</b> Vehicle parking spaces are provided on-site in accordance with Table 9.4.5. and <b>AO6.2</b> A service bay is provided on-site for the service vehicle nominated in Table 9.4.5. and <b>AO6.3</b> Driveway crossings are provided to the standard contained in PSP1 – Design and Construction Standards. and <b>AO6.4</b> Vehicle parking and manoeuvring areas are provided in accordance with the standards contained in PSP1 – Design and Construction Standards.</p>
<ul style="list-style-type: none"> <li>• <i>Not Applicable to application</i></li> </ul>	
<p><b>Landscaping</b></p>	
<p><b>PO7</b> Landscaping is appropriate to the setting and enhances local character and amenity.</p>	<p><b>AO7.1</b> Landscaping is provided in accordance with the relevant zone code provisions, and <b>AO7.2</b> Where shade tree planting is required in vehicle parking areas each planting bed has a minimum area of 2m<sup>2</sup> and is unsealed and permeable. and <b>AO7.3</b> Plantings along frontages or boundaries are in the form of defined gardens with three tier planting comprised of groundcovers, shrubs (understorey), and trees (canopy) and provided with a drip irrigation system, mulching and border barriers.</p>
<p><b>PO8</b> Plant species avoid adverse impacts on the natural and built environment, infrastructure and the safety of road networks.</p>	<p><b>AO8.1</b> Landscaping utilises plant species that are appropriate for the location and intended purpose of the landscaping. and <b>AO8.2</b> Species selection avoids non-invasive plants.</p> <p><i>Editor's Note. Guidance on plant selection is provided in Branching Out - Your Handy Guide to tree Planting in the South Burnett available from Council.</i></p>
<ul style="list-style-type: none"> <li>• <i>Not Applicable to application</i></li> </ul>	

Delegated Authority

Date: 28.9.21

Performance outcomes	Assessment benchmarks
<b>Filling and excavation</b>	
<p><b>PO9</b> Development results in ground levels that retain:</p> <ul style="list-style-type: none"> <li>(a) access to natural light;</li> <li>(b) aesthetic amenity;</li> <li>(c) privacy; and</li> <li>(d) safety.</li> </ul>	<p><b>AO9.1</b> The depth of:</p> <ul style="list-style-type: none"> <li>(a) fill is less than 2m above ground level; or</li> <li>(b) excavation is less than 2m below ground level.</li> </ul> <p>and</p> <p><b>AO9.2</b> The toe of the fill, or top of the excavation is not less than 0.5m inside the site property boundary.</p> <p>and</p> <p><b>AO9.3</b> Works do not occur on slopes over 15% in grade.</p> <p>and</p> <p><b>AO9.4</b> Retaining walls over 1m in height are terraced 1.5m for every 1m in height and landscaped.</p> <p>and</p> <p><b>AO9.5</b> Batter slopes are not steeper than 25% and are grassed and terraced 1.5m for every 1m in height.</p> <p>and</p> <p><b>AO9.6</b> Filling or excavation for the purpose or retention of water:</p> <ul style="list-style-type: none"> <li>(a) is certified by an RPEQ engineer to safely withstand the hydraulic loading;</li> <li>(b) directs overflow such that no scour damage or nuisance occurs on adjoining lots.</li> </ul>
<p><b>PO10</b> Filling or excavation does not cause damage to public utilities.</p>	<p><b>AO10.1</b> Filling or excavation does not occur within 2m horizontally of any part of an underground water supply, sewerage, stormwater, electricity or telecommunications system.</p>
<p><b>PO11</b> Filling and excavation avoids water ponding on the premises or nearby premises that will adversely impact on the health of the community.</p>	<p><b>AO11.1</b> Following filling or excavation:</p> <ul style="list-style-type: none"> <li>(a) the premises:                             <ul style="list-style-type: none"> <li>(i) are self-draining; and,</li> <li>(ii) has a minimum slope of 0.25%; and,</li> </ul> </li> <li>(b) surface water flow is:                             <ul style="list-style-type: none"> <li>(i) directed away from neighbouring properties; or</li> <li>(ii) discharged into a stormwater drainage system designed and constructed in accordance with AS3500 section 3.2.</li> </ul> </li> </ul>
<p>* Minor site grading required only. Existing hardstand works completed by Council previously.</p>	
<b>All operational work subject to an overlay</b>	
<b>Biodiversity overlay</b>	
<p><b>PO12</b> Development avoids, minimises or mitigates adverse impacts on areas of environmental significance.</p>	<p><b>AO12.1</b> Uses and associated works are confined to areas not identified on Overlay Map 05.</p> <p>or</p> <p><b>AO12.2</b> Development is compatible with the environmental values of the area.</p> <p>or</p> <p><b>AO12.3</b> Where development within an area identified on Overlay Map 05 is unavoidable, measures recommended by a</p>

Delegated Authority

Date: 28.9.21

Performance outcomes	Assessment benchmarks
	suitably qualified ecologist are incorporated to protect and retain the environmental values and underlying ecosystem processes within or adjacent to the development site to the greatest extent practical.
<b>PO13</b> Biodiversity values of identified areas of environmental significance are protected from the impacts of development	<b>AO13.1</b> Development adjacent to Protected Areas identified on Overlay Map 05 is set back a minimum of 100m from the park boundaries in the absence of any current 'Management Plans' for these areas.
<b>PO14</b> There are no significant adverse effects on water quality, ecological and biodiversity values.	<b>AO14.1</b> Uses and associated works are confined to areas outside overland flow paths and natural drainage features. and <b>AO14.2</b> The Waterway Corridors identified on Overlay Map 05 are maintained in a natural state.
<i>Not Applicable</i>	
<b>Flood hazard overlay</b>	
<b>PO15</b> Development directly, indirectly and cumulatively avoids any significant increase in water flow, velocity or flood level, and does not increase the potential for flood damage either on site or other properties.	<b>AO15.1</b> Works associated with the proposed development do not: (a) involve a net increase in filling greater than 50m <sup>3</sup> in the area identified on Overlay Map 03; (b) result in any reductions of on-site flood storage capacity and contain within the site any changes to depth / duration/velocity of flood waters; or (c) change flood characteristics outside the site in ways that result in: (i) loss of flood storage; (ii) loss of/changes to flow paths; (iii) acceleration of retardation of flows; or (iv) any reduction in flood warning times.
<i>Not Applicable</i>	
<b>Regional infrastructure overlay</b>	
<b>PO16</b> Earthworks do not restrict access to and along major electricity infrastructure corridors by the electricity providers, using their normal vehicles and equipment.	<b>AO16.1</b> Earthworks do not alter levels along the boundaries of existing easements by more than 300mm and do not result in increased inundation of electricity infrastructure.
<b>PO17</b> There is no worsening of drainage or erosion conditions affecting the bulk supply and linear infrastructure.	No outcome specified.
<i>Site is not near any existing easements</i>	



Delegated Authority

Date: 28/9/21

Performance outcomes	Assessment benchmarks
<b>Water catchments overlay</b>	
<p><b>PO18</b> There are no significant adverse effects on the water quality of the Region's drinking water supply.</p>	<p><b>AO18.1</b> Development within the Bjelke-Petersen Dam Water Resource Catchment Area and the 800m buffer to Boondooma and Gordonbrook Dams shown on Overlay Map 06 has no significant adverse effect on the quantity and availability of raw water for consumption, as determined by a suitably qualified water quality expert.</p> <p>or</p> <p><b>AO18.2</b> Development within the Cooyar Creek water supply buffer area shown on Overlay Map 06 complies with the specific outcomes and measures of the <i>Seqwater Development Guidelines: Development Guidelines for Water Quality Management in Drinking Water Catchments 2012</i>.</p>
<p>• Site is not within a water supply catchment</p>	

Delegated Authority

Date: 28.9.21

Locality Plan



Figure 1 - Aerial Image (Source: Qld Globe)

Delegated Authority

Date: 28.9.21

**Aerial Plan**

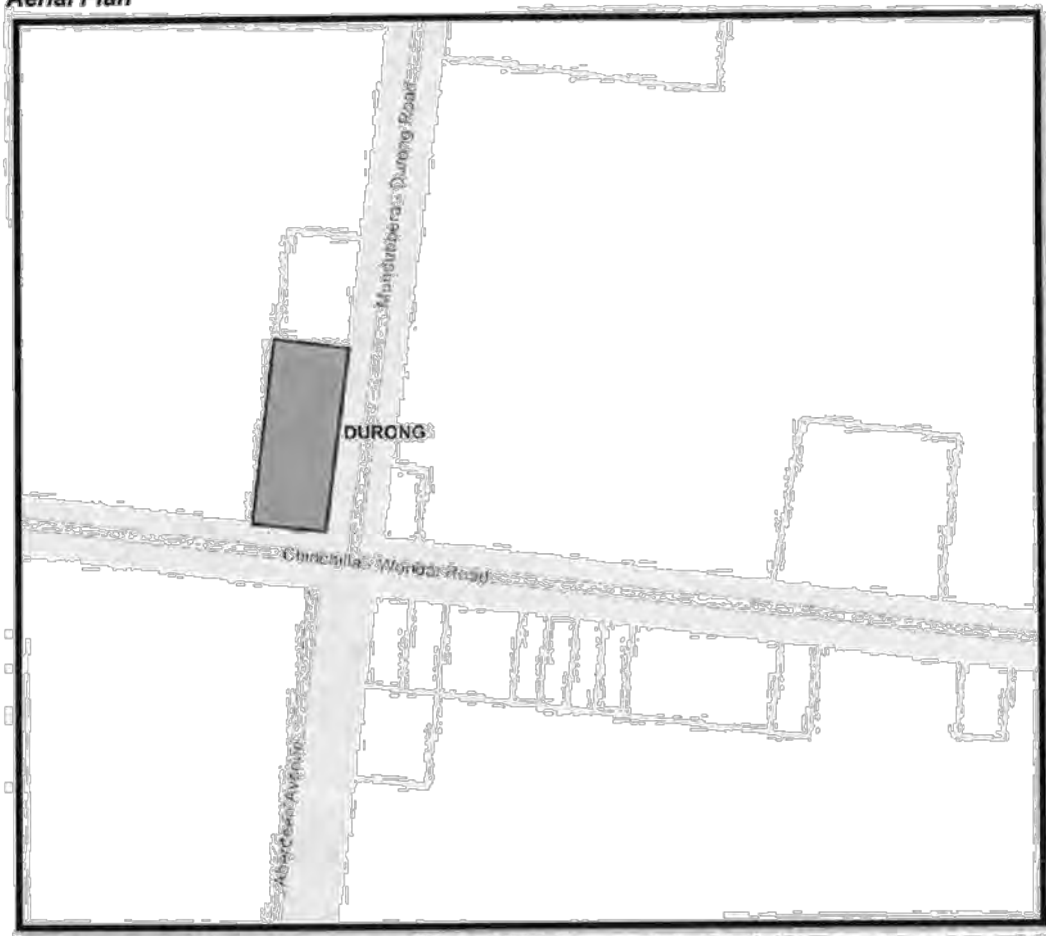


Figure 2 - Locality Plan (Source: IntraMaps)

Delegated Authority

Date: 28.9.21

**CONSULTATION:**

**Referral Agencies**

Not Applicable – Referred to TMR as part of the Material Change of Use approval.

**Other Referrals**

<b>INTERNAL SPECIALIST</b>	<b>REFERRAL</b>	<b>REFERRAL / RESPONSE</b>
Councils Department	Property	Confirm that the development is consistent with the Material Change of Use approval.

**FINANCIAL AND RESOURCE IMPLICATIONS**

No implication can be identified.

**LINK TO CORPORATE/OPERATIONAL PLAN**

Growth and Opportunity  
 GO2 Balanced development that preserves and enhances our region.  
 GO2.1 Implement Council's planning scheme to support sustainable development of business, industry and community liveability

**COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)**

Refer to CONSULTATION in this report.

**LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)**

No implication identified.

**POLICY/LOCAL LAW/DELEGATION IMPLICATIONS**

No implication can be identified.

**ASSET MANAGEMENT IMPLICATIONS**

No implication can be identified.

Click or tap here to enter text.  
 Attachments

Nil

Delegated Authority \_\_\_\_\_ Date \_\_\_\_\_

**0.0 RECONFIGURATION OF A LOT (1 LOT INTO 2 LOTS) AT 175 BLACKBUTT CROWS NEST ROAD, BLACKBUTT SOUTH (LOT 23 ON RP179714) - APPLICANT: ONF SURVEYORS**

**File Number:** RAL21/0011  
**Author:** ~~Student Planner~~ *Planning Officer*  
**Authoriser:** Chief Executive Officer *JB*

	SIGNATURE	DATE
MANAGER	<i>[Signature]</i>	28/9/21
GM	<i>[Signature]</i>	29/9/21
CEO	<i>[Signature]</i>	28-09-21

**PRECIS**

Reconfiguration of a lot (1 lot into 2 lots) at 175 Blackbutt Crows Nest Road, Blackbutt South (Lot 23 on RP179714) - Applicant: ONF Surveyors

**SUMMARY**

- The applicant seeks approval for a Development Permit for Reconfiguring a Lot – Subdivision (1 into 2 lots).
- Boundary configuration as proposed:
  - Total area of existing lot 23 is 3.535ha;
  - Proposed lot 1 is 1.6ha;
  - Proposed lot 2 is 1.88ha (including access strip).
- Proposed lot 1 will include the existing house and shed.
- Proposed lot 2 will be vacant with potential for a dwelling house.
- Access to existing lot 23 is via Blackbutt Crows Nest Road.
- Proposed lots 1 & 2 will have access from Blackbutt Crows Nest Road.
- The subject site is located in the rural residential zone (RR1 Precinct) within the South Burnett Regional Council Planning Scheme.
- The proposed subdivision complies with the prescribed minimum lot dimensions for the rural residential zone RR1 precinct and is therefore subject to code assessment.
- The development application is assessed against the relevant codes of the South Burnett Regional Council Planning Scheme. Relevant codes include:
  - Reconfiguring a lot Code;
  - Rural Residential zone Code;
  - Services and Works Code.
- No information request was issued by Council.
- The application has been assessed and the proposal generally meets the requirements of the planning scheme and relevant codes or has been conditioned to comply (refer attachment A – Statement of Reasons).
- Application recommended for approval subject to reasonable and relevant conditions.

**OFFICER'S RECOMMENDATION**

That Council approve the development permit for a Reconfiguring a lot for a subdivision 1 into 2 lots at 175 Blackbutt Crows Nest Road, Blackbutt South described as lot 23 on RP179714, subject to the following conditions.

**GENERAL**

GEN1. The development must be completed and maintained generally in accordance with the approved plans and documents and any amendments arising through conditions to this development approval:

Drawing Title	Prepared by	Ref no.	Rev	Date
Proposed Subdivision	ONF Surveyors	9588P/1	A	14/07/2021

Delegated Authority

Date:

GEN2. The development must be completed within four (4) years of the development approval starting to have effect. The development approval will lapse unless the survey plan for the development required to be given to Council for approval is provided within this period.

#### PERMIT TO WORK ON COUNCIL ROADS

GEN3. The applicant must submit a completed Permit to Work on Council Roads Application available from <http://www.southburnett.qld.gov.au> for approval by Council before commencing and works within the Council road reserve (i.e., in this case, the required property access).

#### COMPLIANCE

GEN4. All conditions of this approval are to be satisfied prior to Council endorsing the Survey Plan, and it is the applicant's responsibility to notify Council to inspect compliance with conditions.

A fee will be charged, with payment required prior to Council's approval of the associated documentation requiring assessment.

#### OUTSTANDING FEES

GEN5. Prior to sealing of Survey Plan the applicant is required to pay the Council all rates and charges or any expenses being charged over the subject land under any Act in accordance with Schedule 18 Section 69 of the *Planning Act Regulation 2017*.

GEN6. All works, including the repair or relocation of services (Telstra, lighting) is to be completed at no cost to Council.

#### SURVEY MARKS

RAL1. Prior to the submission of the Survey Plan to Council, the applicant is to reinstate survey marks and install new survey marks in their correction position in accordance with the Survey Plan, and the work is to be certified in writing by a Licensed Surveyor.

#### ENGINEERING WORKS

ENG1. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to Council's endorsement of the Survey Plan unless stated otherwise.

ENG2. Undertake Engineering designs and construction in accordance with Planning Scheme, Council's Standards, relevant Australian Standards and relevant design manuals.

ENG3. Be responsible for any alteration necessary to electricity, telephone, water mains, sewer mains, stormwater drainage systems or easements and/or other public utility installations resulting from the development or from road and drainage works required in connection with the development.

#### LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS

ENG4. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.

ENG5. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.

Delegated Authority

Date:

**ON-SITE SEWERAGE TREATMENT**

ENG6. Future dwellings must be connected to an on-site effluent disposal system, in accordance with AS 1547 and the Queensland Plumbing and Waste Water Code.

Timing: Prior to the issue of a Building Approval for a future dwelling on the proposed lots.

**REDUNDANT CROSSOVERS**

ENG7. Remove all redundant crossovers and reinstate to the standard immediately adjacent along the frontage of the site.

**VEHICLE ACCESS**

ENG8. For each lot, design and construct a gravelled driveway and a crossover having a minimum width of 4 metres and vehicle turnout in accordance with Council's Standard Plan 00049.

ENG9. Construct any new crossovers such that the edge of the crossover is no closer than 1 metre to any existing or proposed infrastructure including any stormwater gully pit, manhole service infrastructure (e.g. power pole, telecommunications pit, road infrastructure (e.g. street sign, street tree, etc).

**VEHICLE ACCESS – REAR ACCESS LOTS**

ENG10. For proposed Lot 2, the access shall comprise 100mm compacted gravel 4m wide for the full length of the access handle.

ENG11. For proposed Lot 2, design and construct all services along the full length of the access strip.

ENG12. Design and construct all services along the full length of the access strip.

**TELECOMMUNICATION**

ENG13. Provide telecommunications to all lots within the development.

**ELECTRICITY**

ENG14. Design and provide electricity supply to all lots within the development to comply with Ergon Energy's requirements.

ENG15. Submit to Council, written confirmation from an electricity provider that an agreement has been made for the supply of electricity.

**ADVICE**

ADV1. This development approval does not authorise any activity that may harm Aboriginal Cultural Heritage. Under the *Aboriginal Cultural Heritage Act 2003* you have a duty of care in relation to such heritage. Section 23(1) provides that "A person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal Cultural Heritage." Council does not warrant that the approved development avoids affecting Aboriginal Cultural Heritage. It may therefore, be prudent for you to carry out searches, consultation, or a Cultural Heritage assessment to ascertain the presence or otherwise of Aboriginal Cultural Heritage. The Act and the associated duty of care guidelines explain your obligations in more detail and should be consulted before proceeding. A search can be arranged by visiting and filling out the Aboriginal and Torres Strait Islander Cultural Heritage Search Request Form.

**APPEAL RIGHTS**

ADV2. Attached for your information is a copy of Chapter 6 of the *Planning Act 2016* as regards Appeal Rights.

Delegated Authority

Date

**INFRASTRUCTURE CHARGES**

ADV3. Infrastructure charges are now levied by way of an infrastructure charges notice, issued pursuant to section 119 of the *Planning Act 2016*.

**DEVELOPMENT INCENTIVE SCHEME**

ADV4. Council is offering a reduction infrastructure charges payable through the development incentive scheme which is available between 1 December 2020 and 30 June 2022. Eligible development under this scheme is required to be completed by 30 June 2022.

For further information or application form please refer to the rules and procedures available on Council's website.

**VALUATION FEES**

ADV5. Payment of *Department of Natural Resources and Mines* valuation fee that will result from the issue of split valuations prior to Council sealing the Survey Plan. The contribution is currently assessed at \$96.00 (2 x \$48.00); however, the actual amount payable will be based on Council's Register of Regulatory & Cost-Recovery Fees and the rate applicable at the time of payment.

**TELECOMMUNICATIONS CONNECTIONS**

ADV6. Telecommunication connections can be arranged by logging onto Telstra's website (<http://www.telstra.com.au/smart-community/developers/index.htm>) and completing the 'Application for Reticulation'.

**ELECTRICITY RETICULATION SERVICES**

ADV7. Council would encourage you to discuss the development with Ergon Energy upon receipt of this approval to facilitate the timely supply of electricity to the development. Connection of electricity can take up to eight (8) months from the date of application to Ergon Energy.

**FINANCIAL AND RESOURCE IMPLICATIONS**

No implication can be identified.

**LINK TO CORPORATE/OPERATIONAL PLAN**

Growing our Region's Economy and Prosperity  
GR8 Support and advocate for appropriate growth and development with responsive planning scheme, process, customer service and other initiatives.

**COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)**

Refer to CONSULTATION in this report.

**LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)**

No implication identified.

**POLICY/LOCAL LAW/DELEGATION IMPLICATIONS**

No implication can be identified.

**ASSET MANAGEMENT IMPLICATIONS**

No implication can be identified.

Item 0.0

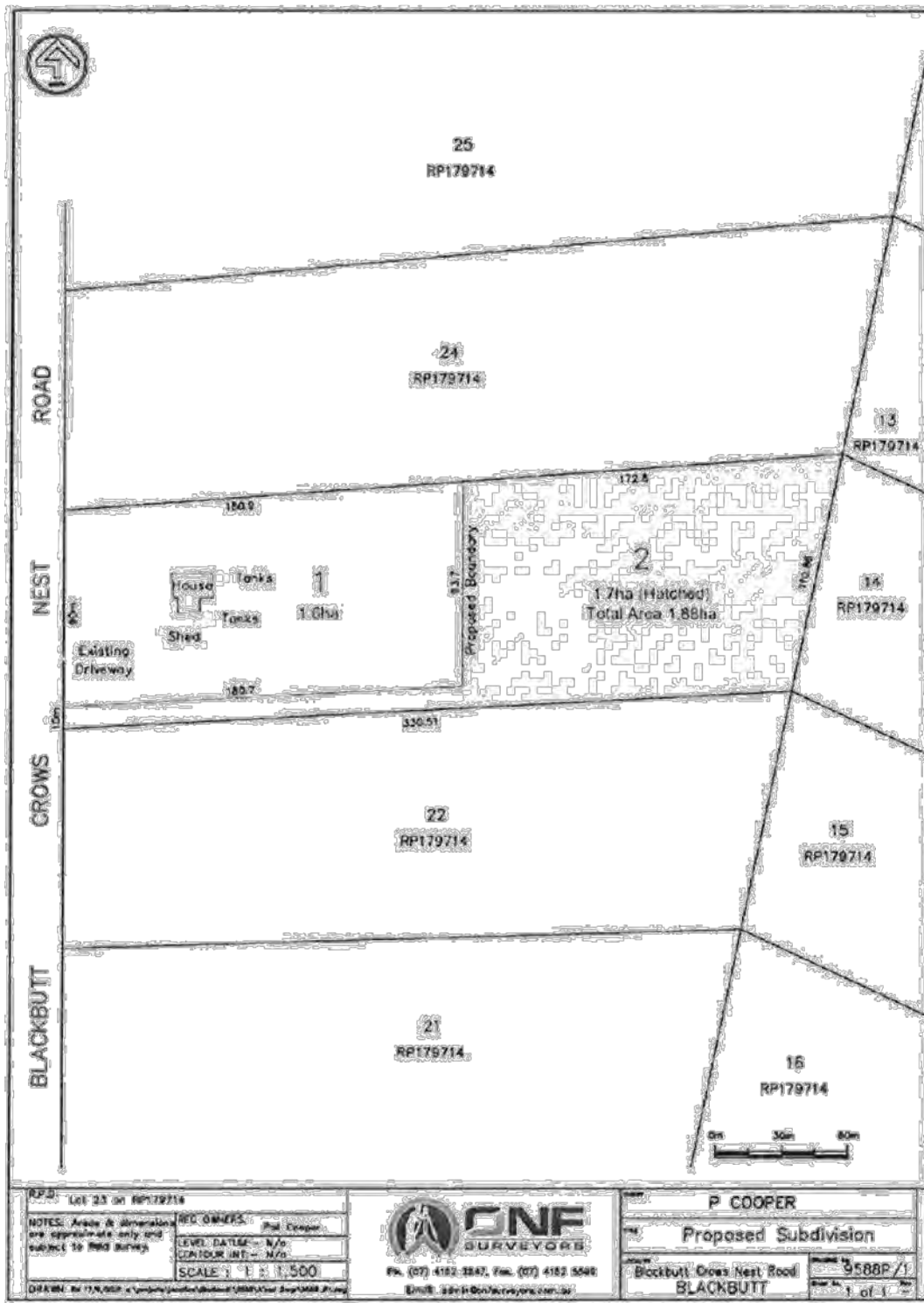
Page 4



Delegated Authority

Date

PROPOSAL PLAN



<p>RP179714 Lot 25 on RP179714</p> <p>NOTES: Area &amp; dimensions only approximate, only used subject to RMA Survey</p> <p>DATE: 17/10/2021</p>	<p>RED DIMENSIONS: P. Cooper</p> <p>LEVEL DATUM: N/A</p> <p>CANTOUR INT: N/A</p> <p>SCALE: 1:500</p>	<p>ONE SURVEYORS</p> <p>Ph. (07) 4182 3842, Fax. (07) 4182 5548</p> <p>Email: info@onesurveyors.com.au</p>	<p>P. COOPER</p> <p>Proposed Subdivision</p> <p>Block: Blackbutt, Crows Nest Road, BLACKBUTT</p> <p>Sheet No: 9588P/1</p> <p>Page No: 1 of 1</p>
--	--	--	--

Delegated Authority \_\_\_\_\_

Date: \_\_\_\_\_

**REPORT**

The applicant seeks approval for a development permit for a Reconfiguration of a lot (1 lot into 2 lots).

<b>APPLICATION SUMMARY</b>	
<b>Applicant:</b>	P Cooper C/- ONF Surveyors
<b>Proposal:</b>	Reconfiguration of a lot (1 lot into 2 lots)
<b>Properly Made Date:</b>	14 July 2021
<b>Street Address:</b>	175 Blackbutt Crows Nest Road, Blackbutt
<b>RP Description:</b>	Lot 23 on RP179714
<b>Assessment Type:</b>	Code assessable
<b>Number of Submissions:</b>	N/A
<b>State Referral Agencies:</b>	N/A
<b>Referred Internal Specialists:</b>	Development Engineer

The following table describes the key development parameters for the proposal:

	<b>DEVELOPMENT PARAMETERS</b>
<b>Number of Proposed Lots</b>	2
<b>Size of Proposed Lots</b>	Lot 1 – 1.6ha Lot 2 – 1.88ha
<b>Easements</b>	N/A
<b>Covenants</b>	N/A

**SITE DETAILS:**

<b>SITE AND LOCALITY DESCRIPTION</b>	
<b>Land Area:</b>	3.535ha
<b>Existing Use of Land:</b>	Existing dwelling house & associated outbuildings & rainwater tanks
<b>Road Frontage:</b>	Blackbutt Crows nest Road
<b>Road/s</b>	<b>Road Hierarchy</b>
Blackbutt Crows Nest Road	Collector Minor
<b>Easements</b>	N/A
<b>Significant Site Features:</b>	Nil
<b>Topography:</b>	Relatively flat
<b>Surrounding Land Uses:</b>	<b>Land Use</b>
<b>North</b>	Rural Residential Dwellings
<b>South</b>	Rural Residential Dwellings
<b>East</b>	Rural Residential Dwellings
<b>West</b>	Rural Residential Dwellings
<b>Services:</b>	Electricity, Telecommunications.

Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

**Background / Site History**

APPLICATION NO.	DECISION AND DATE
	N/A

**ASSESSMENT:**

**Framework for Assessment**

Categorising Instruments for Statutory Assessment

For the *Planning Act 2016*, the following Categorising Instruments may contain Assessment Benchmarks applicable to development applications:

- The *Planning Regulation 2017*
- the Planning Scheme for the local government area
- any Temporary Local Planning Instrument
- any Variation Approval

Of these, the planning instruments relevant to this application are discussed in this report.

**Assessment Benchmarks Pertaining to the Planning Regulation 2017**

The following Assessment Benchmarks from the *Planning Regulation 2017* are applicable to this application:

PLANNING REGULATION 2017 DETAILS	
Assessment Benchmarks:	Nil.
WBB Regional Plan Designation:	N/A

**Assessment Benchmarks Pertaining to the Planning Scheme**

The applicable planning scheme for the application is South Burnett Regional Council Version 1.4. The following sections relate to the provisions of the Planning Scheme.

Planning Scheme:	South Burnett Regional Council Planning Scheme Version 1.4
Strategic Framework Land Use Category:	N/A
Zone:	Rural Residential
Precinct:	RR1
Consistent/Inconsistent Use:	N/A
Assessment Benchmarks:	<ul style="list-style-type: none"> <li>• Reconfiguring a lot Code</li> <li>• Services and works Code</li> <li>• Rural residential zone Code</li> </ul>

Assessment Benchmarks – Planning Scheme Codes

The application has been assessed against each of the applicable codes and found to be compliant with, or can be conditioned to comply with, each. The pertinent issues arising out of assessment against the codes are discussed below:

ACCEPTABLE OUTCOME	ASSESSMENT MANAGERS COMMENTS
RURAL RESIDENTIAL ZONE CODE	
SECTION 1 - General	

Delegated Authority	Date:
<p><b>PO1 Buildings and structures must complement the semi-rural character of nearby development and protects residential amenity.</b></p>	
<p><b>AO1.1</b> Site cover does not exceed 10%. and <b>AO1.2</b> Buildings and structures are not higher than 8.5m above ground level. and <b>AO1.3</b> Buildings have a minimum set back of: (a) 10m to the road frontage; (b) 6m to a side or rear boundary. and <b>AO1.4</b> The maximum length of any façade without articulation or change of materials is 15m. and <b>AO1.5</b> On-site storage areas visible from outside the site are screened by a 1.8m high fence along intervening boundaries. and <b>AO1.6</b> Outdoor lighting is designed, installed and maintained in accordance with AS4282 – Control of the Obtrusive Effects of Outdoor Lighting.</p>	<p><b>Complies</b> – No new buildings or structures are proposed as a part of this application. Proposed lot 1 is of sufficient size to accommodate the existing dwelling and outbuildings. Proposed lot 2 is of sufficient size for a future dwelling to comply with the AO1.1 to AO1.6. The proposed layout maintains the semi-rural character and is not expected to impact on the surrounding amenity.</p>
<p><b>PO2 Development minimises the potential for reverse amenity impacts for adjoining existing non-residential activities.</b></p>	
<p><b>AO2.1</b> A well-maintained vegetative buffer is provided on the residential land between the residential development and adjacent existing non-residential use.</p>	<p><b>N/A</b> – The subject site is surrounded by rural residential properties and therefore does not necessitate the need for a vegetation buffer.</p>
<p><b>PO3 Dwellings are to be adequately serviced.</b></p>	
<p><b>AO3.1</b> Where in a reticulated water supply area, development is to be connected to the supply network. or <b>AO3.2</b> Where reticulated water supply is not available, a 45kl water tank is provided for each dwelling for consumption purposes and an additional 22.5kl water storage located no more than 10m from the main dwelling is available for fire fighting purposes. and <b>AO3.3</b> The provision of on-site sewage treatment conforms to the requirements of the Queensland Plumbing and Wastewater Code. and <b>AO3.4</b> Each dwelling is provided with a service line connection to the electricity supply and telecommunications networks. and <b>AO3.5</b> Stormwater discharge must be to a lawful point of discharge or to downstream</p>	<p><b>N/A</b></p> <p><b>Complies -</b></p> <ul style="list-style-type: none"> <li>✓ No new dwellings are proposed as a part of this application. Any future dwelling will have the ability to install water tanks to meet AO3.2.</li> <li>✓ Proposed lot 2 is of sufficient size to have an on-site sewerage treatment system for a future dwelling.</li> <li>✓ The existing dwelling is connected to electricity. Proposed lot 2 will be conditioned to comply.</li> <li>✓ Conditioned to comply.</li> </ul>

Delegated Authority	Date
<p>properties but only with the consent of the affected landowners.</p> <p>and</p> <p><b>A03.6</b> Development has direct access to a sealed road.</p>	<p>✓ The subject site fronts Blackbutt Crows nest road which is bitumen sealed.</p>
<p><b>PO4</b> Development is located and designed to ensure that land uses are not exposed to: (a) Areas that pose a health risk from previous activities; and (b) Unacceptable levels of contaminants.</p>	
<p><b>A04.1</b> Development does not occur:</p> <p>(a) In areas that pose a health risk from previous activities; and</p> <p>(b) On sites listed on the Contaminated Land Register or Environmental Management Register.</p> <p>or</p> <p><b>A04.2</b> Areas that pose a health risk from previous activities and contaminated soils which are subject to development are remediated prior to plan sealing, operational works permit, or issuing of building works permit.</p>	<p><b>Complies</b> – The subject site is not identified on the CLR or EMR.</p>
<p><b>RECONFIGURING A LOT CODE</b></p>	
<p><b>SECTION 3 – All other reconfiguration</b></p>	
<p><b>PO7</b> Allotments are of sufficient size and dimensions to meet the requirements of the users and provide for servicing of the intended use.</p>	
<p><b>A07.1</b> Development provides that allotment area, dimension and shape are in accordance with the standards in Table 8.4.2.</p> <p>and</p> <p><b>A07.2</b> The minimum allotment size for any rear allotment shall be calculated exclusive of the area of the access corridor of the allotment.</p> <p>and</p> <p><b>A07.3</b> Irregularly shaped allotments are designed to allow a building area of 15m by 10m to be setback 6m from the site frontage.</p>	<p><b>Complies</b> – The subject site is within the rural residential zone RR1 precinct whereby the minimum lot size is 4,000m<sup>2</sup>. Proposed lot 1 is 1.6ha and proposed lot 2 is 1.7ha, both exceeding the prescribed minimum lot size.</p> <p>✓ The proposed rear allotment size is calculated exclusive of the access corridor.</p> <p>✓ The proposed lots are a regular shape.</p>
<p><b>PO8</b> Lots have lawful, safe and practical access.</p>	
<p><b>A08.1</b> Access is provided via either:</p> <p>(a) Direct road frontage;</p> <p>(b) Access strip with a minimum width of 3.5m (for rear lots only); or</p> <p>(c) Access easement with a minimum width of 6m (where lots only have legal road frontage that does not provide, safe or practical access to the existing street network).</p> <p>and</p> <p><b>A08.2</b> Newly created lots do not have direct access to sub-arterial or higher order roads.</p> <p>and</p> <p><b>A08.3</b> Except in the Rural Zone, new lots, are provided with access to a sealed road.</p>	<p><b>Complies</b> – Proposed lot 1 has direct road frontage onto Blackbutt Crows Nest Road. Proposed lot 2 is a rear allotment and has a 10m wide access strip from Blackbutt Crows Nest Road.</p> <p>✓ Blackbutt Crows Nest road is collector minor.</p> <p>✓ Blackbutt Crows Nest road is bitumen sealed.</p>

Delegated Authority	Date:
<p><b>PO9</b> The number of rear lots is minimised having regard to the outlook, topography of the site, intended land use and general amenity of the area.</p>	
<p><b>AO9.1</b> Only one rear lot is provided behind each full street frontage regular lot. and <b>AO9.2</b> No more than two rear lot access strips directly adjoin each other. and <b>AO9.3</b> No more than two rear lots gain access from the head of a cul-de-sac.</p>	<p><b>Complies – Only one rear allotment is proposed.</b></p> <p>✓ There are no adjoining rear lot access strips.</p> <p><b>N/A</b></p>
<p><b>PO10</b> The design and construction of new roads: (a) Maintain safe and efficient access to the transport network; (b) Creates integrated neighbourhoods; and (c) Are constructed to a standard that is commensurate with the intended use of allotments.</p>	
<p><b>AO10.1</b> Intersection shall be spaced at no less than 45m from any other intersection. and <b>AO10.2</b> Any intersections with existing roads shall be treated with a T-intersection or a roundabout. and <b>AO10.3</b> The road layout indicates connections to adjoining development sites. and <b>AO10.4</b> Other than in the Rural or Rural Residential Zones, new streets are provided with layback kerb and channel. or <b>AO10.5</b> In the Rural Residential Zone, new streets are provided with concrete flush kerbs and swale drains.</p>	<p><b>N/A – No new roads are proposed.</b></p>
<p><b>PO11</b> The provision of services is resistant to inclement weather and does not degrade the character of the area.</p>	
<p><b>AO11.1</b> Where the reconfiguration involves the opening of a new road, all electricity and telecommunications services are located underground.</p>	<p><b>N/A – No new roads are proposed.</b></p>
<p><b>PO12</b> Reconfiguration facilitates integration of walking and cycling networks that provide a safe and convenient environment for users having regard to appropriate gradients and distances to be travelled.</p>	
<p>No outcome specified.</p>	<p><b>N/A</b></p>
<p><b>PO13</b> Public open space is provided in response to community need.</p>	
<p><b>AO13.1</b> Public open space is provided in accordance with the Priority Infrastructure Plan.</p>	<p><b>N/A</b></p>
<p><b>PO14</b> Reconfiguration into allotments less than 400m<sup>2</sup> in the Medium Density Residential zone is facilitated where design outcomes are consistent with expectations for the zone.</p>	

Delegated Authority	Date
<b>AO14.1</b> Reconfiguration in the Medium Density Residential zone involving allotments less than 400m <sup>2</sup> where creating allotments for individual units in an approved and completed multiple dwelling or dual occupancy.	N/A
<b>PO15</b> Reconfiguration into allotments less than 400m <sup>2</sup> in the Medium Density Residential zone is to provide for suitable living environments.	
For allotments less than 400m <sup>2</sup> – <b>AO15.1</b> All lots are orientated to within 200 of north. <b>AO15.2</b> All lots are to be sized and shaped to accommodate a 10m x 20m rectangle.	N/A
<b>SERVICES AND WORKS CODE</b>	
<b>SECTION 1 - General</b>	
<b>PO1</b> The development is planned and designed considering the land use constraints of the site for achieving stormwater design objectives.	
<b>AO1.1</b> A stormwater quality management plan provides for achievable stormwater quality treatment measures that meet the design objectives identified in Table 9.4.4.	✓ This development application does not necessitate the need for a stormwater quality management plan.
<b>PO2</b> Development does not discharge wastewater to a waterway or off-site unless demonstrated to be best practice environmental management for that site.	
<b>AO2.1</b> A wastewater management plan prepared by a suitably qualified person and addresses : (a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best-practice environmental management; and <b>AO2.2</b> Wastewater is managed in accordance with a waste management hierarchy that: (a) avoids wastewater discharge to waterways; or (b) minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater.	✓ This development application does not necessitate the need for a wastewater management plan.
<b>PO3</b> Construction activities avoid or minimise adverse impacts on stormwater quality.	
<b>AO3.1</b> An erosion and sediment control plan addresses the design objectives for the construction phase in Table 9.4.4.	✓ This development application does not necessitate the need for an erosion and sediment control plan.
<b>PO4</b> Operational activities avoid or minimise changes to waterway hydrology from adverse impacts of altered stormwater quality and flow.	

Delegated Authority

Date:

<p><b>AO4.1</b> Development incorporates stormwater flow control measures to achieve the design objectives for the postconstruction phase in Table 9.4.4.</p>	<p>✓ This development application does not necessitate the need for stormwater flow control measures.</p>
<p><b>SECTION 2 - Infrastructure</b></p>	
<p><b>PO5</b> Development is provided with infrastructure which:                  (a) conforms with industry standards for quality;                  (b) is reliable and service failures are minimised; and                  (c) is functional and readily augmented.</p>	
<p><b>AO5.1</b> Except in the Rural zone, all development occurs on a site with frontage to a sealed road.                  and  <b>AO5.2</b> Infrastructure is designed and constructed in accordance with the standards contained in PSP1 – Design and Construction Standards.</p>	<p><b>Complies</b> – The subject site fronts Blackbutt Crows Nest Road which is bitumen sealed.                   ✓ Proposed lot 2 will require a formal access and will be conditioned to comply with AO5.2.</p>
<p><b>SECTION 3 – Vehicle parking</b></p>	
<p><b>PO6</b> Vehicle parking and access is provided to meet the needs of occupants, employees, visitors and other users.</p>	
<p><b>AO6.1</b> Vehicle parking spaces are provided on-site in accordance with Table 9.4.5.                  and  <b>AO6.2</b> A service bay is provided on-site for the service vehicle nominated in Table 9.4.5.                  and  <b>AO6.3</b> Driveway crossings are provided to the standard contained in PSP1 – Design and Construction Standards.                  and  <b>AO6.4</b> Vehicle parking and manoeuvring areas are provided in accordance with the standards contained in PSP1 – Design and Construction Standards.</p>	<p><b>N/A</b> - This development application does not necessitate the need for vehicle parking provisions.</p>
<p><b>SECTION 4 - Landscaping</b></p>	
<p><b>PO7</b> Landscaping is appropriate to the setting and enhances local character and amenity.</p>	
<p><b>AO7.1</b> Landscaping is provided in accordance with the relevant zone code provisions.                  and  <b>AO7.2</b> Where shade tree planting is required in vehicle parking areas each planting bed has a minimum area of 2m<sup>2</sup> and is unsealed and permeable.                  and  <b>AO7.3</b> Plantings along frontages or boundaries are in the form of defined gardens with three tier planting comprised of groundcovers, shrubs (understorey), and trees (canopy) and provided with a drip irrigation system, mulching and border barriers.</p>	<p>✓ This development application does not necessitate the need for landscaping.</p>



Delegated Authority	Date:
<b>PO8 Plant species avoid adverse impacts on the natural and built environment, infrastructure and the safety of road networks.</b>	
<b>AO8.1 Landscaping utilises plant species that are appropriate for the location and intended purpose of the landscaping.</b> and <b>AO8.2 Species selection avoids non-invasive plants.</b>	<b>N/A</b>
<b>SECTION 5 – Filling and Excavation</b>	
<b>PO9 Development results in ground levels that retain:</b> <b>(a) access to natural light;</b> <b>(b) aesthetic amenity;</b> <b>(c) privacy; and</b> <b>(d) safety.</b>	
<b>AO9.1 The depth of:</b> <b>(a) fill is less than 2m above ground level; or</b> <b>(b) excavation is less than 2m below ground level.</b> and <b>AO9.2 The toe of the fill, or top of the excavation is not less than 0.5m inside the site property boundary.</b> and <b>AO9.3 Works do not occur on slopes over 15% in grade.</b> and <b>AO9.4 Retaining walls over 1m in height are terraced 1.5m for every 1m in height and landscaped.</b> and <b>AO9.5 Batter slopes are not steeper than 25% and are grassed and terraced 1.5m for every 1m in height.</b> and <b>AO9.6 Filling or excavation for the purpose or retention of water:</b> <b>(a) is certified by an RPEQ engineer to safely withstand the hydraulic loading;</b> <b>(b) directs overflow such that no scour damage or nuisance occurs on adjoining lots.</b>	<b>N/A – No cut or fill is proposed as a part of this application.</b>
<b>PO10 Filling or excavation does not cause damage to public utilities.</b>	
<b>AO10.1 Filling or excavation does not occur within 2m horizontally of any part of an underground water supply, sewerage, stormwater, electricity or telecommunications system.</b>	<b>N/A – No cut or fill is proposed as a part of this application.</b>
<b>PO11 Filling and excavation avoids water ponding on the premises or nearby premises that will adversely impact on the health of the community.</b>	

Delegated Authority

Date:

<p><b>AO11.1</b> Following filling or excavation:</p> <p><b>(a)</b> the premises:</p> <p>(i) are self-draining; and,</p> <p>(ii) has a minimum slope of 0.25%; and,</p> <p><b>(b)</b> surface water flow is:</p> <p>(i) directed away from neighbouring properties; or</p> <p>(ii) discharged into a stormwater drainage system designed and constructed in accordance with AS3500 section 3.2.</p>	<p>N/A – No cut or fill is proposed as a part of this application.</p>
---	--

**Local Categorising Instrument - Variation Approval**

Not applicable.

**Local Categorising Instrument - Temporary Local Planning Instrument**

Not applicable.

**Other Relevant Matters**

Not applicable.

Delegated Authority

Date:

**Locality Plan**



Figure 1 - Aerial Image (Source: Qld Globe)

**Aerial Plan**

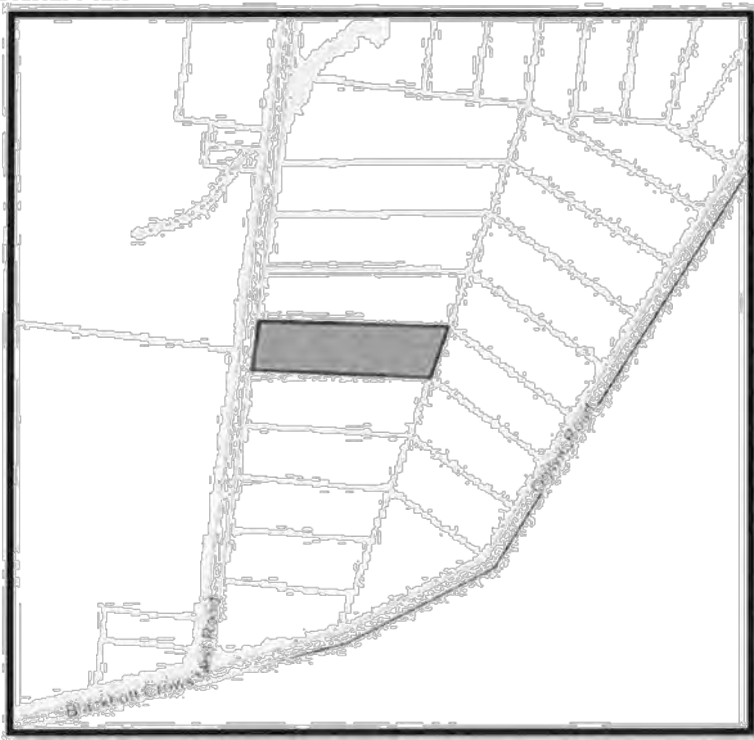


Figure 2 - Locality Plan (Source: IntraMaps)

Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

**CONSULTATION:**

**Referral Agencies**

Not applicable.

**Other Referrals**

<b>INTERNAL REFERRAL SPECIALIST</b>	<b>REFERRAL / RESPONSE</b>
Development Engineer	Council's Development Engineer provided comments in relation to Infrastructure Charges and engineering conditions.
Infrastructure Charges Unit	<p>Council adopted the LGIP on 24 June 2019 which commenced on 1 July 2019.</p> <p>The types of development that may trigger the issuing of an infrastructure charges notice are:</p> <ul style="list-style-type: none"> <li>a) Reconfiguring a lot;</li> <li>b) Making a Material Change of Use;</li> <li>c) Carrying out Building Work.</li> </ul> <p>The property is within the Transport catchment mapping and is therefore subject to relevant adopted charges.</p> <p>Refer to the Infrastructure Charges Notice attached as Attachment B.</p>

**CONCLUSION:**

The proposed development has been assessed with regard to the applicable assessment benchmarks of the Rural Residential zone Code, Reconfiguring a lot Code, and the Services and works Code. The proposed development will result in an additional rural residential allotment that generally complies with the required benchmarks or can be conditioned to comply.

It is recommended that the development application for Reconfiguring a lot – Subdivision 1 into 2 lots at 175 Blackbutt Crows Nest Road, Blackbutt South (and described as lot 23 on RP179714) be approved subject to reasonable and relevant condition pursuant to Section 60 of the Planning Act 2016.

Delegated Authority

Date

**ATTACHMENTS**

**Nil**

15

16

Delegated Authority \_\_\_\_\_

Date \_\_\_\_\_

**Attachment A**

**NOTICE ABOUT DECISION – STATEMENT OF REASONS**

*The following information is provided in accordance with Section 63(4) & (5) of the Planning Act 2016*

The development application for:

<b>Type of Approval</b>	Reconfiguring a lot – Development permit
<b>Level of Assessment</b>	Code
<b>Application No</b>	RAL21/0011
<b>Name of Applicant</b>	Pat Cooper C/- ONF Surveyors
<b>Street Address</b>	175 Blackbutt Crows Nest Road, Blackbutt South
<b>Real Property Address</b>	Lot 23 on RP179714

On 28 September 2021 the above development was:

Approved in full, with conditions.

**1. Reasons for the Decision**

The reasons for this decision are:

- The proposal will create an opportunity for future rural residential living consistent with the intent of the zone.
- The land use will continue to be utilised for rural residential activities, consistent with the surrounding area.
- There is no infrastructure or natural hazard constraints applicable that would not support the application.
- The land is easily serviceable with the required utilities and is well located to urban services nearby.

**2. Assessment Benchmarks**

The following benchmarks apply to this development:

- Reconfiguring a lot code
- Rural residential zone code
- Services and works code

**Note:** Each application submitted to Council is assessed individually on its own merit.

Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

**Attachment B – Infrastructure Charges Notice**

**INFRASTRUCTURE CHARGES NOTICE**

*(Section 119 of the Planning Act 2016)*

**APPLICANT:** Pat Cooper  
C/- O'Reilly Nunn Favier - ONF Surveyors  
PO Box 898  
KINGAROY QLD 4610

**APPLICATION:** Reconfiguring a lot (1 lot into 2 lots)

**DATE:** 28/09/2021

**FILE REFERENCE:** RAL21/0011

**AMOUNT OF THE LEVIED CHARGE:** **\$4,419.00** **Total**  
*(Details of how these charges were calculated are shown overleaf)*

\$0.00	Water Supply Network
\$0.00	Sewerage Network
\$2,410.00	Transport Network
\$2,009.00	Parks and Land for Community Facilities Network
\$0.00	Stormwater Network

**AUTOMATIC INCREASE OF LEVIED CHARGE:** The amount of the levied charge is subject to an automatic increase. Refer to the Information Notice attached to this notice for more information on how the increase is worked out.

**LAND TO WHICH CHARGE APPLIES:** Lot 23 RP179174

**SITE ADDRESS:** 175 Blackbutt Crows Nest Road, Blackbutt

**PAYABLE TO:** **South Burnett Regional Council**

**WHEN PAYABLE:** Reconfiguring a Lot – When South Burnett Regional Council approves the Plan of Subdivision.  
*(In accordance with the timing stated in Section 122 of the Planning Act 2016)*

**OFFSET OR REFUND:** Not Applicable.

This charge is made in accordance with South Burnett Regional Council's **Charges Resolution (No. 3) 2019**

0

Delegated Authority \_\_\_\_\_ Date \_\_\_\_\_

**DETAILS OF CALCULATION**

**Water Supply**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
N/A					\$0.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
N/A					\$0.00

**Sewerage**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
N/A					\$0.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
N/A					\$0.00

**Transport**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Reconfiguring a Lot (1 into 2)	2	allotments	\$2,410.00	CR Table 2.3	\$4,820.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing Lot	1	allotment	\$2,410.00	CR Table 2.3	\$2,410.00

**Parks and Land for Community Facilities**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Reconfiguring a Lot (1 into 2)	2	allotments	\$2,009.00	CR Table 2.3	\$4,018.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing Lot	1	allotment	\$2,009.00	CR Table 2.3	\$2,009.00



Delegated Authority \_\_\_\_\_ Date: \_\_\_\_\_

**Stormwater**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
N/A					\$0.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
N/A					\$0.00

**Levied Charges**

Development Description	Water Supply	Sewerage	Transport	Parks & Land for Community Facilities	Stormwater	Total
Reconfiguring a Lot (1 into 2)	\$0.00	\$0.00	\$2,410.00	\$2,009.00	\$0.00	\$4,419.00
<b>Total</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$2,410.00</b>	<b>\$2,009.00</b>	<b>\$0.00</b>	<b>\$4,419.00</b>

\* In accordance with Section 3.3 of the Charges Resolution, the discount may not exceed the adopted charge. Any surplus discounts will not be refunded, except at South Burnett Regional Council's discretion.

**18 QUESTIONS ON NOTICE**

Nil

**19 CONFIDENTIAL SECTION**

---

**OFFICER'S RECOMMENDATION**

That Council considers the confidential report(s) listed below in a meeting closed to the public in accordance with Section 254J of the *Local Government Regulation 2012*:

**19.1 Submission - Funding Proposal for Unpaid Rates**

This matter is considered to be confidential under Section 254J - d of the Local Government Regulation, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with rating concessions.

**19.2 Update on the Management of Murgon Jubilee Swimming Pool**

This matter is considered to be confidential under Section 254J - g of the Local Government Regulation, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with negotiations relating to a commercial matter involving the local government for which a public discussion would be likely to prejudice the interests of the local government.

**20 CLOSURE OF MEETING**