

- (c) The *Aboriginal Cultural Heritage Act 2003* (ACHA) is administered by the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs (DATSIMA). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care:
- (i) is not negated by the issuing of this development approval;
  - (ii) applies on all land and water, including freehold land;
  - (iii) lies with the person or entity conducting an activity; and
  - (iv) if breached, is subject to criminal offence penalties.

Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care. Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA. The applicant should contact DATSIP's Cultural Heritage Co-ordination Unit on telephone (07) 3224 2070 for further information on the responsibilities of developers under the ACHA.

- (d) The **relevant period** for the development approval (Operational Work) shall be **two (2) years** starting the day the approval is granted or takes effect. In accordance with Section 341(3) of the *Sustainable Planning Act 2009* (SPA), the development approval for Operational Work lapses if the development does not substantially start within the abovementioned **relevant period**.

An applicant may request Council to extend the **relevant period** provided that such request is made in accordance with Section 383 of SPA and before the development approval lapses under Section 341 of SPA.

- (e) Council is to be indemnified against any claims arising from works carried out by the applicant on Council's property.
- (f) An applicant has the opportunity to make representations regarding conditions or other matters in the development approval within 20 business days of receiving the Decision Notice in accordance with Section 361 of SPA. The applicant's appeal period may also be suspended in accordance with Section 366 of SPA, to allow further time for consideration of matters contained in the development approval. In the case of refusal, an applicant does not have the opportunity to extend the appeal period.
- (g) An applicant has the opportunity to appeal against Council decision in accordance with the relevant Section of SPA which states:

**"461 Appeals by Applicants,**

- (1) *An applicant for a development application may appeal to the court against any of the following—*
- (a) *the refusal, or the refusal in part, of a development application;*
  - (b) *any condition of a development approval, another matter stated in a development approval and the identification or inclusion of a code under Section 242;*
  - (c) *the decision to give a preliminary approval when a development permit was applied for;*
  - (d) *the length of a period mentioned in Section 341;*
  - (e) *a deemed refusal of the development application.*
- (2) *An appeal under Subsection (1)(a), (b), (c) or (d) must be started within 20 business days (the **applicant's appeal period**) after –*
- (a) *if a Decision Notice or Negotiated Decision Notice is given – the day the Decision Notice or Negotiated Decision Notice is given to the applicant;*
- or*

Delegated Authority

25 December 2030

- (b) *otherwise – the day a Decision Notice was required to be given to the applicant.*
- (3) *An appeal under Subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made."*
- (h) It should be noted that Council resolved not to accept security in lieu of completion of works, except in the following circumstances:
- (a) where it is Council's opinion that necessary works would result in the provision of sub-standard services for future development and the work is not critical to the development, or
  - (b) where it is Council's opinion the work is very minor, not critical to the development, and, the timing for the completion of that work is an unreasonable impost on the developer.
- In both cases, the acceptance of security in lieu of works is at Council's discretion.
- (i) The relevant Planning Scheme for this Development Permit is the South Burnett Regional Council Planning Scheme 2017. All references to the Planning Scheme and Schedules within these conditions refer to the above Planning Scheme.

Delegated Authority

25 December 2030

#### **FINANCIAL AND RESOURCE IMPLICATIONS**

No implication can be identified.

#### **LINK TO CORPORATE/OPERATIONAL PLAN**

Growing our Region's Economy and Prosperity

- GR8 Support and advocate for appropriate growth and development with responsive planning schemes, process, customer service and other initiatives.

#### **COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)**

Refer to CONSULTATION in this report.

#### **LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)**

No implication identified.

#### **POLICY/LOCAL LAW/DELEGATION IMPLICATIONS**

No implication can be identified.

#### **ASSET MANAGEMENT IMPLICATIONS**

The new water main will become a new Council asset.

Item

Page 7

Delegated Authority

25 December 2030

**REPORT****1. APPLICATION DETAILS**

Site address	155 Boat Mountain Road, Murgon		
Real property description	Lot 9 on SP287687		
Easements or encumbrances on title	-		
Area of Site	8.925 Ha		
Current Use	Vacant		
Environmental Management Register or Contaminated Land Register	-		
Applicant's name	Barrie Braithwaite		
Zone	Rural Residential		
Applicable Overlays	-		
Proposed use as defined	N/A		
Details of proposal	Reconfiguring a Lot (RALs)		
	• Number of existing lots	1	
	• Number of proposed lots	9	
	• Lot areas	Approx. 1Ha	
Application type	Aspects of Development	Type of Approval Requested	
		Preliminary Approval	Development Permit
	Material Change of Use (MCU)		
	Reconfiguration of a Lot (RAL)		
	Building Work (BW)		
Operational Work (OPW)		X	
Level of Assessment	Code		
Pre-lodgement / Consultation history	-		
Key planning issues e.g. vegetation, waterway corridors, overland flow	-		
Referral agencies	Agency	Concurrence/ Advice	
	NA	NA	
Public notification	No		
Planning Regulation 2017			

Delegated Authority

25 December 2030

## 2. THE SITE

This section of the report provides a description of the site, details about the existing use and notable characteristics of the site, the standard of servicing, and the form of development in the immediately locality.

### 2.1. SITE DESCRIPTION & EXISTING USE

Table 1 – Maps & Descriptions

Site	155 Boat Mountain Road, Murgon
Zoning	Rural Residential
Overlays	Not Applicable
Services	Road, Electrical, Telecommunications
Topography	Rolling

## 3. PROPOSAL DETAILS

The application is for Operation Work to extend the existing water reticulation network to service the 9 Rural Residential lots approved under Reconfiguring a Lot Approval IR1185122.

## 4. ASSESSMENT OF ASSESSMENT BENCHMARKS

Framework for Assessment  
Categorising Instruments for Statutory Assessment

For the *Planning Act 2016*, the following Categorising Instruments may contain Assessment Benchmarks applicable to development applications:

- the *Planning Regulation 2017*
- the Planning Scheme for the local government area
- any Temporary Local Planning Instrument
- any Variation Approval

Of these, the planning instruments relevant to this application are discussed in this report.

Planning Act 2016, Section 26 – Assessment Benchmarks generally

- (1) For section 45(3)(a) of the Act, the code assessment must be carried out against the assessment benchmarks for the development stated in schedules 9 and 10.
- (2) Also, if the prescribed assessment manager is the local government, the code assessment must be carried out against the following assessment benchmarks—
  - (a) the assessment benchmarks stated in—
    - (i) the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and
    - (ii) the State Planning Policy, part E, to the extent part E is not identified in the planning scheme as being appropriately integrated in the planning scheme; and
    - (iii) a temporary State planning policy applying to the premises;
  - (b) if the local government is an infrastructure provider—the local government's LGIP.
- (3) However, an assessment manager may, in assessing development requiring code assessment, consider an assessment benchmark only to the extent the assessment benchmark is relevant to the development.

**4.1. DEVELOPMENT CODE ASSESSMENTS**

**SERVICE AND WORKS CODE**

Performance outcomes	Assessment benchmarks	Assessment
<b>General</b>		
<b>PO1</b> The development is planned and designed considering the land use constraints of the site for achieving stormwater design objectives.	<b>AO1.1</b> A stormwater quality management plan provides for achievable stormwater quality treatment measures that meet the design objectives identified in Table 9.4.4.	N/A for Operational Work
<b>PO2</b> Development does not discharge wastewater to a waterway or off-site unless demonstrated to be best practice environmental management for that site.	<b>AO2.1</b> A wastewater management plan prepared by a suitably qualified person and addresses : (a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best-practice environmental management;  and <b>AO2.2</b> Wastewater is managed in accordance with a waste management hierarchy that: (a) avoids wastewater discharge to waterways; or (b) minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater.	N/A
<b>PO3</b> Construction activities avoid or minimise adverse impacts on stormwater quality.	<b>AO3.1</b> An erosion and sediment control plan addresses the design objectives for the construction phase in Table 9.4.4.	Excavation for water main only. Minimal risk of erosion and sediment control issues.
<b>PO4</b> Operational activities avoid or minimise changes to waterway hydrology from adverse impacts of altered stormwater quality and flow.	<b>AO4.1</b> Development incorporates stormwater flow control measures to achieve the design objectives for the post-construction phase in Table 9.4.4.	N/A
<b>Infrastructure</b>		
<b>PO5</b> Development is provided with infrastructure which: (a) conforms with industry standards for quality; (b) is reliable and service failures are minimised; and (c) is functional and readily augmented.	<b>AO5.1</b> Except in the Rural zone, all development occurs on a site with frontage to a sealed road.  and <b>AO5.2</b> Infrastructure is designed and constructed in accordance with the standards contained in PSP1 – Design and Construction Standards.	N/A  Infrastructure has been designed in accordance with the PSP1, and/or in accordance with relevant engineering standards.

Delegated Authority

25 December 2030

Performance outcomes	Assessment benchmarks	Assessment
<b>Vehicle parking</b>		
<p><b>PO6</b> Vehicle parking and access is provided to meet the needs of occupants, employees, visitors and other users.</p>	<p><b>AO6.1</b> Vehicle parking spaces are provided on-site in accordance with Table 9.4.5.</p> <p>and</p> <p><b>AO6.2</b> A service bay is provided on-site for the service vehicle nominated in Table 9.4.5.</p> <p>and</p> <p><b>AO6.3</b> Driveway crossings are provided to the standard contained in PSP1 – Design and Construction Standards.</p> <p>and</p> <p><b>AO6.4</b> Vehicle parking and manoeuvring areas are provided in accordance with the standards contained in PSP1 – Design and Construction Standards.</p>	<p>N/A</p>
<b>Landscaping</b>		
<p><b>PO7</b> Landscaping is appropriate to the setting and enhances local character and amenity.</p>	<p><b>AO7.1</b> Landscaping is provided in accordance with the relevant zone code provisions.</p> <p>and</p> <p><b>AO7.2</b> Where shade tree planting is required in vehicle parking areas each planting bed has a minimum area of 2m<sup>2</sup> and is unsealed and permeable.</p> <p>and</p> <p><b>AO7.3</b> Plantings along frontages or boundaries are in the form of defined gardens with three tier planting comprised of groundcovers, shrubs (understorey), and trees (canopy) and provided with a drip irrigation system, mulching and border barriers.</p>	<p>N/A</p>
<p><b>PO8</b> Plant species avoid adverse impacts on the natural and built environment, infrastructure and the safety of road networks.</p>	<p><b>AO8.1</b> Landscaping utilises plant species that are appropriate for the location and intended purpose of the landscaping.</p> <p>and</p> <p><b>AO8.2</b> Species selection avoids non-invasive plants.</p> <p>Editor's Note. Guidance on plant selection is provided in Branching Out - Your Handy Guide to tree Planting in the South Burnett available from Council.</p>	<p>N/A</p>

Delegated Authority

25 December 2030

Performance outcomes	Assessment benchmarks	Assessment
<b>Filling and excavation</b>		
<b>PO9</b> Development results in ground levels that retain: (a) access to natural light; (b) aesthetic amenity; (c) privacy; and (d) safety.	<b>AO9.1</b> The depth of: (a) fill is less than 2m above ground level; or (b) excavation is less than 2m below ground level. and <b>AO9.2</b> The toe of the fill, or top of the excavation is not less than 0.5m inside the site property boundary. and <b>AO9.3</b> Works do not occur on slopes over 15% in grade. and <b>AO9.4</b> Retaining walls over 1m in height are terraced 1.5m for every 1m in height and landscaped. and <b>AO9.5</b> Batter slopes are not steeper than 25% and are grassed and terraced 1.5m for every 1m in height. and <b>AO9.6</b> Filling or excavation for the purpose or retention of water: (a) is certified by an RPEQ engineer to safely withstand the hydraulic loading; (b) directs overflow such that no scour damage or nuisance occurs on adjoining lots.	Works will not alter existing ground levels.
<b>PO10</b> Filling or excavation does not cause damage to public utilities.	<b>AO10.1</b> Filling or excavation does not occur within 2m horizontally of any part of an underground water supply, sewerage, stormwater, electricity or telecommunications system.	Works not expected to damage public utilities. DBYD noted on drawings.
<b>PO11</b> Filling and excavation avoids water ponding on the premises or nearby premises that will adversely impact on the health of the community.	<b>AO11.1</b> Following filling or excavation: (a) the premises: (i) are self-draining; and, (ii) has a minimum slope of 0.25%; and, (b) surface water flow is: (i) directed away from neighbouring properties; or (ii) discharged into a stormwater drainage system designed and constructed in accordance with AS3500 section 3.2.	N/A
<b>All operational work subject to an overlay</b>		
<b>Biodiversity overlay</b>		
<b>PO12</b> Development avoids, minimises or mitigates adverse impacts on areas of environmental significance.	<b>AO12.1</b> Uses and associated works are confined to areas not identified on Overlay Map 05. or <b>AO12.2</b> Development is compatible with the environmental values of the area. or	N/A

Item

Page 12



Delegated Authority

25 December 2030

Performance outcomes	Assessment benchmarks	Assessment
	<p><b>AO12.3</b> Where development within an area identified on Overlay Map 05 is unavoidable, measures recommended by a suitably qualified ecologist are incorporated to protect and retain the environmental values and underlying ecosystem processes within or adjacent to the development site to the greatest extent practical.</p>	
<p><b>PO13</b> Biodiversity values of identified areas of environmental significance are protected from the impacts of development</p>	<p><b>AO13.1</b> Development adjacent to Protected Areas identified on Overlay Map 05 is set back a minimum of 100m from the park boundaries in the absence of any current 'Management Plans' for these areas.</p>	<p>N/A</p>
<p><b>PO14</b> There are no significant adverse effects on water quality, ecological and biodiversity values.</p>	<p><b>AO14.1</b> Uses and associated works are confined to areas outside overland flow paths and natural drainage features.</p> <p>and</p> <p><b>AO14.2</b> The Waterway Corridors identified on Overlay Map 05 are maintained in a natural state.</p>	<p>N/A</p>
<p><b>Flood hazard overlay</b></p>		
<p><b>PO15</b> Development directly, indirectly and cumulatively avoids any significant increase in water flow, velocity or flood level, and does not increase the potential for flood damage either on site or other properties.</p>	<p><b>AO15.1</b> Works associated with the proposed development do not:</p> <ul style="list-style-type: none"> <li>(a) involve a net increase in filling greater than 50m<sup>3</sup> in the area identified on Overlay Map 03;</li> <li>(b) result in any reductions of on-site flood storage capacity and contain within the site any changes to depth / duration/velocity of flood waters; or</li> <li>(c) change flood characteristics outside the site in ways that result in:                             <ul style="list-style-type: none"> <li>(i) loss of flood storage;</li> <li>(ii) loss of/changes to flow paths;</li> <li>(iii) acceleration or retardation of flows; or</li> <li>(iv) any reduction in flood warning times.</li> </ul> </li> </ul>	<p>N/A</p>
<p><b>Regional infrastructure overlay</b></p>		
<p><b>PO16</b> Earthworks do not restrict access to and along major electricity infrastructure corridors by the electricity providers, using their normal vehicles and equipment.</p>	<p><b>AO16.1</b> Earthworks do not alter levels along the boundaries of existing easements by more than 300mm and do not result in increased inundation of electricity infrastructure.</p>	<p>N/A</p>
<p><b>PO17</b> There is no worsening of drainage or erosion conditions affecting the bulk supply and linear infrastructure.</p>	<p>No outcome specified.</p>	<p>N/A</p>

Delegated Authority

25 December 2030

Performance outcomes	Assessment benchmarks	Assessment
<b>Water catchments overlay</b>		
<b>PO18</b> There are no significant adverse effects on the water quality of the Region's drinking water supply.	<b>AO18.1</b> Development within the Bjelke-Petersen Dam Water Resource Catchment Area and the 800m buffer to Boondooma and Gordonbrook Dams shown on Overlay Map 06 has no significant adverse effect on the quantity and availability of raw water for consumption, as determined by a suitably qualified water quality expert.  or <b>AO18.2</b> Development within the Cooyar Creek water supply buffer area shown on Overlay Map 06 complies with the specific outcomes and measures of the <i>Seqwater Development Guidelines: Development Guidelines for Water Quality Management in Drinking Water Catchments 2012</i> .	Site is not within a water supply catchment

**5. CONSULTATION**

**Referral Agencies**

State Assessment and Referral Agency	N/A
Other	N/A

**Council Referrals**

INTERNAL REFERRAL SPECIALIST	REFERRAL / RESPONSE
Development Engineer	Development Engineer has done the assessment

**6. RECOMMENDATION**

The proposed development has been assessed against the requirements of the South Burnett Regional Council Planning Scheme 2017. It is considered that the proposed development generally complies with the requirements of the Planning Scheme and as such, the applicant should be provided with a Development Permit. The Development Permit should contain the conditions detailed in the Officer's Recommendation in order to ensure that the proposal complies with the South Burnett Regional Council Planning Scheme 2017.

**ATTACHMENTS**

- Attachment A - Approved Plans**

## WATER MAIN EXTENSION BOAT MOUNTAIN ROAD, MURGON

LOCALITY PLAN  
N.T.S.

**PROJECT SUBMITTED**

In the effect of Section 115 of the Professional Engineers Act 2002, the professional engineering services in this area of engineering required for this project have been carried out by or under the supervision of registered professional engineers who are registered under the Act in respect of the area of engineering.

By signing this statement I have deemed to certify all drawings in this contract as being in this drawing folder on being in accordance with the above.

SIGNED: \_\_\_\_\_ TITLE: ANTHONY MORRIS  
DATE: 05/04/2023

DRAWING SCHEDULE	
DRAWING NUMBER	DRAWING TITLE
SBRC29-1-01	LOCALITY PLAN AND SURVEY DETAILS
SBRC29-1-02	NOTES, LEGEND AND SURVEY DETAILS
SBRC29-1-03	GENERAL ARRANGEMENT PLAN
SBRC29-1-04	DETAILS OF VALVE BOX
SBRC29-1-05	DETAILS OF VALVE BOX
SBRC29-1-06	DETAILS OF VALVE BOX
SBRC29-1-07	SAFETY IN USE PLAN

SCHEDULE OF STANDARD DRAWINGS	
DRAWING NUMBER	DRAWING TITLE
WEB-WAT-1000-1	TYPICAL MAINS CONNECTION TO HIGH VOLTAGE TRANSFORMER
WEB-WAT-1000-2	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS
WEB-WAT-1000-3	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS
WEB-WAT-1000-4	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS
WEB-WAT-1000-5	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS
WEB-WAT-1000-6	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS
WEB-WAT-1000-7	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS
WEB-WAT-1000-8	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS
WEB-WAT-1000-9	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS
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WEB-WAT-1000-30	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS
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WEB-WAT-1000-49	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS
WEB-WAT-1000-50	TYPICAL MAINS CONNECTION TO TRANSFORMER ARRANGEMENTS

**WARNING**

EXISTING FEATURES PLOTTED FROM RECORDS. EXISTING FEATURES TO BE PHYSICALLY LOCATED AND CONFIRMED PRIOR TO CONSTRUCTION.

**DANGER**  
The Essential First Step.  
www.1100.com.au

**DANGER**  
ASBESTOS

**DANGER**  
KEEP CLEAR OF OVERHEAD POWER LINES  
CONTACT CAN CAUSE DEATH

**SERVICE LOCATIONS**  
It is the responsibility of the Contractor to determine the exact location of service prior to construction.

THE ABOVE LIST MAY NOT INCLUDE ALL STANDARD DRAWINGS RELEVANT TO THIS PROJECT. REFER TO THE WATER MAIN SUPPLY CODE FOR A COMPLETE LIST OF STANDARD DRAWINGS AND OPERATIONAL CODE FOR THE CONSTRUCTION OF THE PROPOSED WATER MAIN.

WHILE EVERY CARE HAS BEEN TAKEN TO ENSURE THESE DRAWINGS ARE CORRECT, THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE RELEVANT AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE RELEVANT AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE RELEVANT AUTHORITIES.

**REGION PLAN**  
N.T.S.

Issue	Description	Issue	Date
1	ISSUED FOR CONSTRUCTION - ISSUED BENCH DETAILS	05/04/23	05/04/23
2	ISSUED FOR CONSTRUCTION - ISSUED BENCH DETAILS	05/04/23	05/04/23
3	ISSUED FOR CONSTRUCTION - ISSUED BENCH DETAILS	05/04/23	05/04/23

**FOR OHF SURVEYORS**  
Document S&G ID: 3022436  
Version: 1. Version Date: 05/05/2023

**WATER MAIN DESIGN**  
BOAT MOUNTAIN ROAD, MURGON

LOCALITY PLAN AND DRAWING SCHEDULES

Project Name: **SBRC29-1-01**

Date: **06/04/2023**

Client: **C**

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**NOTES**

**GENERAL:**

- CONSTRUCTION AND MATERIALS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE WATER SUPPLY CODE & DRAWINGS AND SOUTH BURNETT REGIONAL COUNCIL (SRB) STANDARDS WHERE APPLICABLE.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE WATER SUPPLY CODE & DRAWINGS AND WITH ALL OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT FOR DECISION BEFORE PROCEEDING WITH WORK.
- DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTATION AND DRAWINGS WHICH INCLUDES CONSTRUCTION MANAGEMENT PLAN (CMP).
- WORKING OVERS ARE NORMAL ONLY AND SHALL NOT BE SCALED FROM DIMENSIONS GIVEN IN THE DRAWINGS. ALL WORKING OVERS ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE FABRICATION AND CONSTRUCTION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT STANDARDS, AUSTRALIAN WATER SUPPLY SPECIFICATIONS AND STANDARDS AND THE PROVISIONS OF THE BUILDING ACT 1975.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PIPES AND PITS AGAINST FLOODING DURING CONSTRUCTION.
- ANY PROVISIONS SHALL BE REFERRED TO THE SUPERINTENDENT FOR DECISION BEFORE PROCEEDING WITH WORK.
- NO SUBSTITUTE MATERIALS SHALL BE USED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE SUPERINTENDENT.
- HEIGHT DATUMS TO AND AND COORDINATES ARE RELATIVE TO MARK, EDGE (SR).
- THE POSITIONS OF SERVICES BELIEVED TO EXIST ON THE SITE ARE INDICATED. NO GUARANTEE IS GIVEN OR IMPLIED ON THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION. THE CONTRACTOR SHALL MAKE REASONABLE ENQUIRIES TO VERIFY THE POSITIONS OF SERVICES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THESE SERVICES AND STRUCTURES DURING THE COURSE OF THE CONTRACT.
- UNDERGROUND AND OVERHEAD SERVICE UTILITIES HAVE BEEN PLOTTED USING SERVICE AUTHORITY RECORDS AND MAY NOT REPRESENT THE ACTUAL SERVICE LOCATION WHERE REQUIRED. THE PLOTTED LOCATION OF THESE SERVICES MAY HAVE BEEN ALTERED TO FIT ACTUAL SERVICE UTILITIES.
- ALL WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE DIMENSIONS AND ELECTRICITY ACT AND WORK HEALTH AND SAFETY ACT AND RELEVANT REGULATIONS/GUIDELINES.
- ALL WORK SHALL BE CARRIED OUT BY SRB.
- CONTRACTOR TO TAKE APPROPRIATE ACTION TO PROTECT AND PAINT ANY SRB & OTHER AUTHORITIES EXISTING SERVICES.
- RESTORE ALL SURFACES TO MATCH PRE-EXISTING SUBSTRATES.
- ADULT AND FINAL INSPECTIONS OF WORK CONSTRUCTED BY THE CONTRACTOR MUST BE ARRANGED TWO WEEKS BEFORE HAND WITH THE SUPERINTENDENT.
- ONLY SRB PERSONNEL MUST OPERATE THE EXISTING WATER & SEWERAGE NETWORK.
- WHERE AUSTRALIAN STANDARDS ARE REFERENCED, THE CURRENT REVISION SHALL APPLY.

**SOIL:**

- TOPSOIL AND SUBSOIL SHALL BE STOCKPILED SEPARATELY.
- EXCAVATIONS MUST BE BACKFILLED AND REINSTATED AS THE WORK PROCEEDS.
- ALL EXPOSURES MUST BE PROTECTED BY SLOTTED BARRIERS AND LUKAED ON THE UP SLOPE SIDE OF THE EXCAVATIONS.
- ALL EXPOSURES MUST BE LOCATED OUTSIDE THE CANOPY EDGE OF EXISTING TREES TO AVOID COMPACTATION OF THE ROOT ZONES.
- ENSURE THAT LOSS OF SOLENT FROM THE WORK SITE IS MINIMISED. THIS WILL INCLUDE PRECIPITATION AND MAINTENANCE OF APPROPRIATE EROSION AND SEDIMENT CONTROLS.
- SEWAGE PIPES MUST BE INSTALLED IMMEDIATELY DOWN SLOPE OF ALL DISTURBANCE CONDITIONS ASSOCIATED WITH THE WORKS AND MAINTAINED AFTER WORKS ARE COMPLETED IN CONJUNCTION WITH VEGETATION ACTIVITIES.
- PRE-EXISTING SOIL PROFILES AND COMPACTION LEVELS MUST BE REINSTATED UNLESS OTHERWISE SPECIFIED.
- ALL DISTURBANCE AREAS MUST BE LEFT IN A STABLE CONDITION THAT IS EQUIVALENT TO OR BETTER THAN THE SITE CONDITION PRIOR TO THE COMMENCEMENT OF WORKS.
- ANY TREES WHICH NEED TO BE REPLACED MUST BE REPLACED WITH SIMILAR TYPE AND SIZE TREES IN CONSULTATION WITH THE SUPERINTENDENT.
- ANY NATIVE SPECIES PLANTINGS WHICH ARE DURING THE MAINTENANCE PERIOD MUST BE CENTRALLY AND FULLY MAINTAINED. THE SAME SPECIES AND MAINTAINED WATERING, WEED CONTROL AND PEST MANAGEMENT. REFERENCE BE WATER QUALITY CONTROL. COMPLY WITH THE REQUIREMENTS OF THE NATIONAL WATER QUALITY MANAGEMENT PLAN (NWQMP) (AUSTRALIAN BEST PRACTICE EROSION & SEDIMENT CONTROL BIPES) MANUAL.

**PIPEWORKS:**

- WHERE CONNECTING TO EXISTING PIPEWORK, THE LEVEL AND DIAMETER OF THE EXISTING PIPEWORK SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONNECTION.
- CHANGES IN HORIZONTAL AND VERTICAL ALIGNMENT OTHER THAN THROUGH FABRICATED BENDS SHALL BE ACHIEVED BY DEFLECTION AT PIPE JOINTS WHERE SHOWN. MAXIMUM DEFLECTION SHALL BE AS PER MANUFACTURER'S SPECIFICATIONS.
- PROVIDE SUFFICIENT TRENCH DEPTH AND WIDTH TO ALLOW FOR DEFLECTION OF PIPES AT JOINTS. EXPLANATION FOR TRENCHES SHALL BE THE MINIMUM NECESSARY TO INSTALL THE PIPELINE AND ASSOCIATED STRUCTURES.
- THE MINIMUM CLEARANCE TO EXISTING SERVICES TO BE AS PER ISIRI 428 (SR) AS4383 (AS APPROVED) AND IPHA BUILDING OVER OR NEAR RELEVANT INFRASTRUCTURE UNLESS NOTED OTHERWISE. CLEARANCE BETWEEN SERVICES IS LESS THAN THAT SPECIFIED, REFER TO THE SUPERINTENDENT FOR DIRECTION BEFORE PROCEEDING WITH WORK.
- CONTRACTOR TO OBTAIN PRIOR APPROVAL OF THE SUPERINTENDENT FOR ANY MINOR DEVIATIONS REQUIRED TO AVOID EXISTING SERVICES.
- REMOVE AND REINSTATE OBJECTS ALONG LINE OF CONSTRUCTION SUCH AS SINKS, FENCES ETC.
- NON-METALLIC PIPES SHALL HAVE MARKER TAP TO AS 264-81 PLACED AS SHOWN COLOURS:

  - POTABLE WATER - BLUE
  - SEWERAGE - BLACK OR BURY
  - RECLAIMED WATER - PURPLE

- TEST PRESSURE SHALL BE 200 kPa OR 1.25 x MAXIMUM OPERATING PRESSURE WHICHEVER IS GREATER, AT THE LOWEST POINT ON THE PIPELINE.
- PRESSURE TESTING SHALL NOT BE COMPLETED EARLIER THAN 7 DAYS AFTER THE LAST THROUST/ANCHOR BLOCK IN THE SECTION HAS BEEN CAST.
- ALL PIPE FITTINGS SHALL BE DOWNSIDE/UPSIDE.
- MINIMUM PRESSURE MAIN COVER FROM FINISHED GROUND LEVEL TO THE INVERT OF THE MAIN PIPES SHALL BE:

  - NON-TRAFFICABLE AREAS (GENERAL) - 450mm
  - TRAFFICABLE AREAS (DETAILED LOCAL ROADWAYS) - 480mm

- PIPES SHALL NOT BE CONSTRUCTED IN UNCONTROLLED FULL CREEP AREAS SHALL BE LAGED WITH SARE (CERTIFYING THE FULL IS CONTROLLED FULL COMPLETED TO 85% TO AS 1885:11).
- MILD STEEL PIPES & FITTINGS SHALL COMPLY WITH AS 1910. ALL WELD JOINTS, PIPES AND FITTINGS SHALL BE CLEANED AND COMPLY WITH AS 1910 UNLESS OTHERWISE NOTED. EXTERNAL COATINGS ON THE PIPES AND FITTINGS SHALL BE JUSON BONDUP REDUP DENSITY POLYETHYLENE COMPLYING WITH ASS-JET (DOW) AND/OR 100% APPROVED WORKER GASKETS AND WELDED JOINTS SHALL BE TO FULLY BUTYLATED PRODUCTS OR EQUIVALENT AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- ALL DUCT PIPES AND FITTINGS TO BE COVERED WITH POLYETHYLENE SLEEVING AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- ALL OPEN ENDS OF DECOMMISSIONED MAINS MUST BE EFFECTIVELY PLUGGED. DECOMMISSIONED MAINS SHALL BE REMOVED (AC MAINS UNDER ROAD) OR OTHERWISE CAPPED AND CEMENT GROUT FIELLED IN ACCORDANCE WITH THE WBB WATER SUPPLY PIPELINE MUST BE TUNNEL BORED FOR EXTENT INDICATED ON DRAWINGS.
- VALVE DECOMMISSIONING SHALL INCLUDE THE REMOVAL AND DISPOSAL OF VALVE STEPS, BOLCS AND WASHERS, AND REINSTATE TO THE PROPER SUBSURFACE AREA.
- ALL EXISTING WATER SERVICES SHALL BE REPLACED UNLESS SHOWN OTHERWISE SHORT WATER SERVICE CONNECTIONS IDENTIFIED FOR CLARITY.
- ALL WATER SERVICE CONNECTIONS SHALL BE DOWNSIDE UNLESS SHOWN OTHERWISE.
- PROVIDE THROUST BLOCKS ON ALL BENDS, VALVES, TEES, END-CAPS ETC. CONTRACTOR TO DETERMINE MINIMUM THROUST AREA REQUIRED BASED ON NATIVE GROUND CONDITIONS. REFER WBS-WAT-125-1 TO 128-1 FOR THROUST BLOCK DESIGN.
- THE BEARING FACE OF THE THROUST RESTRAINT BLOCKS MUST BE CAST AGAINST UNDISTURBED GROUND.
- CONCRETE MUST NOT SPALL OVER SOCKET JOINTS.
- ALL FITTINGS MUST BE ACCORDANCE WITH AS 4320 UNLESS NOTED OTHERWISE.
- IF CLUTTING PIPES ON SITE, REFER TO MANUFACTURER'S REQUIREMENTS. DO NOT CUT AC PIPES.
- EXTERNAL COATINGS ARE NOT TO BE REMOVED WHEN PIPEWORK FITTINGS ARE SURROUNDING OR COVERED IN CONCRETE.
- ALL BOLTS, NUTS AND WASHERS MUST BE 316 STAINLESS STEEL (GRADE B16) UNLESS NOTED OTHERWISE.
- SOAKS, HATCHES, ROBBY, PATCHMENT MARKINGS ETC. TO BE IN ACCORDANCE WITH WBBREQ. LISTING TO BE REVISED AS NECESSARY.

**ENVIRONMENT:**

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION WORKS DO NOT RESULT IN THE CONTAMINATION OF ADJACENT WATERWAYS, WETLANDS AND/OR ECOSYSTEMS.

THE CMP (REFER NOTES) SHALL INCLUDE AN ENVIRONMENTAL MANAGEMENT PLAN (EMP) THAT ADDRESSES ISSUES SUCH AS, BUT NOT LIMITED TO, WATER QUALITY, EROSION AND SEDIMENTATION, ON-TERRA, HERITAGE, NOISE, VIBRATION, AIR QUALITY, AND SENSITIVE SITES (CONTAMINATED SITES, FLORA AND FAUNA, VEGETATION, PEST MANAGEMENT, WASTE, AND OTHERS AND PETS).

ALL ENVIRONMENTAL PROTECTION MEASURES MUST BE UNDERTAKEN WHEN REQUIRED DURING THE PROGRESS OF CONSTRUCTION WORK AS NOTED IN THE EMP/MP. NO RELEASE OF AIR POLLUTION SUCH AS DUST, SMOKE, ASH, AEROSOLS, ODOUR, LIGHT AND NOISE THAT MAY CAUSE AN ENVIRONMENTAL OFFENCE.

**FLORA:**

- ENSURE NO HARM IS CAUSED TO NATIVE AND NATURAL AREAS OR THOSE AREAS IDENTIFIED AND PROTECTED BY LOCAL, STATE OR FEDERAL AUTHORITIES. THIS INCLUDES HOLDINGS, DEAD TREES ETC.
- ENSURE THERE IS NO SPREAD OF DECLARED PESTS.
- ENSURE NO DISTURBANCE TO PROTECTED/ENDANGERED NATIVE SPECIES OR RARE OR THREATENED AND DECLARED WEEDS WITHOUT APPROPRIATE ENVIRONMENTAL MANAGEMENT ADVICE.
- ALL TREES WITHIN THE BOUNDARY OF WORKS MUST BE PROTECTED WITH TREE GUARDS.
- NO TREES ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM SRB.
- COMMUNITY AND WILDLIFE.
- MINIMISE IMPACTS ON THE COMMUNITY DURING CONSTRUCTION AND MAINTENANCE ACTIVITIES AND ENSURE APPROPRIATE COMMUNITY CONSULTATION HAS OCCURRED WITH THE RELEVANT LOCAL COMMUNITY GROUPS, SCHOOLS, RESIDENTS, AND BUSINESSES ETC.
- ANY EUROPEAN CULTURAL, INDIGENOUS CULTURAL OR NATURALLY IMPORTANT HERITAGE FINDS MUST BE REPORTED TO THE SUPERINTENDENT AND REGIONAL MANAGER, CULTURAL HERITAGE AT THE DEPARTMENT OF ENVIRONMENT AND HERITAGE PROTECTION ON PH 13 74 56.
- ENSURE NO HARM TO PROPERTY OR THE ENVIRONMENT THROUGH THE RELEASE/HANDLING OF HAZARDOUS MATERIALS AND SUBSTANCES COMPLIANT WITH APPROPRIATE REGULATIONS AND HANDLING OF DANGEROUS GOODS AS IN THE WORK HEALTH & SAFETY ACT.

**ABBREVIATIONS**

- DI - DUCTILE IRON
- DN - DUCTILE NONDRIPAL
- HT - HIGH TENSILE
- HT - HEIGHT
- DL - OVERSIGHT LEVEL
- SP - SPOUT
- SOC - SOCKET
- DECL - DUCTILE NON-DRIPAL (LINED)
- EXST - EXISTING
- FL - FLANGE
- IL - INVERT LEVEL
- PL - POLYETHYLENE
- CS - POLYETHYLENE
- PVC - POLYVINYL CHLORIDE
- WSC - WATER SERVICE CONNECTION

**EXISTING UTILITY SERVICES (BY RECORDS)**

**LEGEND**

- V-DB - WATER MAIN (POTABLE)
- WATER SERVICE CONNECTION
- WATER SERVICE CONNECTION TO BE DECOMMISSIONED
- FIRE HYDRANT
- VALVE
- UNREINFORCED CONCRETE THROUST BLOCK
- FLANGED FITTING/BEND
- SOCKETED FITTING/BEND
- SPIGOTTED FITTING/BEND
- GROUT CONNECTION
- VALVE/ADAPTOR
- WATER MAIN (POTABLE)
- WATER SERVICE CONNECTION
- TELECOMMUNICATIONS - UNDERGROUND
- SEWER MAIN / MANHOLE - GRAVITY
- SEWER MAIN - RISING
- STORMWATER
- PROPERTY BOUNDARY
- EDGE OF BITUMEN (INDICATIVE)
- WATER METER
- FIRE HYDRANT
- VALVE
- POWER POLE

**WATER MAIN DESIGN**

**BOAT MOUNTAIN ROAD, MURGOON**

**NOTES, LEGEND AND SURVEY DETAILS**

Drawn: **SBRC29-1-02**

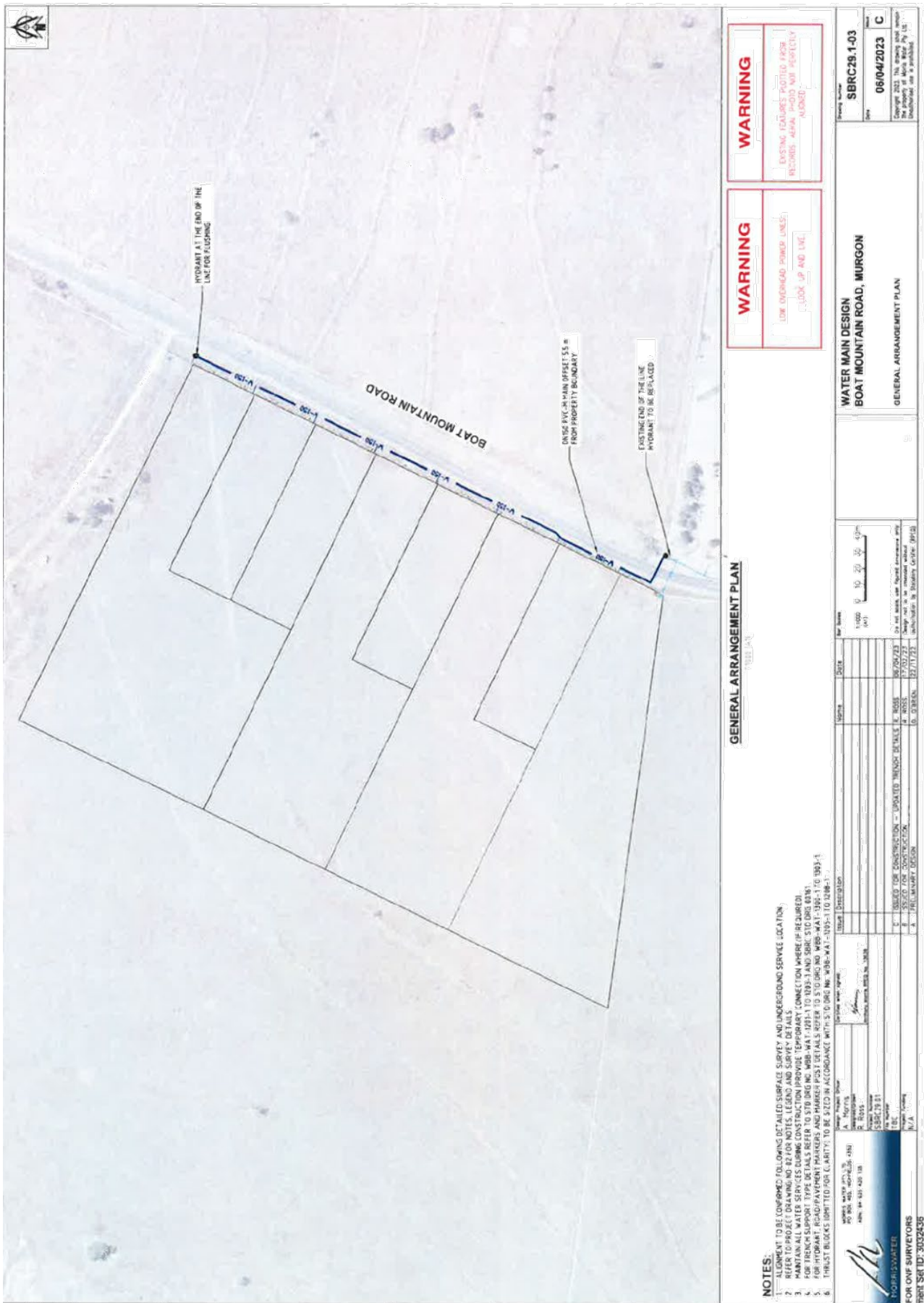
Date: **06/04/2023**

Scale: **C**

FOR ONF SURVEYORS

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Version: 1, Version Date: 05/05/2023



**WARNING**  
 EXISTING FEATURES NOT TO BE RECORDED - REFER TO RECORDS FOR FULL DETAILS

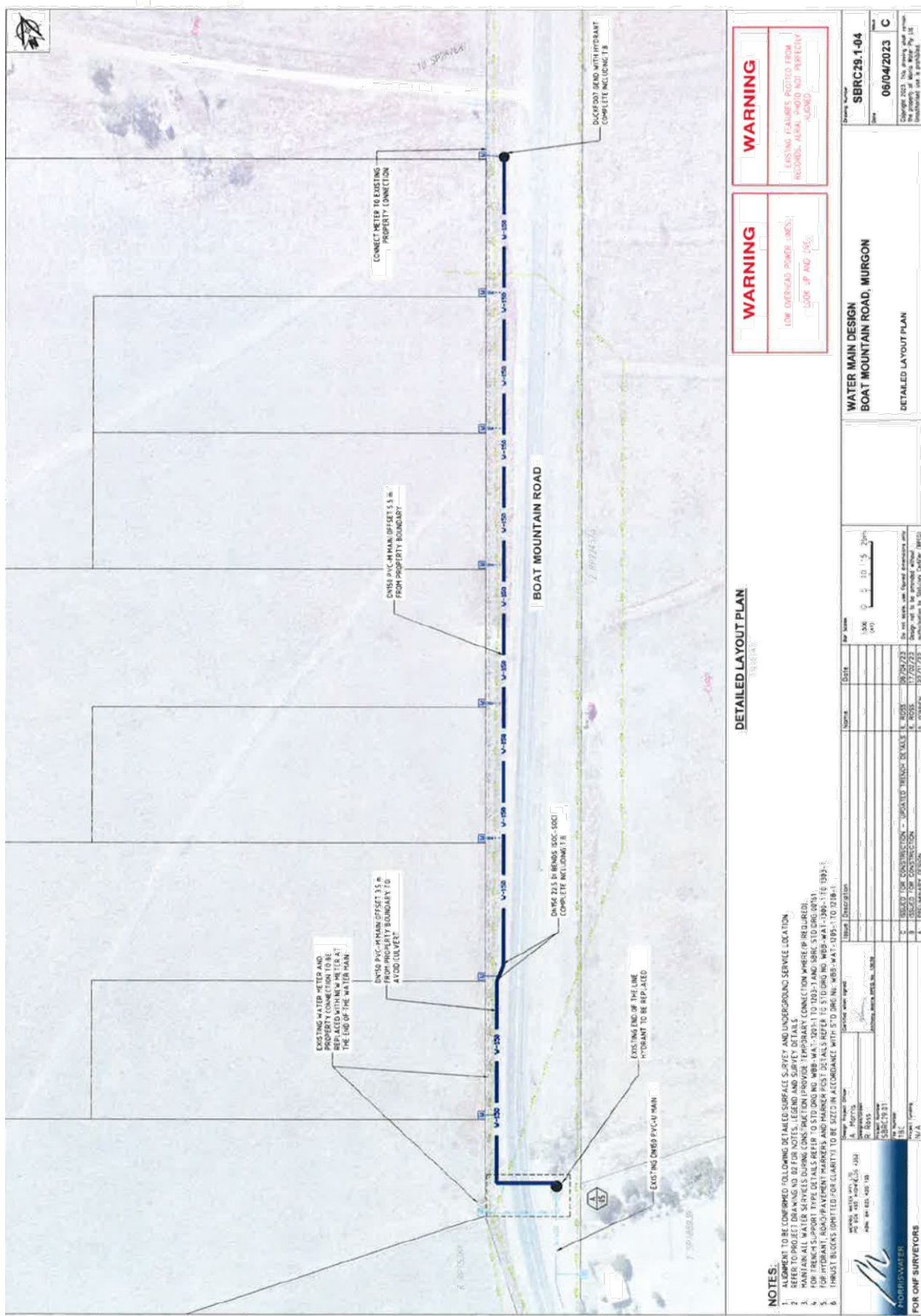
**WARNING**  
 OVERHEAD POWER LINES - LOOK UP AND AVOID

**GENERAL ARRANGEMENT PLAN**

- NOTES:**
1. ALLOWANCE TO BE CONFERRED FOLLOWING DETAILED SURFACE SURVEY AND UNDERGROUND SERVICE LOCATION.
  2. REFER TO PROJECT DRAWING NO. 82 FOR NOTES, LEGEND AND SURVEY DETAILS.
  3. MAINTAIN ALL WATER SERVICES DURING CONSTRUCTION (PROVIDE TEMPORARY CONNECTION WHERE REQUIRED).
  4. FOR TRENCH SUPPORT TYPE DETAILS REFER TO STD DRG NO. WBB-WA-T-1021-1 TO 1023-1 AND SBR-STD DRG 6011.
  5. FOR TRENCH ROAD PAVEMENT MARKERS AND MARKER POST DETAILS REFER TO STD DRG NO. WBB-WA-T-1026-1 TO 1028-1.
  6. TRUST BLOCKS SHOWN TO CLARIFY TO BE SET IN ACCORDANCE WITH 3 TO DRG NO. WBB-WA-T-1029-1 TO 1030-1.

<p>PROJECT NO: 2023-01-01 (428)                  DATE: 14/05/2023</p>		<p>DATE: 06/04/2023</p>	
<p>PROJECT NAME: BOAT MOUNTAIN ROAD</p>		<p>PROJECT NO: SBR29-1-03</p>	
<p>PROJECT LOCATION: BOAT MOUNTAIN ROAD, MURGOON</p>		<p>DATE: 06/04/2023</p>	
<p>PROJECT TYPE: WATER MAIN DESIGN</p>		<p>PROJECT NO: SBR29-1-03</p>	
<p>PROJECT STATUS: FOR CONSTRUCTION</p>		<p>DATE: 06/04/2023</p>	
<p>PROJECT OWNER: MURGOON SHIRE</p>		<p>PROJECT NO: SBR29-1-03</p>	
<p>PROJECT DESIGNER: MURGOON SHIRE</p>		<p>DATE: 06/04/2023</p>	
<p>PROJECT CHECKER: MURGOON SHIRE</p>		<p>PROJECT NO: SBR29-1-03</p>	
<p>PROJECT APPROVER: MURGOON SHIRE</p>		<p>DATE: 06/04/2023</p>	
<p>PROJECT REVIEWER: MURGOON SHIRE</p>		<p>PROJECT NO: SBR29-1-03</p>	
<p>PROJECT STATUS: FOR CONSTRUCTION</p>		<p>DATE: 06/04/2023</p>	
<p>PROJECT OWNER: MURGOON SHIRE</p>		<p>PROJECT NO: SBR29-1-03</p>	
<p>PROJECT DESIGNER: MURGOON SHIRE</p>		<p>DATE: 06/04/2023</p>	
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<p>PROJECT APPROVER: MURGOON SHIRE</p>		<p>DATE: 06/04/2023</p>	
<p>PROJECT REVIEWER: MURGOON SHIRE</p>		<p>PROJECT NO: SBR29-1-03</p>	

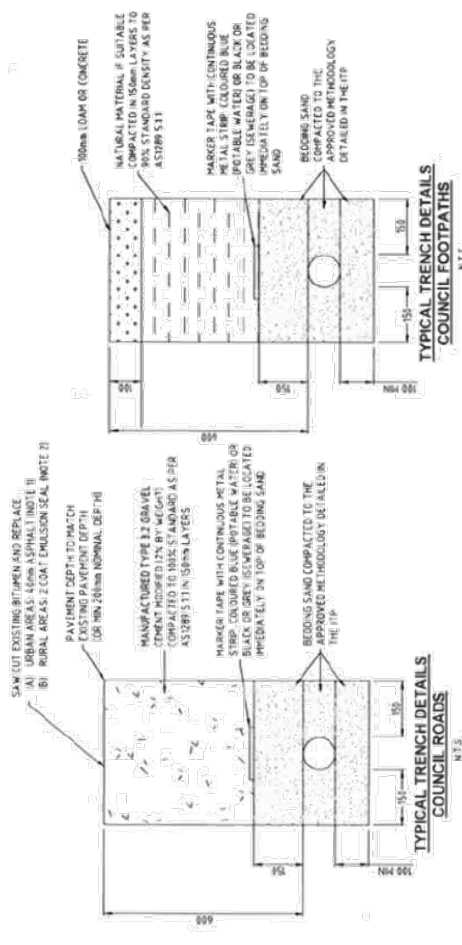
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 Version: 1, Version Date: 05/05/2023





PROJECT QUANTITIES (EXCLUDING DETAILS)	
DESCRIPTION	QUANTITIES
PIPE PINS (20mm DIA APPROX) FOR MARKER MULTIPLE	350 m
HYDRA-TEE WITH SPRING HYDRANT AND HYDRANT RISER COMPLETE AND ANCHOR BLOCK	14 DWSB-350x485 TEE, 1500-350x500 1x DWSB-350x500 (B&C-F)
CONCRETE INHIST BLOCKS	2 TOTAL INCLUDING DETAILS BY CONTRACTOR TO SUIT REFER RELEVANT WORK CODE STANDARD DRAWINGS
EXCAVATION	58 CU M
BEDDING MATERIAL	81 CU M
MANUFACTURED GRAVEL	1 CU M
NATURAL MATERIAL (DAMP)	53 CU M
RETAINMENT	15 CU M
	1.5 CU M

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NATURAL MATERIAL (DAMP)	53 CU M
RETAINMENT	15 CU M
	1.5 CU M



**TRENCH DETAIL NOTES:**

- USE EITHER 40mm COLD MIX ASPHALT (IMPMIX) IMMEDIATELY AFTER TRENCH BACKFILLING OR CONTINUE TYPE 3.2 GRAVEL TO SURFACE AND REPAVE THE TOP 40mm WITH 100-100 ASPHALT WHEN AVAILABLE.
- REFER TO PROJECT DRAWINGS NO. 02 AND 03 FOR NOTES, LEGEND AND SURVEY DETAILS.
- REFER TO PROJECT DRAWINGS NO. 02 AND 03 FOR NOTES, LEGEND AND SURVEY DETAILS.
- TYPICAL TRENCH DETAILS ARE A REPRESENTATION OF SBRC STD DRS NO. 0096.

**SERVICE CONNECTION NOTES:**

- SEE 230-DWS-350-485 TEE AND WBS MAT - TEE-2 FOR DETAILS.
- HYDRA-TEE BENDING RADII FOR DWSB ARE 400 mm FOR DWSB-350x500 AND 500 mm FOR DWSB-350x500 (B&C-F).
- HYDRA-TEE BENDING RADII FOR DWSB ARE 400 mm FOR DWSB-350x500 AND 500 mm FOR DWSB-350x500 (B&C-F).
- HYDRA-TEE BENDING RADII FOR DWSB ARE 400 mm FOR DWSB-350x500 AND 500 mm FOR DWSB-350x500 (B&C-F).
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- HYDRA-TEE BENDING RADII FOR DWSB ARE 400 mm FOR DWSB-350x500 AND 500 mm FOR DWSB-350x500 (B&C-F).
- HYDRA-TEE BENDING RADII FOR DWSB ARE 400 mm FOR DWSB-350x500 AND 500 mm FOR DWSB-350x500 (B&C-F).

**GENERAL NOTES:**

- REFER TO PROJECT DRAWINGS NO. 02 AND 03 FOR NOTES, LEGEND AND SURVEY DETAILS.

<p>FOR ONF SURVEYORS                  Document SRT ID: 3032459                  Version: 1, Version Date: 05/05/2023</p>		<p>Project Name                  WATER MAIN DESIGN                  BOAT MOUNTAIN ROAD, MURGOON</p>	<p>Drawing Number                  SBRC29-1-06</p>
<p>Project Location                  BOAT MOUNTAIN ROAD, MURGOON</p>		<p>Date                  06/04/2023</p>	<p>Scale                  C</p>
<p>Project Manager                  [Signature]</p>		<p>Project Engineer                  [Signature]</p>	
<p>Project Designer                  [Signature]</p>		<p>Project Checker                  [Signature]</p>	
<p>Project Approver                  [Signature]</p>		<p>Project Reviewer                  [Signature]</p>	



ID	HAZARD DESCRIPTION	RISK LEVEL	CONTROL MEASURES	RESIDUAL RISK
M15	CONTACT WITH EXISTING UNDERGROUND OVERHEAD POWER	EXTREME (E5)	OVERHEAD AND UNDERGROUND LIVE POWER IN VICINITY OF ELECTRICAL SUBSTANCES/APPARATUS IS IDENTIFIED, LOCATED AND Labeled ON THE SITE SERVICE DRAWINGS, GAIN APPROVAL FROM RELEVANT ASSET OWNER AND ORGANISE INSPECTORS WHERE REQUIRED.	HIGH (H4)
M16	UNSAFE USE OF MALINERY PUMP	HIGH (H3)	PLANT TO UNDERGO SITE SPECIFIC SAFETY CHECK INCLUDING HAZARD ASSESSMENT AND APPROVAL BEFORE WORK COMMENCES. ALL OPERATORS OF PRESSURIZED PLANT MUST HOLD CERTIFICATION FOR THE PLANT. ALL PLANT TO HAVE FLASHING LIGHTS, REVERSE ALLOW, LAMP RADIO ETC AND MUST BE OPERATED BY PERSONNEL WHO ARE AWARE OF SURROUNDINGS, STAY CLEAR OF ALL ZONES AND ARE NOT OPERATING WHEN ON FOOT. PERSONNEL TO BE AWARE OF SURROUNDINGS, STAY CLEAR OF ALL ZONES AND ARE NOT OPERATING WHEN ON FOOT.	MODERATE (A3)
M17	UNSAFE USE OF SITE CONDITIONS	HIGH (H3)	SITE SPECIFIC INDUCTION TO GIVE ALL WORKERS AWARENESS OF SITE ACTIVITIES, DAILY PRE-STARTS, BARRIERS TO DELINEATE WORK AREA FOR PROTECTION OF THE PUBLIC AND WORK AREA, REVERSE PARK, REVERSING ALARMS, FLASHING LIGHTS, MAINTAIN CLEAR WORKING SPACE AT ALL TIMES.	LOW (L2)
M18	CRUSHING INJURY OR BURNARY FROM FALLING OBJECTS	HIGH (H3)	INDICATE TO BE DONE BY A COMPETENT PERSON, WITH ALL LIFTING EQUIPMENT TO BE TESTED, ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND AFTER THE EQUIPMENT IS NOT LOADED TO BE LIFTED OVER ANY PERSONNEL. ALL PERSONNEL TO BE AWAY FROM THE AREA PRIOR TO LOWERING LOAD TAG LINES TO BE USED AS APPROPRIATE. PERSONNEL TO KEEP BODY PARTS AWAY FROM RIMCH POINTS, MACHINERY WORKERS TO BE SHOWN OBJECTS AND SAFE WORK PRACTICES.	LOW (L2)
M19	MANUAL HANDLING INJURIES	MODERATE (E2)	ADHERE TO COMPANY HEALTH AND SAFETY POLICY. ALL PERSONNEL TO LIFT TO ONE'S FEET OR DISASSEMBLE PLANT OR OVERHEADS THAT DO NOT HAVE AN APPROVED LIFTING SYSTEM. PERSONNEL TO BE TRAINED AND CERTIFIED TO HANDLE PLANT TO MAINTAIN CLEAR WORK AREA. FOLLOW REQUIREMENTS OF SDS FOR CONCRETE. ALL APPROPRIATE PPE MUST BE WORN AT ALL TIMES.	LOW (L2)
M20	INJURY DUE TO UPIN THROUGH	MODERATE (E2)	KEEP TRENCHES CLEAR OF WATER INCLUDING GROUNDWATER AND STORMWATER. NO TRENCHES DEEPER THAN 1.5M TO BE OPENED WITHOUT SHIELDING. SHIELDING TO BE NEARBY TO ENSURE FALLING INTO OPEN TRENCH. ENSURE TRENCH CLOSED AT END OF EACH DAY UNLESS OTHERWISE DIRECTED BY SITE SUPERVISOR.	LOW (L2)
M21	HEALTH IMPACTS OF ASBESTOS	MODERATE (E3)	CONFIRM PRESENCE OF ASBESTOS THROUGH APPROPRIATE SAMPLING / LAB TESTING. IF PRESENT FOLLOW COMPANY PROCEDURE. TAKE APPROPRIATE MEASURES TO MINIMIZE CONTACT INCLUDING LEAVING UNCLED PRESENT ASBESTOS. ALL WORKERS TO BE TRAINED IN ASBESTOS. ENSURE NOTIFICATION ETC. AND USE APPROPRIATE PPE.	MODERATE (A3)
M22	DAMAGE TO EXISTING SERVICES	MODERATE (E3)	MAINTAIN ADEQUATE CLEARANCES TO EXISTING INFRASTRUCTURE. UNDER TAKE DRY AND PHYSICALLY LOCATE ALL RELEVANT UNDERGROUND SERVICES TO DETERMINE EXACT DEPTH AND LOCATION. GAIN APPROVAL FROM RELEVANT ASSET OWNERS AND ORGANISE INSPECTORS WHERE REQUIRED.	LOW (L2)
M23	CONFINED SPACE ENTRY	HIGH (H4)	PERSONNEL TO ENTER ANY CONFINED SPACE WITHOUT APPROPRIATE TRAINING AND COMPANY APPROVED PERSONNEL TO STAY IN PLACE INCLUDING CONFINED SPACE ENTRY TEAM WITH BREATHER AND RESCUE APPARATUS.	HIGH (H4)

DESCRIPTION	A - RARE	B - UNLIKELY	C - POSSIBLE	D - LIKELY	E - ALMOST CERTAIN
1 - CATASTROPHIC	EXTREME	EXTREME	EXTREME	EXTREME	EXTREME
2 - MAJOR	HIGH	HIGH	EXTREME	EXTREME	EXTREME
3 - MODERATE	MODERATE	MODERATE	HIGH	HIGH	EXTREME
4 - MINOR	LOW	LOW	MODERATE	HIGH	HIGH
5 - INSIGNIFICANT	LOW	LOW	LOW	MODERATE	HIGH

RATING	GAUGE	DESCRIPTION
E	>95%	EXPECTED TO OCCUR AT SOME TIME MULTIPLE EVENTS IN A YEAR
D	75% TO 95%	WILL PROBABLY OCCUR (ONCE) THIS WILL OCCUR ONCE A YEAR
C	55% TO 75%	MAY OCCUR AT SOME TIME MAY OCCUR AT LEAST ONCE IN A YEAR PERIOD
B	35% TO 55%	COULD OCCUR AT SOME TIME MAY OCCUR AT LEAST ONCE IN A YEAR PERIOD
A	<35%	MAY OCCUR IN FUTURE (ONCE) MAY OCCUR AT LEAST ONCE IN A YEAR PERIOD

ID	HAZARD DESCRIPTION	RISK LEVEL	CONTROL MEASURES	RESIDUAL RISK
M24	SLIPS, TRIPS, FALLS ETC.	HIGH (H3)	WEAR SLIP RESISTANT SHOES. WEAR ALL PPE. WEAR SAFETY HELMETS. WEAR SAFETY VESTS. WEAR SAFETY HARNESS. WEAR SAFETY LIFELINES. WEAR SAFETY ANCHORS. WEAR SAFETY FALL ARRESTERS. WEAR SAFETY NETS. WEAR SAFETY CATCHERS. WEAR SAFETY BARRIERS. WEAR SAFETY FENCES. WEAR SAFETY GATES. WEAR SAFETY SIGNS. WEAR SAFETY LIGHTS. WEAR SAFETY FLAGS. WEAR SAFETY CONES. WEAR SAFETY BARRIERS. WEAR SAFETY FENCES. WEAR SAFETY GATES. WEAR SAFETY SIGNS. WEAR SAFETY LIGHTS. WEAR SAFETY FLAGS. WEAR SAFETY CONES.	LOW (L2)
M25	UNINTERRUPTED INTERUPTION TO SUPPLY	MODERATE (E3)	CONDUCT REGULAR MAINTENANCE. CONDUCT REGULAR INSPECTIONS. CONDUCT REGULAR TESTS. CONDUCT REGULAR CHECKS. CONDUCT REGULAR MONITORING. CONDUCT REGULAR RECORDING. CONDUCT REGULAR REPORTING. CONDUCT REGULAR COMMUNICATION. CONDUCT REGULAR COORDINATION. CONDUCT REGULAR COLLABORATION. CONDUCT REGULAR COOPERATION. CONDUCT REGULAR COMPANIONSHIP. CONDUCT REGULAR PARTNERSHIP. CONDUCT REGULAR ALLIANCE. CONDUCT REGULAR PARTNERSHIP. CONDUCT REGULAR ALLIANCE. CONDUCT REGULAR PARTNERSHIP. CONDUCT REGULAR ALLIANCE.	LOW (L2)
M26	CHEMICAL SPILL	MODERATE (E2)	USE PROTECTIVE EQUIPMENT. USE PROTECTIVE CLOTHING. USE PROTECTIVE GLOVES. USE PROTECTIVE MASKS. USE PROTECTIVE EYEWEAR. USE PROTECTIVE HEADWEAR. USE PROTECTIVE FOOTWEAR. USE PROTECTIVE HANDS. USE PROTECTIVE FEET. USE PROTECTIVE EARS. USE PROTECTIVE NOSE. USE PROTECTIVE MOUTH. USE PROTECTIVE SKIN. USE PROTECTIVE HAIR. USE PROTECTIVE MAKEUP. USE PROTECTIVE CONTACT LENSES. USE PROTECTIVE CONTACT LENS SOLUTION. USE PROTECTIVE CONTACT LENS CASES. USE PROTECTIVE CONTACT LENS CLOTHES. USE PROTECTIVE CONTACT LENS TOWELS. USE PROTECTIVE CONTACT LENS WIPERS. USE PROTECTIVE CONTACT LENS CLEANING SOLUTION. USE PROTECTIVE CONTACT LENS CLEANING TOWELS. USE PROTECTIVE CONTACT LENS CLEANING WIPERS. USE PROTECTIVE CONTACT LENS CLEANING SOLUTION. USE PROTECTIVE CONTACT LENS CLEANING TOWELS. USE PROTECTIVE CONTACT LENS CLEANING WIPERS.	LOW (L2)
M27	TEMPORARY WORKS / LIVE CONNECTION	MODERATE (E3)	USE PROTECTIVE EQUIPMENT. USE PROTECTIVE CLOTHING. USE PROTECTIVE GLOVES. USE PROTECTIVE MASKS. USE PROTECTIVE EYEWEAR. USE PROTECTIVE HEADWEAR. USE PROTECTIVE FOOTWEAR. USE PROTECTIVE HANDS. USE PROTECTIVE FEET. USE PROTECTIVE EARS. USE PROTECTIVE NOSE. USE PROTECTIVE MOUTH. USE PROTECTIVE SKIN. USE PROTECTIVE HAIR. USE PROTECTIVE MAKEUP. USE PROTECTIVE CONTACT LENSES. USE PROTECTIVE CONTACT LENS SOLUTION. USE PROTECTIVE CONTACT LENS CASES. USE PROTECTIVE CONTACT LENS CLOTHES. USE PROTECTIVE CONTACT LENS TOWELS. USE PROTECTIVE CONTACT LENS WIPERS. USE PROTECTIVE CONTACT LENS CLEANING SOLUTION. USE PROTECTIVE CONTACT LENS CLEANING TOWELS. USE PROTECTIVE CONTACT LENS CLEANING WIPERS. USE PROTECTIVE CONTACT LENS CLEANING SOLUTION. USE PROTECTIVE CONTACT LENS CLEANING TOWELS. USE PROTECTIVE CONTACT LENS CLEANING WIPERS.	MODERATE (A3)
M28	ANIMALS AND WILDLIFE	HIGH (H4)	USE PROTECTIVE EQUIPMENT. USE PROTECTIVE CLOTHING. USE PROTECTIVE GLOVES. USE PROTECTIVE MASKS. USE PROTECTIVE EYEWEAR. USE PROTECTIVE HEADWEAR. USE PROTECTIVE FOOTWEAR. USE PROTECTIVE HANDS. USE PROTECTIVE FEET. USE PROTECTIVE EARS. USE PROTECTIVE NOSE. USE PROTECTIVE MOUTH. USE PROTECTIVE SKIN. USE PROTECTIVE HAIR. USE PROTECTIVE MAKEUP. USE PROTECTIVE CONTACT LENSES. USE PROTECTIVE CONTACT LENS SOLUTION. USE PROTECTIVE CONTACT LENS CASES. USE PROTECTIVE CONTACT LENS CLOTHES. USE PROTECTIVE CONTACT LENS TOWELS. USE PROTECTIVE CONTACT LENS WIPERS. USE PROTECTIVE CONTACT LENS CLEANING SOLUTION. USE PROTECTIVE CONTACT LENS CLEANING TOWELS. USE PROTECTIVE CONTACT LENS CLEANING WIPERS.	LOW (L2)
M29	TRAFFIC	HIGH (H4)	USE PROTECTIVE EQUIPMENT. USE PROTECTIVE CLOTHING. USE PROTECTIVE GLOVES. USE PROTECTIVE MASKS. USE PROTECTIVE EYEWEAR. USE PROTECTIVE HEADWEAR. USE PROTECTIVE FOOTWEAR. USE PROTECTIVE HANDS. USE PROTECTIVE FEET. USE PROTECTIVE EARS. USE PROTECTIVE NOSE. USE PROTECTIVE MOUTH. USE PROTECTIVE SKIN. USE PROTECTIVE HAIR. USE PROTECTIVE MAKEUP. USE PROTECTIVE CONTACT LENSES. USE PROTECTIVE CONTACT LENS SOLUTION. USE PROTECTIVE CONTACT LENS CASES. USE PROTECTIVE CONTACT LENS CLOTHES. USE PROTECTIVE CONTACT LENS TOWELS. USE PROTECTIVE CONTACT LENS WIPERS. USE PROTECTIVE CONTACT LENS CLEANING SOLUTION. USE PROTECTIVE CONTACT LENS CLEANING TOWELS. USE PROTECTIVE CONTACT LENS CLEANING WIPERS.	HIGH (H4)
M30	POLLUTANT	HIGH (H4)	USE PROTECTIVE EQUIPMENT. USE PROTECTIVE CLOTHING. USE PROTECTIVE GLOVES. USE PROTECTIVE MASKS. USE PROTECTIVE EYEWEAR. USE PROTECTIVE HEADWEAR. USE PROTECTIVE FOOTWEAR. USE PROTECTIVE HANDS. USE PROTECTIVE FEET. USE PROTECTIVE EARS. USE PROTECTIVE NOSE. USE PROTECTIVE MOUTH. USE PROTECTIVE SKIN. USE PROTECTIVE HAIR. USE PROTECTIVE MAKEUP. USE PROTECTIVE CONTACT LENSES. USE PROTECTIVE CONTACT LENS SOLUTION. USE PROTECTIVE CONTACT LENS CASES. USE PROTECTIVE CONTACT LENS CLOTHES. USE PROTECTIVE CONTACT LENS TOWELS. USE PROTECTIVE CONTACT LENS WIPERS. USE PROTECTIVE CONTACT LENS CLEANING SOLUTION. USE PROTECTIVE CONTACT LENS CLEANING TOWELS. USE PROTECTIVE CONTACT LENS CLEANING WIPERS.	MODERATE (A3)
M31	NOISE HAZARD	LOW (L2)	USE PROTECTIVE EQUIPMENT. USE PROTECTIVE CLOTHING. USE PROTECTIVE GLOVES. USE PROTECTIVE MASKS. USE PROTECTIVE EYEWEAR. USE PROTECTIVE HEADWEAR. USE PROTECTIVE FOOTWEAR. USE PROTECTIVE HANDS. USE PROTECTIVE FEET. USE PROTECTIVE EARS. USE PROTECTIVE NOSE. USE PROTECTIVE MOUTH. USE PROTECTIVE SKIN. USE PROTECTIVE HAIR. USE PROTECTIVE MAKEUP. USE PROTECTIVE CONTACT LENSES. USE PROTECTIVE CONTACT LENS SOLUTION. USE PROTECTIVE CONTACT LENS CASES. USE PROTECTIVE CONTACT LENS CLOTHES. USE PROTECTIVE CONTACT LENS TOWELS. USE PROTECTIVE CONTACT LENS WIPERS. USE PROTECTIVE CONTACT LENS CLEANING SOLUTION. USE PROTECTIVE CONTACT LENS CLEANING TOWELS. USE PROTECTIVE CONTACT LENS CLEANING WIPERS.	LOW (L2)
M32	TREE HAZARD	MODERATE (E3)	USE PROTECTIVE EQUIPMENT. USE PROTECTIVE CLOTHING. USE PROTECTIVE GLOVES. USE PROTECTIVE MASKS. USE PROTECTIVE EYEWEAR. USE PROTECTIVE HEADWEAR. USE PROTECTIVE FOOTWEAR. USE PROTECTIVE HANDS. USE PROTECTIVE FEET. USE PROTECTIVE EARS. USE PROTECTIVE NOSE. USE PROTECTIVE MOUTH. USE PROTECTIVE SKIN. USE PROTECTIVE HAIR. USE PROTECTIVE MAKEUP. USE PROTECTIVE CONTACT LENSES. USE PROTECTIVE CONTACT LENS SOLUTION. USE PROTECTIVE CONTACT LENS CASES. USE PROTECTIVE CONTACT LENS CLOTHES. USE PROTECTIVE CONTACT LENS TOWELS. USE PROTECTIVE CONTACT LENS WIPERS. USE PROTECTIVE CONTACT LENS CLEANING SOLUTION. USE PROTECTIVE CONTACT LENS CLEANING TOWELS. USE PROTECTIVE CONTACT LENS CLEANING WIPERS.	MODERATE (A3)

WATER MAIN DESIGN  
BOAT MOUNTAIN ROAD, MURGOON

SAFETY IN DESIGN PLAN

SBRC29.1-07

06/04/2023

Change 2023: No change and update the drawings as per the J&S

Delegated Authority

25 December 2030

**0.0 RECONFIGURING OF A LOT - SUBDIVISION (1 LOT INTO 3 LOTS) AT 43 BRETT ROAD, BLACKBUTT NORTH (AND DESCRIBED AS LOT 9 ON RP196033) - APPLICANT: M T BOND C/- ONF SURVEYORS**

**File Number:** RAL23/0005  
**Author:** Planning Consultant  
**Authoriser:** Chief Executive Officer

	SIGNATURE	DATE
Coordinator development services MANAGER	[Redacted Signature]	13/07/23
GIM		
CEO		13.7.2023

**PRECIS**

Development Application for Reconfiguration of a Lot – 1 Lot into 3 Lots over land described as Lot 9 on RP196033 and situated at 43 Brett Road, Blackbutt South. The Applicant is M T Bond c/- ONF Surveyors and the application reference is RAL23/0005

**SUMMARY**

**APPLICATION FOR DEVELOPMENT PERMIT FOR RECONFIGURING A LOT (1 LOT INTO 3 LOTS);**

- Applicant seeks to reconfigure the subject site into three (3) lots, creating an additional two lots with full frontage to Brett Road;
- Subject site located in the Rural Residential Zone (RR1 Precinct) under the South Burnett Regional Council Planning Scheme;
- Proposal triggered Code assessment as the proposed lots are 4,315m<sup>2</sup>, 8,147m<sup>2</sup> and 8,199m<sup>2</sup>.
- The subject site includes an area of 2.066 hectares;
- The development application is assessed against the relevant codes of the South Burnett Regional Council Planning Scheme. The relevant codes include:
  - Rural Residential Zone Code
  - Reconfiguring a Lot Code
  - Services and Works Code
- The subject site is identified within the State Planning Policy mapping containing Very High Potential Bushfire Intensity and an area of Potential Impact Buffer.
- A site-specific bushfire report has been prepared by a suitably qualified person to address the Very High Potential Bushfire Intensity.
- The proposal does not trigger referral to any external referral agency;
- Council issued an information request on 18 May, which sought information regarding proposed access to Lot 3.
- In response to the information request the applicant provided an amended plan showing revised access to Lot 3.
- The application has been assessed and the proposal generally meets the requirements of the planning scheme and relevant codes or has been conditioned to comply (refer Attachment A – Statement of Reasons);
- Refer Attachment B – Infrastructure Charges Notice;
- Application recommended for approval subject to reasonable and relevant conditions.

**OFFICER’S RECOMMENDATION**

That Council approve the development permit for a Reconfiguring a Lot (1 Lot into 3 Lots) at 43 Brett Road, Blackbutt South (formally described as Lot 9 on RP196033) – Applicant – M T Bond c/- ONF Surveyors.

**GENERAL**

GEN1. The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by the conditions of this permit:

Drawing Title	Prepared by	Ref No.	Rev.	Date
Proposed Subdivision	ONF Surveyors	11092P/1	A	5/6/23
Bushfire Management Report	Range Environmental Consultants	J001251	3	12/3/23

Timing: At all times.

Delegated Authority

25 December 2030

GEN2. All works, including the repair or relocation of services is to be completed at no cost to Council.

**COMPLIANCE**

GEN3. All conditions of this approval are to be satisfied prior to Council endorsing the Survey Plan, and it is the applicant's responsibility to notify Council to inspect compliance with Conditions.

A fee will be charged, with payment required prior to Council's approval of the associated documentation requiring assessment.

**OUTSTANDING FEES**

GEN4. Prior to the sealing of the Plan of Survey the applicant is required to pay the Council all rates and charges or any expenses being a charge over the subject land under any Act in accordance with Schedule 18, Section 69 of the *Planning Regulation 2017*.

**SURVEY MARKS**

RAL1. Prior to the submission of the Survey Plan to Council, the applicant is to reinstate survey marks and install new survey marks in their correct position in accordance with the Survey Plan, and the work is to be certified in writing by a Licensed Surveyor.

**VALUATION FEES**

RAL2. Payment of Department of Natural Resources and Mines valuation fee that will result from the issue of split valuations prior to Council sealing the Survey Plan. The contribution is currently assessed at \$96.00 (2 x \$48.00); however, the actual amount payable will be based on Council's Register of Regulatory & Cost-Recovery Fees and the rate applicable at the time of payment.

**PLANNING**

RAL3. All development involving the emission of noise, odour and dust from ongoing uses, building and/or construction activities, must ensure that the emissions are in accordance with the requirements of the Environmental Protection Act 1994.

**Timing:** As indicated.

RAL4. Carry out the reconfiguration in accordance with section 7.1 Recommendations of the Bushfire Management Plan, dated 12/03/2023 and prepared by Range Environmental Consultants.

**PROPERTY BOUNDARIES**

RAL5. All existing on-site structure, dams and sewerage treatment facilities including transpiration and irrigation areas are to be relocated so as not to cross the proposed property boundary.

**ENGINEERING WORKS**

ENG1. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to Council's endorsement of the Survey Plan unless stated otherwise.

Delegated Authority

25 December 2030

- ENG2. Undertake Engineering designs and construction in accordance with the Planning Scheme, Council's Development Manual and Standard Drawings, relevant Australian Standards, and relevant design manuals.
- ENG3. Be responsible for any alteration necessary to electricity, telephone, water mains, sewer mains, stormwater drainage systems or easements and/or other public utility installations resulting from the development or from road and drainage works required in connection with the development.

#### **LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS**

- ENG4. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.
- ENG5. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.

#### **STORMWATER MANAGEMENT**

- ENG6. Provide overland flow paths that do not adversely alter the characteristics of existing overland flows on other properties or that create an increase in flood damage on other properties.
- ENG7. Discharge all minor storm flows that fall or pass onto the site to the lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).
- ENG8. Adjoining properties and roadways to the development are to be protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.

#### **ON-SITE WASTEWATER TREATMENT**

- ENG9. Future Dwellings must be connected to an on-site wastewater disposal system, in accordance with AS 1547 and the Queensland Plumbing and Waste Water Code.

Timing: Prior to the issue of a Building Approval for a future Dwelling on the proposed lots.

#### **VEHICLE ACCESS**

- ENG10. Construct a gravelled driveway and crossover to proposed lots 1, 2 and 3, having a minimum width of 4 metres and vehicle turnout in accordance with Council's Standard Drawing No. 00049. Each lot shall have its own separate access.
- ENG11. The access for proposed lot 3 shall be located adjacent to the boundary with proposed Lot 2 so that a minimum sight distance of 81m is achieved.

#### **TELECOMMUNICATION**

- ENG12. Provide telecommunications to all lots within the development.

#### **ELECTRICITY**

- ENG13. Provide electricity supply to all lots within the development to comply with Ergon Energy's requirements.
- ENG14. Submit to Council, written confirmation from an electricity provider that an agreement has been made for the supply of electricity.

Item

Page 3

Delegated Authority

25 December 2030

**EROSION AND SEDIMENT CONTROL - GENERAL**

- ENG15. Ensure that all reasonable actions are taken to prevent sediment or sediment laden water from being transported to adjoining properties, roads and/or stormwater drainage systems.
- ENG16. Remove and clean-up the sediment or other pollutants in the event that sediment or other pollutants are tracked or released onto adjoining streets or stormwater systems, at no cost to Council.

**STANDARD ADVICE**

- ADV1. Section 85(1)(b) of the *Planning Act 2016* provides that, if this approval is not acted upon within a period of four (4) years the approval will lapse.
- ADV2. This development approval does not authorise any activity that may harm Aboriginal Cultural Heritage. Under the Aboriginal Cultural Heritage Act 2003 you have a duty of care in relation to such heritage. Section 23(1) provides that "A person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal Cultural Heritage." Council does not warrant that the approved development avoids affecting Aboriginal Cultural Heritage. It may therefore, be prudent for you to carry out searches, consultation, or a Cultural Heritage assessment to ascertain the presence or otherwise of Aboriginal Cultural Heritage. The Act and the associated duty of care guidelines explain your obligations in more detail and should be consulted before proceeding. A search can be arranged by visiting <https://www.datsip.qld.gov.au> and filling out the Aboriginal and Torres Strait Islander Cultural Heritage Search Request Form.
- ADV3. Attached for your information is a copy of Chapter 6 of the Planning Act 2016 as regards Appeal Rights.

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Delegated Authority

25 December 2030

**FINANCIAL AND RESOURCE IMPLICATIONS**

No implication can be identified.

**LINK TO CORPORATE/OPERATIONAL PLAN**

Growing our Region's Economy and Prosperity

- GR8 Support and advocate for appropriate growth and development with responsive planning schemes, process, customer service and other initiatives.

**COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)**

Refer to CONSULTATION in this report.

**LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)**

No implication identified.

**POLICY/LOCAL LAW/DELEGATION IMPLICATIONS**

No implication can be identified.

**ASSET MANAGEMENT IMPLICATIONS**

No implication can be identified.

Delegated Authority

25 December 2030

**REPORT****1. APPLICATION DETAILS**

Site address	43 Brett Road, Blackbutt South		
Real property description	Lot 9 on RP196033		
Easements or encumbrances on title	N/A		
Area of Site	20,660m <sup>2</sup>		
Current Use	Rural residential		
Environmental Management Register or Contaminated Land Register	No known listing.		
Applicant's name	M T Bond c/- ONF Surveyors		
Zone	Rural Residential Zone (RR1 Precinct)		
Applicable Overlays	OM2 – Bushfire Hazard Overlay <ul style="list-style-type: none"> <li>• Very High Potential Bushfire Intensity</li> </ul> OM8 – Agricultural Land Overlay <ul style="list-style-type: none"> <li>• Agricultural Land Classification – Class A</li> </ul>		
Proposed use as defined	N/A		
Details of proposal	Reconfiguring a Lot (RALs)		
	• Number of existing lots	1 lot	
	• Easements or leases proposed	Nil	
	• Number of proposed lots	3 lots	
	• Lot areas	Lot 1 – 4,315m <sup>2</sup> Lot 2 – 8,147m <sup>2</sup> Lot 3 – 8,199m <sup>2</sup>	
• Access	Via Bretts Road.		
Application type	Aspects of Development	Type of Approval Requested	
		Preliminary Approval	Development Permit
	Material Change of Use (MCU)		
	Reconfiguration of a Lot (RAL)		X
	Building Work (BW)		
Operational Work (OPW)			
Level of Assessment	Code Assessment		
Pre-lodgement Consultation history	- Nil		
Key planning issues e.g. vegetation, waterway corridors, overland flow	- Nil		
Referral agencies	Agency	Agency	
	N/A	N/A	

Item

Page 6

Delegated Authority

25 December 2030

Public notification	N/A
Planning Regulation 2017	

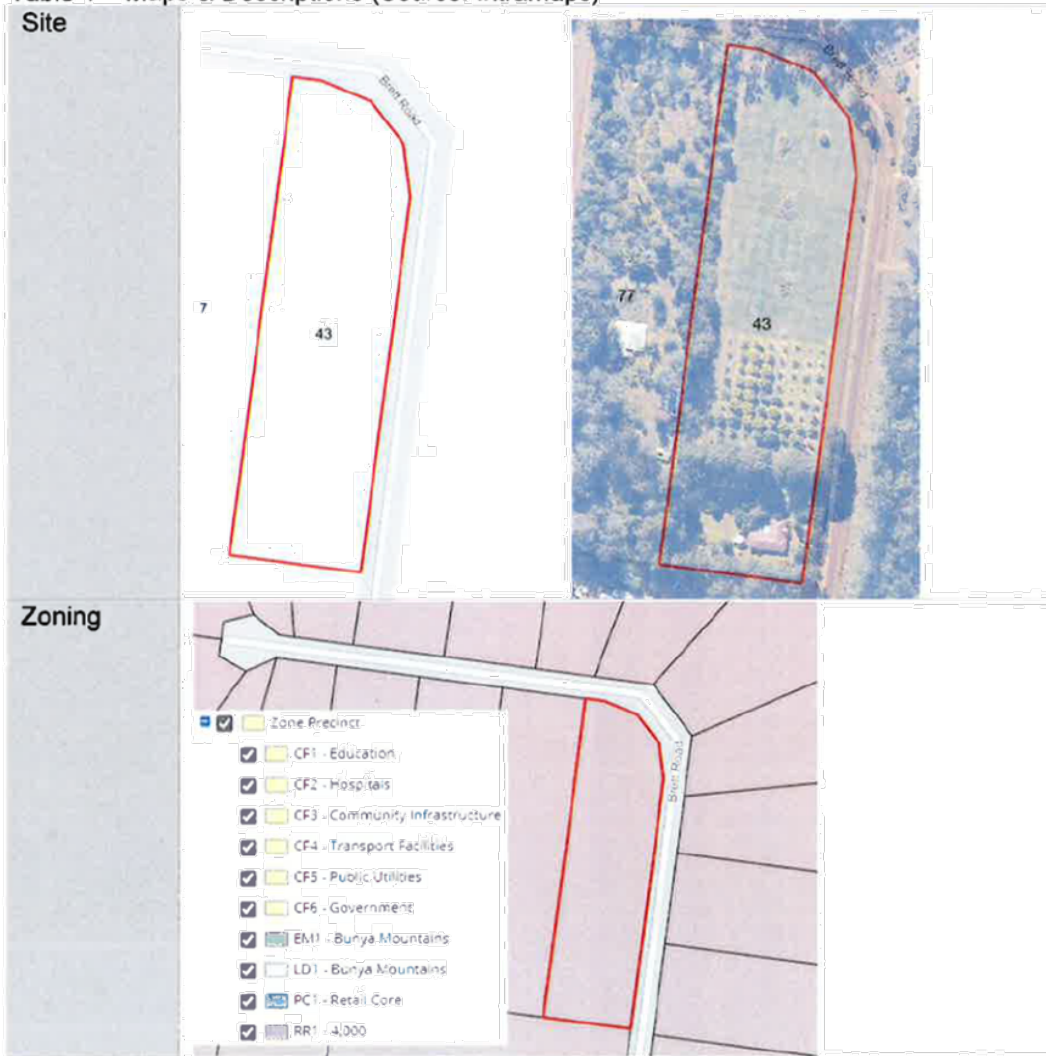
**2. THE SITE**

This section of the report provides a description of the site, details about the existing use and notable characteristics of the site, the standard of servicing, and the form of development in the immediately locality.

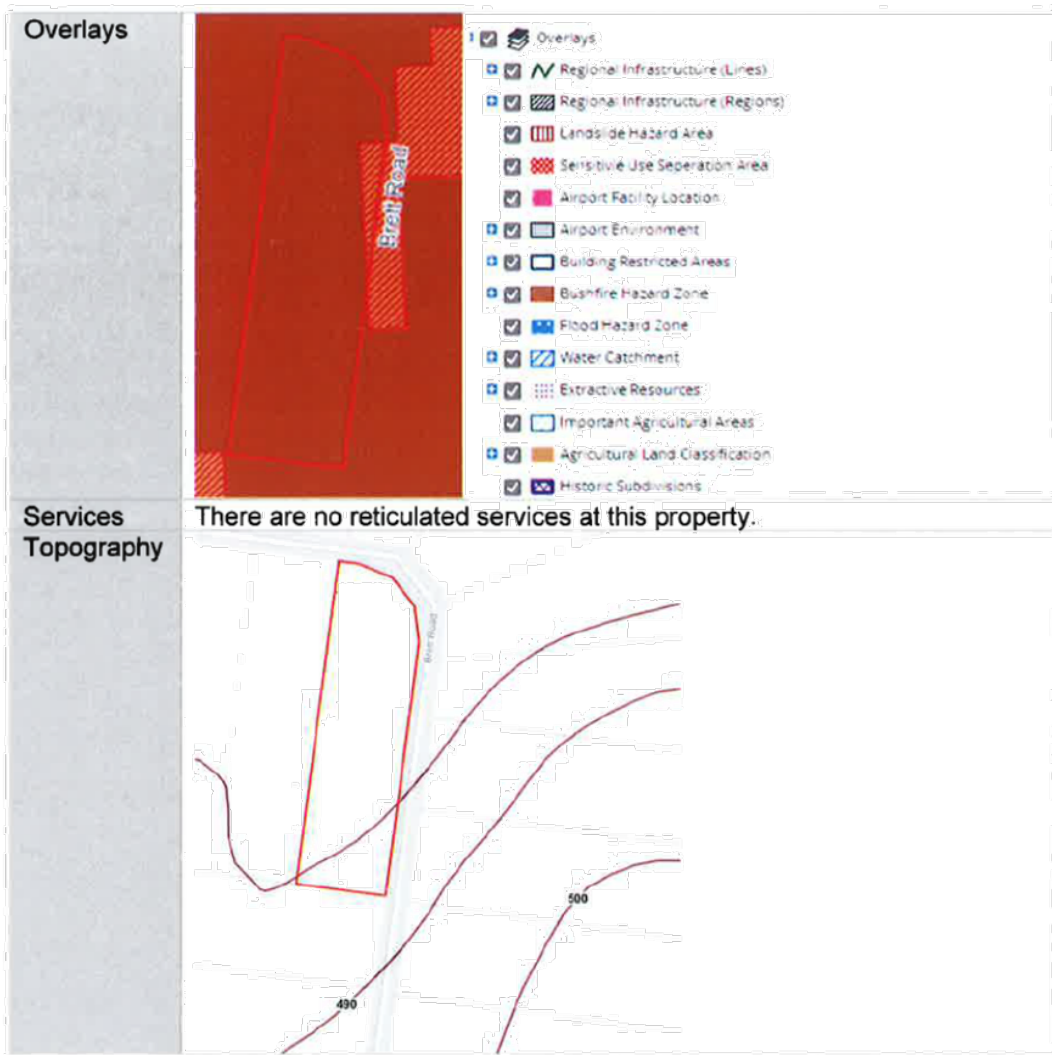
**2.1. SITE DESCRIPTION & EXISTING USE**

The subject site is located at 43 Brett Road, Blackbutt South and is formally described as Lot 9 on RP196033. The site has a total area of 2.066 hectares and has a frontage to Brett Road of approximately 330 metres. The subject site is currently improved by an existing dwelling and associated outbuildings. The southern portion of the land contains vegetation coverage, with the northern part of the site cleared historically for an avocado tree plantation.

Table 1 – Maps & Descriptions (Source: Intramaps)







**2.2. DEVELOPMENT HISTORY OF THE SITE**

Not applicable.

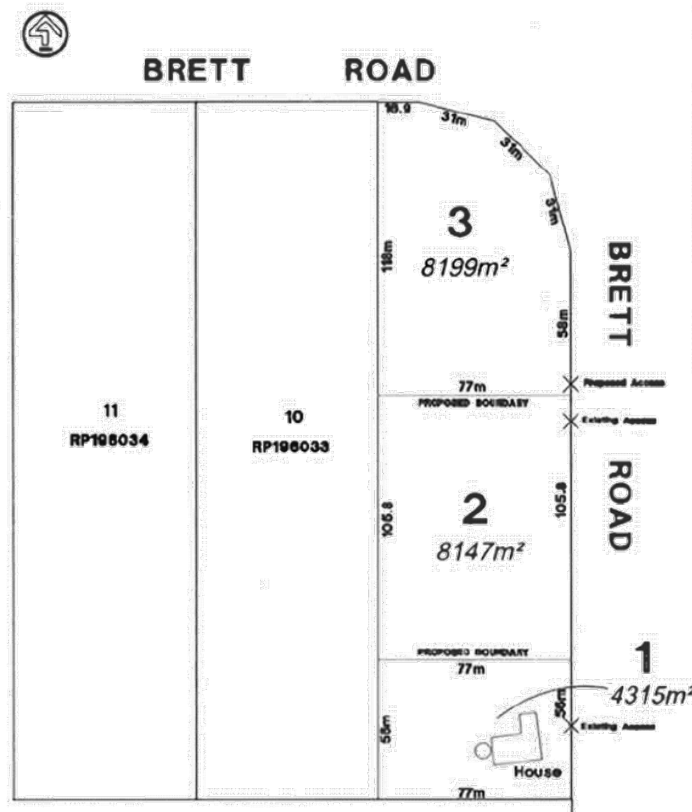
**3. PROPOSAL DETAILS**

The proposal plans as set out in [Table 1](#) below are included in.

**SUMMARY DETAILS**

The Applicant seeks a Development Permit for a Reconfiguring a Lot (1 Lot into 3 Lots). The proposed lot reconfiguration will retain the existing dwelling house and access on Proposed Lot 1 and create two (2) additional lots which will comprise the balance of land to the north. The proposed development will achieve lot sizes of 4,315m<sup>2</sup>, 8147m<sup>2</sup> and 8,199m<sup>2</sup>, as indicated in the figure below.

Vehicular access to Proposed Lot 1 will be maintained via the existing access point to Brett Road. Access to Lots 2 and 3 will be provided via Brett Road.



**4. ASSESSMENT OF ASSESSMENT BENCHMARKS**

Framework for Assessment  
Categorising Instruments for Statutory Assessment

For the *Planning Act 2016*, the following Categorising Instruments may contain Assessment Benchmarks applicable to development applications:

- the *Planning Regulation 2017*
- the Planning Scheme for the local government area
- any Temporary Local Planning Instrument
- any Variation Approval

Of these, the planning instruments relevant to this application are discussed in this report.

Planning Act 2016, Section 26 – Assessment Benchmarks generally

- (1) For section 45(3)(a) of the Act, the code assessment must be carried out against the assessment benchmarks for the development stated in schedules 9 and 10.
- (2) Also, if the prescribed assessment manager is the local government, the code assessment must be carried out against the following assessment benchmarks—
  - (a) the assessment benchmarks stated in—
    - (i) the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and
    - (ii) the State Planning Policy, part E, to the extent part E is not identified in the planning scheme as being appropriately integrated in the planning scheme; and
    - (iii) a temporary State planning policy applying to the premises;
  - (b) if the local government is an infrastructure provider—the local government’s LGIP.
- (3) However, an assessment manager may, in assessing development requiring code assessment, consider an assessment benchmark only to the extent the assessment benchmark is relevant to the development.

**4.1. PLANNING REGULATION 2017**

The Planning Regulation 2017 forms the mechanism by which the provisions of the Act are administered. In particular the Regulation has the ability to regulate and prohibit development and determines the assessment manager and the matters that trigger State interests.

<b>PLANNING REGULATION 2017 DETAILS</b>	
<b>WBB Regional Plan Designation:</b>	<p>Wide Bay Burnett Regional Plan 2011 – Rural Living Area</p> <p>By 2031, it is anticipated that an additional 4,300 dwellings will be required to house growth within the South Burnett region. Urban and rural living broad hectare land can accommodate a significant proportion of the required dwellings.</p> <p>Rural Living Area Principles:</p> <ul style="list-style-type: none"> <li>• Productive rural land is preserved.</li> <li>• Rural residential areas are not located in areas of high ecological significance.</li> <li>• Natural hazards such as flooding, bushfire and landslide do not cause an unacceptable risk to life and property.</li> <li>• All weather access to a community of interest is available.</li> <li>• Rural residential areas are located in proximity to towns where a minimum of local services are available to support residents.</li> <li>• There is an identified need for additional land to be included in a rural residential area, considering both the capacity in urban areas and rural living areas.</li> <li>• Suitable infrastructure is available or can be provided to support future residents.</li> <li>• Land management practices, such as weed and pest control and bushfire management, can be practically accommodated.</li> <li>• Inclusion of land in the Rural Living Area considers the whole-of-life costs of the development.</li> </ul> <p>The Wide Bay Burnett Regional Plan 2011, currently being reviewed, identifies the township of Kingaroy as one of the key inland towns for the Wide Bay Burnett region, and together with Bundaberg, Gympie, Hervey Bay and Maryborough, is intended to provide a range of higher order services and functions for the urban communities and to support the region’s rural activities. More particularly, the Regional Plan identifies Kingaroy as a Major Regional Activity Centre within the South Burnett Regional Council area.</p>
<b>Adopted Economic Support Instrument</b>	<p>Under section 68E of the Planning Regulation 2017 that on 24 February 2021, South Burnett Regional Council adopted an economic support instrument. The instrument is in effect until 31st December 2023</p> <p><b>Economic support provisions</b></p> <p>4.1. The instrument applies the following provisions in accordance with section 68D(1) of the <i>Planning Regulation 2017</i>:</p> <ul style="list-style-type: none"> <li>4.1.1 Part 8B, Division 3 – Development that requires code assessment,</li> <li>4.1.2 Schedule 6, Part 2, Section 7A – Particular material change of use involving an existing building, and</li> <li>4.1.3 Schedule 6, Part 2, Section 7B – Material change of use for home-based business in particular zones.</li> </ul> <p>The adopted instrument does not change the categories of development and assessment in the Planning Scheme v1.4</p>

Delegated Authority

25 December 2030

**4.2. REFERRAL AGENCIES**

To determine whether the development application requires referral to the State Assessment and Referral Agency (SARA) or 'another entity', an assessment of the proposal against Schedule 10 of the Regulation has been undertaken.

The application **does not require** referral to any referral agencies prescribed under Schedule 10, as demonstrated in [Table 3](#).

*Note: Grey shading indicates no provisions.*

Part	Matter	Applicability to this Development Application	Prohibited Development	Assessable Development	Referral Agency	Assessment Benchmarks / Matters to be assessed against
1	Airport Land	N/A		N/A	N/A	N/A
2	Brothels	N/A	N/A	N/A		N/A
3	Clearing Native Vegetation	N/A	N/A	N/A	N/A	N/A
4	Contaminated Land	N/A		N/A	N/A	N/A
5	Environmentally Relevant Activity	N/A	N/A	N/A	N/A	N/A
6	Fisheries: - Aquaculture - Declared Fish Habitat - Marine Plants - Waterway Barrier works	N/A N/A N/A N/A		N/A	N/A	N/A
7	Hazardous Chemical Facilities	N/A		N/A	N/A	N/A
8	Heritage Place: - Local Heritage Place - Queensland Heritage Place	N/A		N/A	N/A	N/A
9	Infrastructure Related: - Designated Premises - Electricity - Oil and Gas - State transport generally - State Transport Corridors and Future State Transport Corridors - State-controlled transport tunnels and future state-controlled transport tunnels	N/A			N/A	N/A
10	Koala Habitat in SEQ region	N/A	N/A	N/A	N/A	N/A
11	Noise Sensitive Place on Noise Attenuation land	N/A	N/A			
12	Operational Work for Reconfiguring a Lot	N/A		N/A		N/A
13	Ports: - Brisbane Core Port Land - Within the port limits of the Port of Brisbane - Within the limits of another port - Priority Ports	N/A N/A N/A N/A		N/A	N/A	N/A

Item

Page 11

Delegated Authority

25 December 2030

Table 3 - Matters Prescribed in Schedule 10 of the Planning Regulation						
Part	Matter	Applicability to this Development Application	Prohibited Development	Assessable Development	Referral Agency	Assessment Benchmarks / Matters to be assessed against
	- Strategic Port Land					
14	Reconfiguring a Lot under the Land Title Act	N/A		N/A		N/A
15	SEQ Development Area	N/A		N/A	N/A	N/A
16	SEQ Regional Landscape and Rural Production Area and Rural Living Area: - Reconfiguring a lot - Tourist or sport and recreation activity - Community Activity - Indoor Recreation - Residential Development - Urban Activity - Combined Uses	N/A	N/A	N/A	N/A	N/A
16A	Southport Spit	N/A	N/A			
17	Tidal Works or Work in a Coastal Management District	N/A		N/A	N/A	N/A
18	Urban Design	N/A			N/A	N/A
19	Water Related Development: - Taking or interfering with water - Removing quarry material - Referral dams - Levees	N/A N/A N/A N/A		N/A	N/A	N/A
20	Wetland Protection Area	N/A	N/A	N/A	N/A	N/A
21	Wind Farms	N/A		N/A		N/A

Based on the findings in Table 3, it has been concluded that the application does not require referral to a Referral Agency in accordance with the schedule 10 of the *Planning Regulation 2017*.

**4.3. STATE PLANNING POLICY**

The State Planning Policy (July 2017) (SPP) commenced on the 3 July 2017 and is effective at the time of writing this report. The Planning Regulation 2017 (PR 2017) states the assessment must be carried out against the assessment benchmarks stated in Part E of the State Planning Policy to the extent Part E is not appropriately integrated into the planning scheme.

In accordance with section (8)(4)(a) of the Act, the State Planning Policy applies to the extent of any inconsistency with the Planning Scheme.

State Planning Policy Part E	
Liveable communities and housing	No applicable assessment benchmarks.
Economic growth • Agriculture. • Development and construction. • Mining and extractive resources.	No applicable assessment benchmarks.

Delegated Authority

25 December 2030

<ul style="list-style-type: none"> <li>• Tourism.</li> <li>Planning for the environment and heritage.</li> <li>• Biodiversity.</li> <li>• Coastal environment.</li> <li>• Cultural heritage.</li> <li>• Water quality</li> </ul>	<p>No applicable assessment benchmarks.</p>
<p>Safety and resilience to hazards</p> <ul style="list-style-type: none"> <li>• Emissions and hazardous activities.</li> <li>• Natural hazards, risk, and resilience.</li> </ul>	<p>The site is mapped by State Policy mapping as bushfire hazard area. As such, a site-specific report has been prepared by a suitably qualified person to ground truth the bushfire hazard mapping and apply site-based data to assess bushfire risk.</p> <p>The submitted report has appropriately addressed the State planning methodology for calculating bushfire hazard and risk and the outcomes of that report find that the subject site and proposed reconfiguration of that lot can suitably address bushfire hazard and risk.</p> <p>On this basis, and as per conditions of approval and in accordance with the approved bushfire hazard report the development can be approved subject to conditions.</p>
<p>Infrastructure</p> <ul style="list-style-type: none"> <li>• Energy and water supply.</li> <li>• Infrastructure integration.</li> <li>• Transport infrastructure.</li> <li>• Strategic airports and aviation facilities.</li> <li>• Strategic ports.</li> </ul>	<p>All appropriate residential services infrastructure and connections can be made and are conditioned as part of the approval.</p>

**4.4. DEVELOPMENT CODE ASSESSMENTS**

Pursuant to Section 5.6, Table 5.6.1 – Level of Assessment in the Rural Residential Zone for Reconfiguring a Lot is subject to Code Assessment. The relevant assessment benchmarks are:

- Rural Residential Zone Code
- Reconfiguring a Lot Code
- Services and Works Code

**Rural residential zone code**

The subject site is situated in the Rural Residential Zone of the Planning Scheme. The purpose of the Rural Residential Zone is to provide for residential uses and activities on large lots, including lots for which the local government has not provided infrastructure and services. The proposal for the lot reconfiguration is appropriate for the zone, where it does not seek to change the physical use of the site and will create three (3) appropriately sized lots commensurate with the adjoining locality and facilitate future rural residential development.

Delegated Authority

25 December 2030

Performance outcomes	Requirements for accepted development and assessment benchmarks	Responses
<b>Section 1 General</b>		
<b>PO1</b> Buildings and structures must complement the semi-rural character of nearby development and protects residential amenity.	<p><b>AO1.1</b> Site cover does not exceed 10%.</p> <p>AND</p> <p><b>AO1.2</b> Buildings and structures are not higher than 8.5m above ground level.</p> <p>AND</p> <p><b>AO1.3</b> Buildings have a minimum set back of: (a) 10m to the road frontage; (b) 6m to a side or rear boundary.</p> <p>AND</p> <p><b>AO1.4</b> The maximum length of any façade without articulation or change of materials is 15m.</p> <p>AND</p> <p><b>AO1.5</b> On-site storage areas visible from outside the site are screened by a 1.8m high fence along intervening boundaries.</p> <p>AND</p> <p><b>AO1.6</b> Outdoor lighting is designed, installed and maintained in accordance with <i>AS4282 – Control of the Obtrusive Effects of Outdoor Lighting</i>.</p>	<b>Not applicable.</b> The proposed development is for reconfiguring a lot and does not involve built form.
<b>PO2</b> Development minimises the potential for reverse amenity impacts for adjoining existing non-residential activities.	<b>AO2.1</b> A well-maintained vegetative buffer is provided on the residential land between the residential development and adjacent existing non-residential use.	<b>Not applicable.</b> There are no adjoining non-residential uses.
<b>PO3</b> Dwellings are to be adequately serviced.	<p><b>AO3.1</b> Where in a reticulated water supply area, development is to be connected to the supply network.</p> <p>OR</p> <p><b>AO3.2</b> Where reticulated water supply is not available, a 45kl water tank is provided for each dwelling for</p>	<p><b>Not applicable.</b> The subject site is not located within a water supply area.</p> <p><b>Complies.</b> On-site water storage is proposed to be provided in appropriately sized rainwater</p>

Item

Page 14

Delegated Authority

25 December 2030

Performance outcomes	Requirements for accepted development and assessment benchmarks	Responses
	<p>consumption purposes and an additional 22.5kl water storage located no more than 10m from the main dwelling is available for fire fighting purposes.</p> <p>AND</p> <p><b>AO3.3</b> The provision of on-site sewerage treatment conforms to the requirements of the <i>Queensland Plumbing and Wastewater Code</i>.</p> <p>AND</p> <p><b>AO3.4</b> Each dwelling is provided with a service line connection to the electricity supply and telecommunications networks.</p> <p>AND</p> <p><b>AO3.5</b> Stormwater discharge must be to a lawful point of discharge or to downstream properties but only with the consent of the affected owners.</p> <p>AND</p> <p><b>AO3.6</b> Development has direct access to a sealed road.</p>	<p>tanks for domestic use and firefighting purposes.</p> <p><b>Conditioned.</b> On-site effluent disposal infrastructure for the existing dwelling is proposed to be retained within Lot 1.</p> <p>Future dwellings must be connected to on-site effluent disposal system, in accordance with AS 1547 and the Queensland Plumbing and Wastewater Code.</p> <p><b>Complies.</b> Future dwellings can be connected to electricity and telecommunications.</p> <p><b>Complies.</b> The proposed lots are of sufficient size that stormwater from future houses is unlikely to be concentrated onto adjoining properties.</p> <p><b>Complies.</b> The subject site has direct access to Brett Road, which is a bitumen sealed road.</p>
<p><b>PO4</b> Development is located and designed to ensure that land uses are not exposed to:</p> <ul style="list-style-type: none"> <li>(a) Areas that pose a health risk from previous activities; and</li> <li>(b) Unacceptable levels of contaminants.</li> </ul>	<p><b>AO4.1</b> Development does not occur:</p> <ul style="list-style-type: none"> <li>(a) In areas that pose a health risk from previous activities; and</li> <li>(b) On sites listed on the Contaminated Land Register or Environmental Management Register.</li> </ul> <p>OR</p> <p><b>AO4.2</b> Areas that pose a health risk from previous activities and contaminated soils which are subject to development are remediated prior to plan sealing, operational works permit, or issuing of building works permit.</p>	<p><b>Not applicable.</b> There are no known or listed contaminations on the subject site that could pose a health risk due to contaminated soils.</p>

Item

Page 15



Delegated Authority

25 December 2030

Performance outcomes	Requirements for accepted development and assessment benchmarks	Responses
<b>Section 2 Where in the vicinity of an existing intensive animal industry</b>		<b>Not applicable.</b> The subject site is not located within the vicinity of any existing intensive animal industry.
<b>Section 3 Home based business</b>		<b>Not applicable.</b> The proposed development is for reconfiguring a lot.
<b>Section 4 Secondary dwelling</b>		<b>Not applicable.</b> The proposed development is for reconfiguring a lot.
<b>Section 5 For development affected by one or more overlays</b>		
<b>Airport environs overlay</b>		<b>Not applicable.</b>
<b>Biodiversity overlay</b>		<b>Not applicable.</b>
<b>Bushfire hazard overlay</b>		
<p><b>PO15</b> Development is not placed at unacceptable risk from bushfire, does not increase the extent or severity of bushfire and maintains the safety of people and property from bushfire.</p>	<p><b>AO15.1</b> Development does not occur in areas mapped as Very High or High Potential Bushfire Intensity Areas on the SPP Interactive Mapping (Plan Making).</p> <p>OR</p> <p><b>AO15.2</b> A written assessment by a suitably experienced or qualified person confirms that the site is of Low Potential Bushfire Hazard.</p> <p>OR</p> <p><b>AO15.3</b> For areas mapped as Medium Potential Bushfire Intensity Areas on the SPP Interactive Mapping (Plan Making), bushfire risk is</p>	<p><b>Complies.</b> A Bushfire Management Report has been prepared by Range Environmental Consultants in support of the development application.</p> <p>The State Planning Policy (SPP) Interactive Mapping System identifies the site within areas of Very High Potential Bushfire Hazard, with an area of Potential Impact Buffer affecting the eastern extent of the site.</p> <p>The site assessment undertaken as part of the report indicates that the bushfire hazard is less than levels mapped by the Queensland Government due to historical and current vegetation management practices on site and in the surrounding landscape. Post-development, the site is identified as comprising a Low potential bushfire hazard (Potential Impact Buffer).</p> <p><b>Complies.</b> A Bushfire Management Plan was prepared that identifies measures to mitigate the risks to people and property to an acceptable level. The Bushfire Management Plan identifies the standard of building required, emergency fire-fighting water supplies and ingress and egress requirements.</p> <p>All new buildings constructed on the lots are to comply with the</p>

Delegated Authority

25 December 2030

Performance outcomes	Requirements for accepted development and assessment benchmarks	Responses
	<p>mitigated through a Bushfire Management Plan incorporating:</p> <p>(a) Lot design and the siting of buildings and uses so:</p> <p>(i) high intensity uses are located on the least bushfire prone area on the site and activities least susceptible to fire are sited closest to the bushfire hazard; and</p> <p>(ii) efficient emergency access is optimised; and</p> <p>(iii) bushfire risk is effectively minimised having regard to aspect, elevation, slope and vegetation.</p> <p>(b) Including firebreaks that provide adequate:</p> <p>(i) setbacks between buildings/ structures and hazardous vegetation; and</p> <p>(ii) access for fire fighting or other emergency vehicles; and</p> <p>(c) Road access for fire-fighting appliances and firebreaks are provided through a perimeter road that separates the use from areas of bushfire hazard and that road has a minimum cleared width of 20 metres; and</p> <p>(d) Where a reticulated water supply is not available and development involves buildings with a gross floor area greater than 50m<sup>2</sup>, one tank within 100m of each residential building that has:</p> <p>(i) fire brigade tank fittings; and</p> <p>(ii) 25,000 litres dedicated for fire fighting purposes.</p>	<p>currently relevant buildings standards, including the Building Code of Australia (Parts 1 &amp; 2) and the Australian Standard for Building in bushfire-prone areas (AS3959-2018).</p> <p>A condition of approval will ensure that all development is undertaken in accordance with the approved Bushfire Management Report.</p>
<p><b>PO16</b> Community infrastructure in any area mapped as Very High to Medium (Potential Intensity) Areas are able to function effectively during and immediately after bushfire events.</p>	<p>No outcome specified.</p>	<p><b>Not applicable.</b> The proposed development does not involve community infrastructure.</p>
<p><b>PO17</b> Major risks to the safety or property and to the wellbeing of occupants in areas mapped as Very High to Medium (Potential Intensity) Areas is minimised through appropriate siting, servicing and managing of residential premises.</p>	<p><b>AO17.1</b> New dwellings on land mapped as Very High to Medium (Potential Intensity) are located:</p> <p>(a) Centrally within existing cleared areas on a lot which allows a regular shaped area (with a minimum dimension of 50m) of 5,000m<sup>2</sup> to be identified that:</p>	<p><b>Conditioned.</b> A condition of approval will ensure that all development is undertaken in accordance with the approved Bushfire Management Report.</p>

Item

Page 17

Delegated Authority

25 December 2030

Performance outcomes	Requirements for accepted development and assessment benchmarks	Responses
	<p>(i) is free of highly combustible vegetated areas; and</p> <p>(ii) is on southerly to easterly facing slopes not exceeding 15% gradient; or</p> <p>(iii) on flat lands at the base of north to western facing slopes not exceeding 15% gradient.</p> <p>(b) A fire protection buffer is established around the complete perimeter of the dwelling unit within a lot for a minimum width of 50m.</p>	

**Summary of Compliance with Rural Residential Zone Code:**

The proposed development complies with (or can be conditioned to comply with) the acceptable outcomes of the Rural Residential Zone Code.

**Reconfiguring a Lot Code**

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
<b>Section 1 Boundary Realignment PO1 – PO2</b>		<b>Not Applicable.</b> The proposed development is not for a boundary realignment.
<b>Section 2 Reconfiguration under a Community Title Scheme PO3 – PO6</b>		<b>Not Applicable.</b> The proposed reconfiguration is not under a Community Title Scheme.
<b>Section 3 All other reconfiguration</b>		
<b>PO7</b> Allotments are of sufficient size and dimensions to meet the requirements of the users and provide for servicing of the intended use.	<p><b>A07.1</b> Development provides that allotment area, dimension and shape are in accordance with the standards in Table 8.4.2.</p> <p>AND</p> <p><b>A07.2</b> The minimum allotment size for any rear allotment shall be calculated exclusive of the area of the access corridor of the allotment.</p> <p>AND</p> <p><b>A07.3</b> Irregularly shaped allotments are designed to allow a building area of 15m by 10m to be setback 6m from the site frontage.</p>	<p><b>Complies.</b> The proposed lots meet the minimum lot size requirements for the Rural Residential Zone RR1 Precinct, in accordance with Table 8.4.2.</p> <p><b>Complies.</b> The minimum lot size is achieved for the proposed lots.</p> <p><b>Not applicable.</b> Irregular lots are not proposed.</p>
<b>PO8</b> Lots have lawful, safe and practical access.	<b>A08.1</b> Access is provided via either: (a) Direct road frontage;	<b>Complies.</b> The proposed lots have direct road frontages.

Item

Page 18

Delegated Authority

25 December 2030

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
	<p>(b) Access strip with a minimum width of 3.5m (for rear lots only); or</p> <p>(c) Access easement with a minimum width of 6m (where lots only have legal road frontage that does not provide, safe or practical access to the existing street network).</p> <p>AND</p> <p><b>AO8.2</b> Newly created lots do not have direct access to sub-arterial or higher order roads.</p> <p>AND</p> <p><b>AO8.3</b> Except in the Rural Zone, new lots, are provided with access to a sealed road.</p>	<p><b>Not applicable.</b> The proposed lots do not have direct access to a sub-arterial or higher order roads.</p> <p><b>Complies.</b> Access for all proposed lots is via Brett Road, which is a bitumen sealed road.</p>
<p><b>PO9</b> The number of rear lots is minimised having regard to the outlook, topography of the site, intended land use and general amenity of the area.</p>	<p><b>AO9.1</b> Only one rear lot is provided behind each full street frontage regular lot.</p> <p>AND</p> <p><b>AO9.2</b> No more than two rear lot access strips directly adjoin each other.</p> <p>AND</p> <p><b>AO9.3</b> No more than two rear lots gain access from the head of a cul-de-sac.</p> <p>AND</p> <p><b>AO9.4</b> Rear lots are only created where the site gradient is greater than 5%.</p>	<p><b>Not Applicable.</b> The proposal does not include a rear lot.</p> <p><b>Not Applicable.</b> The proposal does not include a rear lot.</p> <p><b>Not Applicable.</b> The proposal does not include a rear lot.</p> <p><b>Not Applicable.</b> The proposal does not include a rear lot.</p>
<p><b>PO10</b> The design and construction of new roads: (a) Maintain safe and efficient access to the transport network; (b) Creates integrated neighbourhoods; and (c) Are constructed to a standard that is commensurate with the intended use of allotments.</p>	<p><b>AO10.1</b> Intersection shall be spaced at no less than 45m from any other intersection.</p> <p>AND</p> <p><b>AO10.2</b> Any intersections with existing roads shall be treated with a T-intersection or a roundabout.</p> <p>AND</p>	<p><b>Not Applicable.</b> The proposed development does not include any new roads.</p>

Item

Page 19

Delegated Authority

25 December 2030

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
	<p><b>AO10.3</b> The road layout indicates connections to adjoining development sites.</p> <p>AND</p> <p><b>AO10.4</b> Other than in the Rural or Rural Residential Zones, new streets are provided with layback kerb and channel.</p> <p>OR</p> <p><b>AO10.5</b> In the Rural Residential Zone, new streets are provided with concrete flush kerbs and swale drains.</p>	
<p><b>PO11</b> The provision of services is resistant to inclement weather and does not degrade the character of the area.</p>	<p><b>AO11.1</b> Where the reconfiguration involves the opening of a new road, all electricity and telecommunications services are located underground.</p>	<p><b>Not Applicable.</b> The proposed development does not include any new roads.</p>
<p><b>PO12</b> Reconfiguration facilities integration of walking and cycling networks that provide a safe and convenient environment for users having regard to appropriate gradients and distances to be travelled.</p>	<p><b>AO12.1</b> No outcome specified.</p>	<p><b>Not Applicable.</b> Integration of walking and cycling networks are not relevant to this proposal in the Rural Residential Zone.</p>
<p><b>PO13</b> Public open space is provided in response to community need.</p>	<p><b>AO13.1</b> Public open space is provided in accordance with the Priority Infrastructure Plan.</p>	<p><b>Not Applicable.</b> The proposed development does not require the provision of public open space.</p>
<p><b>PO14</b> Reconfiguration into allotments less than 400m<sup>2</sup> in the Medium Density Residential zone is facilitated where design outcomes are consistent with expectations for the zone.</p>	<p><b>AO14.1</b> Reconfiguration in the Medium Density Residential zone involving allotments less than 400m<sup>2</sup> where creating allotments for individual units in an approved and completed multiple dwelling or dual occupancy.</p>	<p><b>Not Applicable.</b> The subject site is located within the Rural Residential Zone.</p>
<p><b>PO15</b> Reconfiguration into allotments less than 400m<sup>2</sup> in the Medium Density Residential zone is to provide for suitable living environments.</p>	<p>For allotments less than 400m<sup>2</sup> –</p> <p><b>AO15.1</b> All lots are orientated to within 20° of north.</p> <p><b>AO15.2</b> All lots are to be sized and shaped to accommodate a 10m x 20m rectangle.</p>	<p><b>Not Applicable.</b> The subject site is located within the Rural Residential Zone.</p>
<p><b>Section 4 All reconfiguring a lot subject to an overlay</b></p>		
<p><b>PO19</b> Development is not placed at unacceptable risk from bushfire,</p>	<p><b>AO19.1</b> Development does not occur in areas mapped as Very High, High</p>	<p><b>Complies.</b> A Bushfire Management Report has been prepared by</p>

Item

Page 20

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
<p>does not increase the extent or severity of bushfire and maintains the safety of people and property from bushfire.</p>	<p>or Medium Potential Bushfire Intensity Areas on the SPP Interactive Mapping (Plan Making).</p> <p>OR</p> <p><b>AO19.2</b> A written assessment by a suitably experienced or qualified person confirms that the site is of Low Potential Bushfire Hazard.</p> <p>OR</p> <p><b>AO19.3</b> Bushfire risk is mitigated through a Bushfire Management Plan incorporating:</p> <ul style="list-style-type: none"> <li>a) Lot design that                             <ul style="list-style-type: none"> <li>i. Locates high intensity uses on the least bushfire prone area on the site and activities least susceptible to fire closest to the bushfire hazard; and</li> <li>ii. Optimises efficient emergency access; and</li> <li>iii. Considers the bushfire risk associated with aspect, elevation, slope and vegetation.</li> </ul> </li> <li>b) Firebreaks to protected vegetation included in the subdivision layout providing access for firefighting or other emergency vehicles.</li> </ul> <p>AND</p> <p><b>AO19.4</b> Road layouts facilitate easy and safer access and movement by emergency vehicles in the event of encroaching fire and provides that an alternative safe access (if one direction is blocked in the event of fire) is maintained at all times.</p>	<p>Range Environmental Consultants in support of the development application. The State Planning Policy (SPP) Interactive Mapping System identifies the site within areas of Very High Potential Bushfire Hazard, with an area of Potential Impact Buffer affecting the eastern extent of the site.</p> <p>The site assessment undertaken as part of the report indicates that the bushfire hazard is less than levels mapped by the Queensland Government due to historical and current vegetation management practices on site and in the surrounding landscape. Post-development, the site is identified as comprising a Low potential bushfire hazard (Potential Impact Buffer).</p> <p><b>Complies.</b> A Bushfire Management Plan was prepared that identifies measures to mitigate the risks to people and property to an acceptable level. The Bushfire Management Plan identifies the standard of building required, emergency fire-fighting water supplies and ingress and egress requirements.</p> <p>Firebreaks are not proposed due to adequate separation distance from potentially hazardous vegetation and good site access from Brett Road.</p> <p>A condition of approval will ensure that all development is undertaken in accordance with the approved Bushfire Management Report.</p> <p><b>Complies.</b> The proposed development will not involve any new roads within the identified Bushfire overlay area. All access and egress from the proposed lots will be provided via Brett Road.</p>

Delegated Authority

25 December 2030

**Summary of Compliance with the Reconfiguring a Lot Code:**

The proposed development seeks to reconfigure one (1) existing lot to create three (3) lots. The proposed lots are considered to be of an appropriate size and will not compromise the existing or future use of the lots. The development will not have any adverse impacts on the surrounding rural residential allotments and locality. The subject site is identified as containing Very High Potential Bushfire Intensity in accordance with the State Planning Policy. A site-specific bushfire management report has been prepared by a suitably qualified period, which demonstrates the proposed reconfiguration can suitably address bushfire hazard and risk and can be conditioned accordingly.

The proposed development complies with (or can be conditioned to comply with) the acceptable outcomes of the Reconfiguring a Lot code.

**Services and Works Code**

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
<b>General</b>		
<b>PO1</b> The development is planned and designed considering the land use constraints of the site for achieving stormwater design objectives.	<b>AO1.1</b> A stormwater quality management plan provides for achievable stormwater quality treatment measures that meet the design objectives identified in Table 9.4.4.	<b>Complies with the Performance Outcome.</b> All lots are of sufficient size to avoid the concentration of stormwater from future buildings. No changes to ground levels are proposed.
<b>PO2</b> Development does not discharge wastewater to a waterway or off-site unless demonstrated to be best practice environmental management for that site.	<b>AO2.1</b> A wastewater management plan prepared by a suitably qualified person and addresses : (a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best-practice environmental management;  AND <b>AO2.2</b> Wastewater is managed in accordance with a waste management hierarchy that: (a) avoids wastewater discharge to waterways; or (b) minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater	<b>Complies.</b> The proposed development will not involve discharging wastewater to a waterway or off-site.
<b>PO3</b> Construction activities avoid or minimise adverse impacts on stormwater quality.	<b>AO3.1</b> An erosion and sediment control plan addresses the design objectives for the construction phase in Table 9.4.4	<b>Not Applicable.</b> There are no extensive construction activities proposed as part of the development. Basic erosion and sediment control measures can be conditioned for construction of the new driveway.
<b>PO4</b> Operational activities avoid or minimise changes to waterway hydrology from	<b>AO4.1</b> Development incorporates stormwater flow control measures	<b>Not Applicable.</b> Limited ground disturbance is proposed which would alter

Item

Page 22

Delegated Authority

25 December 2030

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
adverse impacts of altered stormwater quality and flow.	to achieve the design objectives for the postconstruction phase in Table 9.4.4.	water flow paths across the land.
<b>Section 2 Infrastructure</b>		
<p><b>PO5</b> Development is provided with infrastructure which:</p> <ul style="list-style-type: none"> <li>(a) conforms with industry standards for quality;</li> <li>(b) is reliable and service failures are minimised; and</li> <li>(c) is functional and readily augmented.</li> </ul>	<p><b>AO5.1</b> Except in the Rural zone, all development occurs on a site with frontage to a sealed road.</p> <p>AND</p> <p><b>AO5.2</b> Infrastructure is designed and constructed in accordance with the standards contained in PSP1 – Design and Construction Standards.</p>	<p><b>Complies.</b> The proposed development has frontage to Brett Road, which is a bitumen sealed road.</p> <p><b>Complies.</b> Limited infrastructure is proposed however the driveways and crossovers can be conditioned to meet the relevant standards.</p>
<b>Part 3 Vehicle Parking</b>		
<p><b>PO6</b> Vehicle parking and access is provided to meet the needs of occupants, employees, visitors and other users.</p>	<p><b>AO6.1</b> Vehicle parking spaces are provided on-site in accordance with Table 9.4.5.</p> <p>AND</p> <p><b>AO6.2</b> A service bay is provided on-site for the service vehicle nominated in Table 9.4.5.</p> <p>AND</p> <p><b>AO6.3</b> Driveway crossings are provided to the standard contained in PSP1 – Design and Construction Standards.</p> <p>AND</p> <p><b>AO6.4</b> Vehicle parking and manoeuvring areas are provided in accordance with the standards contained in PSP1 – Design and Construction Standards.</p>	<p><b>Complies.</b> The proposal is for reconfiguring a lot only so no formal parking is warranted. The lots are sufficiently large to accommodate future parking demands.</p> <p><b>Complies.</b> As above.</p> <p><b>Complies.</b> Driveways will be conditioned to comply with the standard.</p> <p><b>Complies.</b> Vehicle manoeuvring areas will be conditioned to comply with the standard.</p>
<b>Section 4 Landscaping</b>		
<p><b>PO7</b> Landscaping is appropriate to the setting and enhances local character and amenity.</p>	<p><b>AO7.1</b> Landscaping is provided in accordance with the relevant zone code provisions.</p> <p>AND</p>	<p><b>Not Applicable.</b> The proposed development is for reconfiguring a lot and will not involve any landscaping works as part of the proposal.</p>

Item

Page 23



Delegated Authority

25 December 2030

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
	<p><b>AO7.2</b> Where shade tree planting is required in vehicle parking areas each planting bed has a minimum area of 2m<sup>2</sup> and is unsealed and permeable.</p> <p>AND</p> <p><b>AO7.3</b> Plantings along frontages or boundaries are in the form of defined gardens with three tier planting comprised of groundcovers, shrubs (understorey), and trees (canopy) and provided with a drip irrigation system, mulching and border barriers.</p>	
<p><b>PO8</b> Plant species avoid adverse impacts on the natural and built environment, infrastructure and the safety of road networks.</p>	<p><b>AO8.1</b> Landscaping utilises plant species that are appropriate for the location and intended purpose of the landscaping.</p> <p>AND</p> <p><b>AO8.2</b> Species selection avoids non-invasive plants.</p> <p>Editor's Note. Guidance on plant selection is provided in Branching Out - Your Handy Guide to tree Planting in the South Burnett available from Council.</p>	<p><b>Not Applicable.</b> The proposed development is for reconfiguring a lot and will not involve any landscaping works as part of the proposal.</p>
<p><b>PO9</b> Development results in ground levels that retain: (a) access to natural light; (b) aesthetic amenity; (c) privacy; and (d) safety.</p>	<p><b>AO9.1</b> The depth of: (a) fill is less than 2m above ground level; or (b) excavation is less than 2m below ground level.</p> <p>AND</p> <p><b>AO9.2</b> The toe of the fill, or top of the excavation is not less than 0.5m inside the site property boundary.</p> <p>AND</p> <p><b>AO9.3</b> Works do not occur on slopes over 15% in grade.</p> <p>AND</p> <p><b>AO9.4</b> Retaining walls over 1m in height are terraced 1.5m for every 1m in height and landscaped.</p>	<p><b>Not Applicable.</b> No significant cut/fill is proposed. Any cut or fill to provide vehicle crossovers and building pads will comply with these requirements or be subject to approval as part of the building approval process for new dwellings on the proposed lots.</p>

Delegated Authority

25 December 2030

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
	<p>AND</p> <p><b>AO9.5</b> Batter slopes are not steeper than 25% and are grassed and terraced 1.5m for every 1m in height.</p> <p>AND</p> <p><b>AO9.6</b> Filling or excavation for the purpose or retention of water: (a) is certified by an RPEQ engineer to safely withstand the hydraulic loading; (b) directs overflow such that no scour damage or nuisance occurs on adjoining lots.</p>	
<b>PO10</b> Filling or excavation does not cause damage to public utilities.	<b>AO10.1</b> Filling or excavation does not occur within 2m horizontally of any part of an underground water supply, sewerage, stormwater, electricity or telecommunications system.	<b>Not Applicable.</b> No filling or excavation works are proposed as part of this development application.
<b>PO11</b> Filling and excavation avoids water ponding on the premises or nearby premises that will adversely impact on the health of the community.	<b>AO11.1</b> Following filling or excavation: (a) The premises: (i) Are self-draining; and, (ii) Has a minimum slope of 0.25%; and (b) Surface water flow is: (i) Directed away from neighbouring properties; or (ii) Discharged into a stormwater drainage system designed and constructed in accordance with AS3500 section 3.2	<b>Not Applicable.</b> No filling or excavation works are proposed as part of this development application.

## 5. CONSULTATION

### Referral Agencies

State Assessment and Referral Agency	N/A
Other	N/A

### Council Referrals

INTERNAL REFERRAL SPECIALIST	REFERRAL / RESPONSE
Development Engineer	Council Development Engineer provided standard engineering conditions.
Infrastructure Charges Unit	Council adopted the LGIP on 24 June 2019 which commenced on 1 July 2019.

Item

Page 25

Delegated Authority

25 December 2030

	<p>The types of developments that may trigger the issuing of an infrastructure charges notice are:</p> <ul style="list-style-type: none"> <li>• Reconfiguring a Lot;</li> <li>• Making a Material Change of Use;</li> <li>• Carrying out Building Work</li> </ul> <p>Refer to Attachment B for the Infrastructure Charges Notice</p>
--	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

**Public Notification**

No public notification was required.

**Information Request**

An Information Request was issued to the applicant on 18 May 2023 which sought further information on the proposed access location to proposed Lot 3 from Bretts Road, including information which demonstrates it meets the minimum sight distance requirements.

In response, the Applicant provided an amended plan (11092\_P1 Rev A), which demonstrated the access location for proposed Lot 3 which meets the sight distance of 80 metres.

**6. RECOMMENDATION**

Grounds to support the development –

- The subdivision is appropriate for the site, anticipated by the planning scheme and constraints are able to be managed by way of Condition.
- The subdivision will result in lot sizes consistent with the surrounding rural residential setting and other rural residential properties nearby.
- The access to each allotment can be managed so that they are safe and efficient for each lot from Brett Road.
- A site-specific Bushfire Management Report has been prepared by a suitably qualified person to address the Very High Potential Bushfire Intensity, which demonstrates the proposed lot reconfiguration can suitably address bushfire hazard and risk and can be conditioned accordingly.

On balance, the proposed development and its impacts can be managed through compliance with conditions. On this basis, we recommend that Council approve the proposed development, subject to conditions.

**ATTACHMENTS**

1. **Attachment A - Statement of Reasons**
2. **Attachment B - Infrastructure Charges Notice**
3. **Attachment C - Approved Plans**
4. **Attachment D - Approved Bushfire Management Plan**

Item

Page 26

## NOTICE ABOUT DECISION – STATEMENT OF REASONS

The following information is provided in accordance with Section 63(4) & (5) of the Planning Act 2016

<b>Applicant:</b>	M T Bond c/- ONF Surveyors
<b>Application No:</b>	RAL23/0005
<b>Proposal:</b>	Reconfiguring a Lot (1 Lot into 3 Lots)
<b>Street Address:</b>	43 Brett Road, Blackbutt South
<b>RP Description:</b>	Lot 9 on RP196033
<b>Assessment Type:</b>	Code Assessable
<b>Number of Submissions:</b>	N/A

On 12 July 2023 the above development was recommended for:

- Approval  
 Refusal

### 1. Reasons for the Decision

The reasons for this decision are:

- The subdivision is appropriate for the site, anticipated by the planning scheme and constraints are able to be managed by way of Condition.
- The subdivision will result in lot sizes consistent with the surrounding rural residential setting and other rural residential properties nearby.
- The access to each allotment can be managed so that they are safe and efficient for each lot from Brett Road.
- A site-specific Bushfire Management Report has been prepared by a suitably qualified person to address the Very High Potential Intensity, which demonstrates the proposed lot configuration can suitably address bushfire hazard and risk and can be conditioned accordingly.

### 2. Assessment Benchmarks

The following are the benchmarks apply to this development:

- Rural residential zone code
- Reconfiguring a lot code
- Services and works code

### 3. Compliance with Benchmarks

The development was assessed against all the assessment benchmarks listed above and complies with all of these or can be conditioned to comply.

**Note:** Each application submitted to Council is assessed individually on its own merit.

**INFRASTRUCTURE CHARGES NOTICE***(Section 119 of the Planning Act 2016)*

**APPLICANT:** M T Bond  
C/- ONF Surveyors  
PO Box 896  
KINGAROY QLD 4610

**APPLICATION:** Reconfiguring a Lot - Subdivision (1 Lot into 3 Lots)

**DATE:** 12/7/2023

**FILE REFERENCE:** RAL23/0005

**AMOUNT OF THE LEVIED CHARGE:** **\$8,838.00** **Total**  
*(Details of how these charges were calculated are shown overleaf)*

\$0.00	Water Supply Network
\$0.00	Sewerage Network
\$4,820.00	Transport Network
\$4,018.00	Parks and Land for Community Facilities Network
\$0.00	Stormwater Network

**AUTOMATIC INCREASE OF LEVIED CHARGE:** The amount of the levied charge is subject to an automatic increase. Refer to the Information Notice attached to this notice for more information on how the increase is worked out.

**LAND TO WHICH CHARGE APPLIES:** Lot 9 on RP196033

**SITE ADDRESS:** 43 Brett Road, Blackbutt South

**PAYABLE TO:** **South Burnett Regional Council**

**WHEN PAYABLE:** Reconfiguring a Lot – When South Burnett Regional Council approves the Plan of Subdivision.  
*(In accordance with the timing stated in Section 122 of the Planning Act 2016)*

**OFFSET OR REFUND:** Not Applicable.

This charge is made in accordance with South Burnett Regional Council's **Charges Resolution (No. 3) 2019**

**Stormwater**

**Adopted Charges**

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Not Applicable	-	-	\$0.00	-	\$0.00

**Discounts\***

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Not Applicable	-	-	\$0.00	-	\$0.00

**Levied Charges**

Development Description	Water Supply	Sewerage	Transport	Parks & Land for Community Facilities	Stormwater	Total
Reconfiguring a Lot (1 into 3)	\$0.00	\$0.00	\$4,820.00	\$4,018.00	\$0.00	\$8,838.00
<b>Total</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$4,820.00</b>	<b>\$4,018.00</b>	<b>\$0.00</b>	<b>\$8,838.00</b>

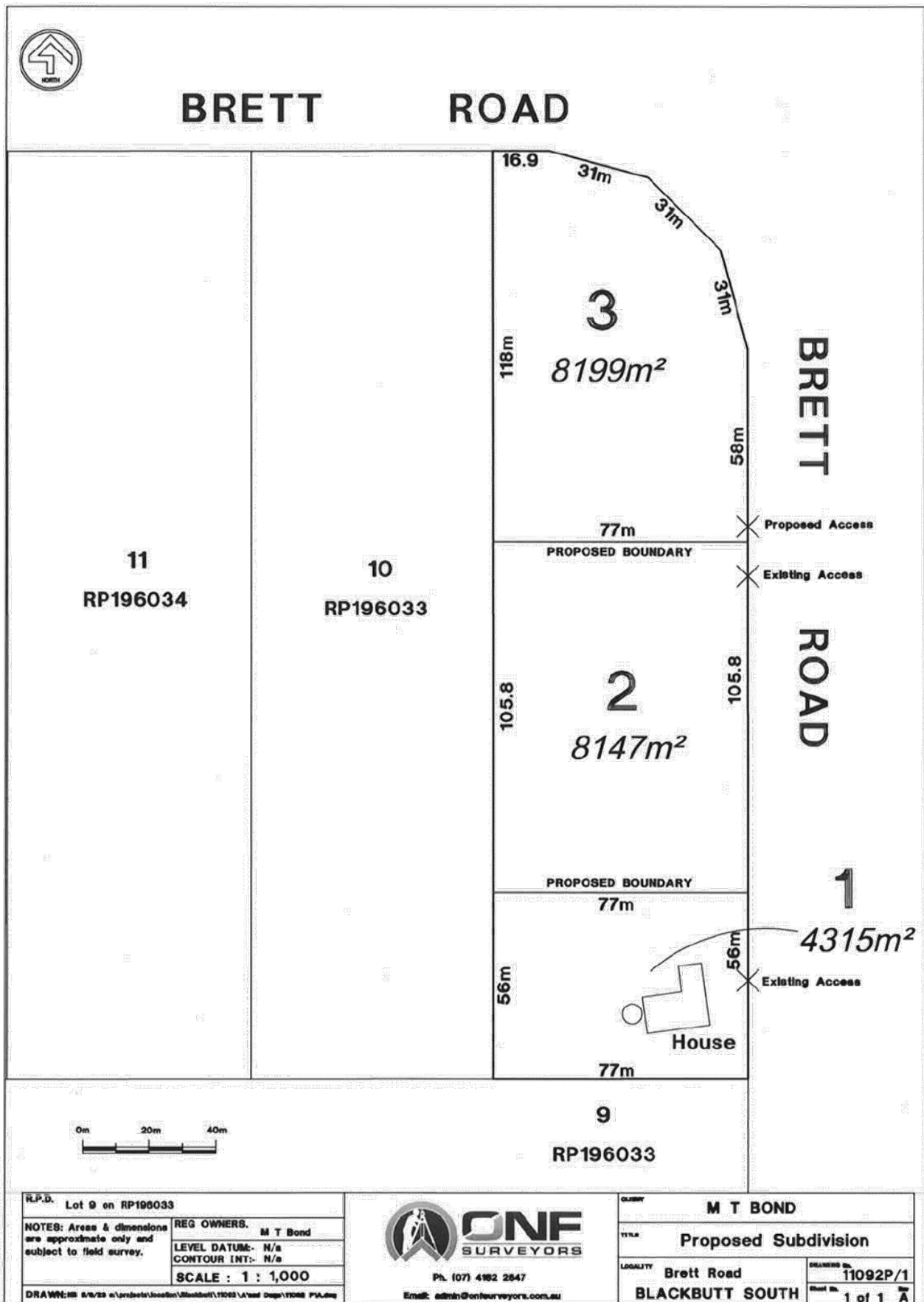
*\* In accordance with Section 3.3 of the Charges Resolution, the discount may not exceed the adopted charge. Any surplus discounts will not be refunded, except at South Burnett Regional Council's discretion.*

Payment can be made at any of the following South Burnett Regional Council Offices:

- 69 Hart Street, Blackbutt, 4314;
- 45 Glendon Street, Kingaroy, 4610;
- 42 Stephens Street West, Murgon, 4605;
- 48 Drayton Street, Nanango, 4615;
- McKenzie Street, Wondai, 4606; or
- via other methods identified on the Itemised Breakdown.

### **Enquiries**

Enquiries regarding this Infrastructure Charges Notice should be directed to the SOUTH BURNETT REGIONAL COUNCIL, Department of Planning and Land Management, during office hours, Monday to Friday by phoning (07) 4189 9100 or email at [info@southburnett.qld.gov.au](mailto:info@southburnett.qld.gov.au)



Document Set ID: 3043433  
Revision: 1, Version Date: 07/08/2023



**0.0 RECONFIGURATION OF A LOT (BOUNDARY REALIGNMENT) AT WEENS ROAD, KINGAROY (AND DESCRIBED AS LOT 1 ON RP59437 & LOT 7 ON RP869401). APPLICANT: SBRC C/- REEL PLANNING**

**File Number:** RAL23/0007  
**Author:** Planning Consultant  
**Authoriser:** Chief Executive Officer

	SIGNATURE	DATE
coordinator development services MANAGER	[Redacted]	20/07/23
Acting GM GM	[Redacted]	20/7/23
CEO	[Redacted]	21.7.20x

**PRECIS**

Reconfiguration of a Lot (Boundary Realignment) at Weens Road, Kingaroy (and described as Lot 1 on RP5937 & Lot 7 on RP869401). Applicant: SBRC C/- Reel Planning.

**SUMMARY**

- Application for Reconfigure a Lot – Development Permit (Boundary Realignment – 2 Lots into 2 Lots);
- Application seeks to reconfigure two (2) existing lots, specifically proposing a boundary realignment to increase the size of Lot 1 on RP59437 by 6,245m<sup>2</sup> (to be taken from adjoining Lot 7 on RP869401) to facilitate the construction of an additional water supply reservoir on the resultant Lot 1;
- Subject site located in the Rural Zone under the South Burnett Regional Council Planning Scheme.
- Proposal triggered code assessment as the proposal meets the accepted development subject to requirement provisions;
- The subject site has a combined total area of 79.534 ha in area (Lot 1 - 2,820m<sup>2</sup> and Lot 7 - 79.252 ha);
- The development application is assessed against the relevant codes of the South Burnett Regional Council Planning Scheme. Relevant codes including:
  - Rural Zone Code
  - Reconfiguring a Lot Code
  - Services Works Code
- State Assessment & Referral Agency issued a referral agency response on 28 June 2023 and has raised no objections to the proposed reconfiguration of a lot subject to conditions;
- Council did not issue an Information Request;
- The application has been assessed and the proposal generally meets the requirements of the planning scheme and relevant codes or has been conditioned to comply (refer to Attachment A – Statement of Reasons);
- Being a Boundary Realignment, Infrastructure Charges do not apply;
- Application recommended for approval subject to reasonable and relevant conditions.

**OFFICER'S RECOMMENDATION**

The development must be carried out generally in accordance with the approved plans and conditions as outlined as follows:

**GENERAL**

GEN1. The development must be completed and maintained in accordance with the approved plans and documents and conditions to this development approval:

Drawing Title	Prepared by	Ref no.	Rev	Date
Contour & Detail Plan Lot 1 on RP59437 – Kingaroy Water Reservoir	ONF Surveyors	9785-D1	-	6/9/21

**DEVELOPMENT PERIOD – RAL**

GEN2. Maintain access as shown on the approved plan of subdivision at all times from Weens Road.

GEN3. The currency period for this development approval for reconfiguring a lot is four (4) years after the development approval starts to have effect. The development approval will lapse unless the survey plan for all works and stages required to be given to Council for approval is provided within this period.

**RAL GENERAL**

RAL1. All conditions of this approval are to be satisfied prior to Council endorsing the Survey Plan, and it is the applicant's responsibility to notify Council to inspect compliance with conditions.

A fee will be charged, with payment required prior to Council's approval of the associated documentation requiring assessment.

RAL2. Prior to sealing the Plan of Survey, the applicant is required to pay the Council all rates and charges or any expenses being charged over the subject land under any Act in accordance with Schedule 18 Section 69 of the *Planning Act Regulation 2017*.

**VALUATION FEES**

RAL3. Payment of Department of Natural Resources, Mines and Energy valuation fees that will result from the issue of split valuations prior to Council sealing the Plan of Survey. The contribution is currently assessed at \$48.00 per lot however, the actual amount payable will be based on Council's Register of Fees & Charges and the rate applicable at the time of payment.

**LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS**

ENG1. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to Council's endorsement of the Survey Plan unless stated otherwise.

ENG2. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.

ENG3. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.

**STORMWATER**

ENG4. Discharge all minor storm flows that fall or pass onto the site to the lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).

ENG5. Adjoining properties and roadways to the development are to be protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.

**ELECTRICITY AND TELECOMMUNICATIONS**

ENG6. Connect the development to electricity and telecommunication services.

**DEVELOPER INCENTIVE**

ADV1. Council is offering a reduction in infrastructure charges payable through the development incentive scheme which is available between 1 December 2020 and 31 December 2023. Eligible development under this scheme is required to be completed by 31 December 2023.

For further information or application form please refer to the rules and procedures available on Council's website.

**HERITAGE**

ADV2. This development approval does not authorise any activity that may harm Aboriginal Cultural Heritage. Under the *Aboriginal Cultural Heritage Act 2003* you have a duty of care in relation to such heritage. Section 23(1) provides that "A person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal Cultural Heritage." Council does not warrant that the approved development avoids affecting Aboriginal Cultural Heritage. It may therefore, be prudent for you to carry out searches, consultation, or a Cultural Heritage assessment to ascertain the presence or otherwise of Aboriginal Cultural Heritage. The Act and the associated duty of care guidelines explain your obligations in more detail and should be consulted before proceeding. A search can be arranged by visiting <https://www.datsip.qld.gov.au> and filling out the Aboriginal and Torres Strait Islander Cultural Heritage Search Request Form.

**FILLING & EXCAVATION**

ADV3. It is the developer/owner's responsibility to ensure that any subsequent earthworks required as a consequence of this approval and/or ongoing operations complies with all aspects of Council's planning scheme either directly or indirectly. All erosion and sediment control measures should be to a standard as specified by a suitably qualified professional.

**APPEAL RIGHTS**

ADV4. Attached for your information is a copy of Chapter 6 of the *Planning Act 2016* as regards Appeal Rights.

**FINANCIAL AND RESOURCE IMPLICATIONS**

No implication can be identified. Being a Boundary Realignment – 2 Lots into 2 Lots) to facilitate the construction of an additional water supply reservoir, no infrastructure charges will be levied in accordance with the Adopted Infrastructure Charges Resolution.

**LINK TO CORPORATE/OPERATIONAL PLAN**

Growing our Region's Economy and Prosperity

- GR8 Support and advocate for appropriate growth and development with responsive planning schemes, process, customer service and other initiatives.

**COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)**

Refer to CONSULTATION in this report.

**LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)**

No implication identified.

**POLICY/LOCAL LAW/DELEGATION IMPLICATIONS**

No implication can be identified.

**ASSET MANAGEMENT IMPLICATIONS**

No implication can be identified.

**REPORT****1. APPLICATION DETAILS**

The application seeks a Development Permit for Reconfiguring a Lot – Boundary Realignment (2 Lots into 2 Lots).

Site address	271 Weens Road, Kingaroy QLD 4610		
Real property description	Lot 1 on RP59437 & Lot 7 on RP869401		
Easements or encumbrances on title	Easements – for water infrastructure purposes incl site access, maintenance, and pipes wot water conveyance.		
Area of Site	Lot 1 – 2,820m <sup>2</sup> Lot 7 – 79.252 ha Total – 79.534 ha		
Current Use	Lot 1 – Public Utility (existing/ongoing). Lot 7 – Rural		
Environmental Management Register or Contaminated Land Register	N/A		
Applicant's name	South Burnett Regional Council C/- Reel Planning		
Strategic Framework	Rural Important Agricultural Area		
Zone	Rural Zone		
Applicable Overlays	Airport Environs Overlay Bushfire Overlay Biodiversity Areas Overlay Flood Hazard Overlay Agricultural Land Overlay		
Proposed use as defined	N/A - Reconfiguring a Lot (existing ongoing uses to be retained)		
Details of proposal	Reconfiguring a Lot (RALs)		
	• Number of existing lots	2	
	• Easements or leases proposed	No additional easements proposed	
	• Number of proposed lots	2	
	• Lot areas	Lot 1 – 9,065m <sup>2</sup> Lot 7 – 78.6275 ha Total – 79.534 ha	
• Access	Lot 1 – Weens Road (via Access Easement) Lot 7 Weens Road (direct frontage)		
Application type	Aspects of Development	Type of Approval Requested	
		Preliminary Approval	Development Permit
	Material Change of Use (MCU)		
	Reconfiguration of a Lot (RAL)		X

	Building Work (BW)		
	Operational Work (OPW)		
Level of Assessment	Code Assessment		
Pre-lodgement Consultation history	N/A		
Key planning issues e.g. vegetation, waterway corridors, overland flow	Native Vegetation Clearing – SARA Referral pursuant to Schedule 10, Part 3, Division 4, Table 2, Item 1 Planning Regulation 2017.		
Referral agencies	Agency	Concurrence/ Advice	
	DSDILGP (SARA)	Concurrence	
Public notification	N/A		
Planning Regulation 2017	Native vegetation clearing as above.		

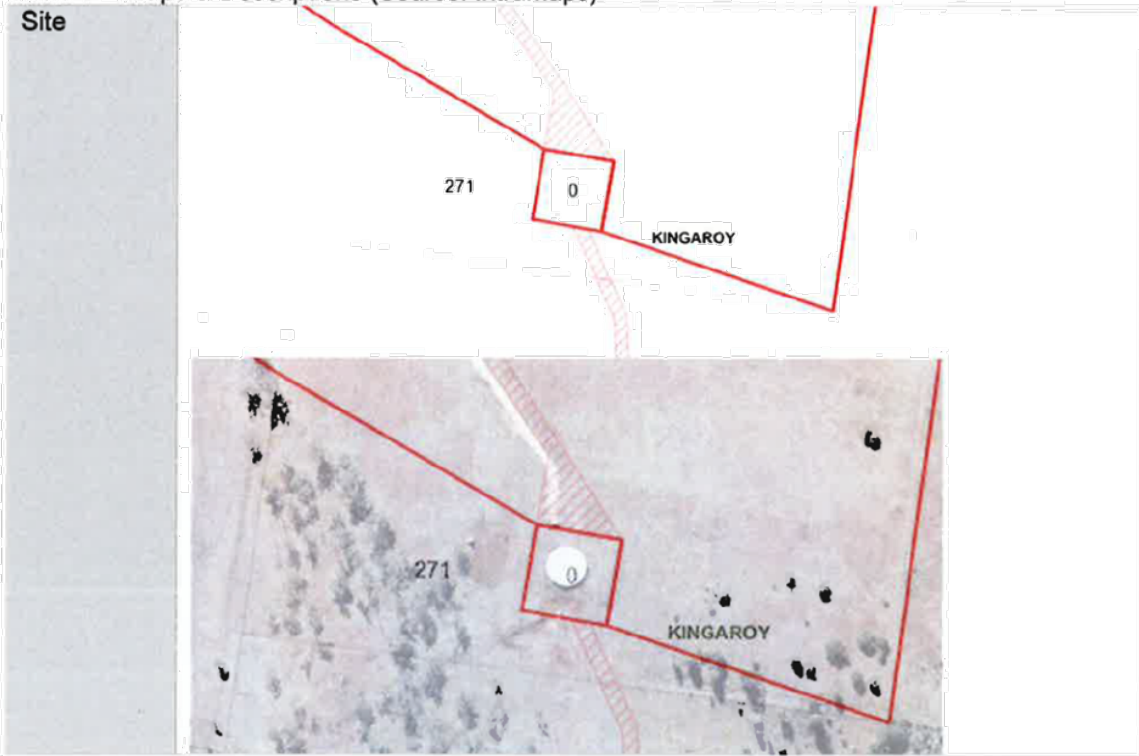
**2. THE SITE**

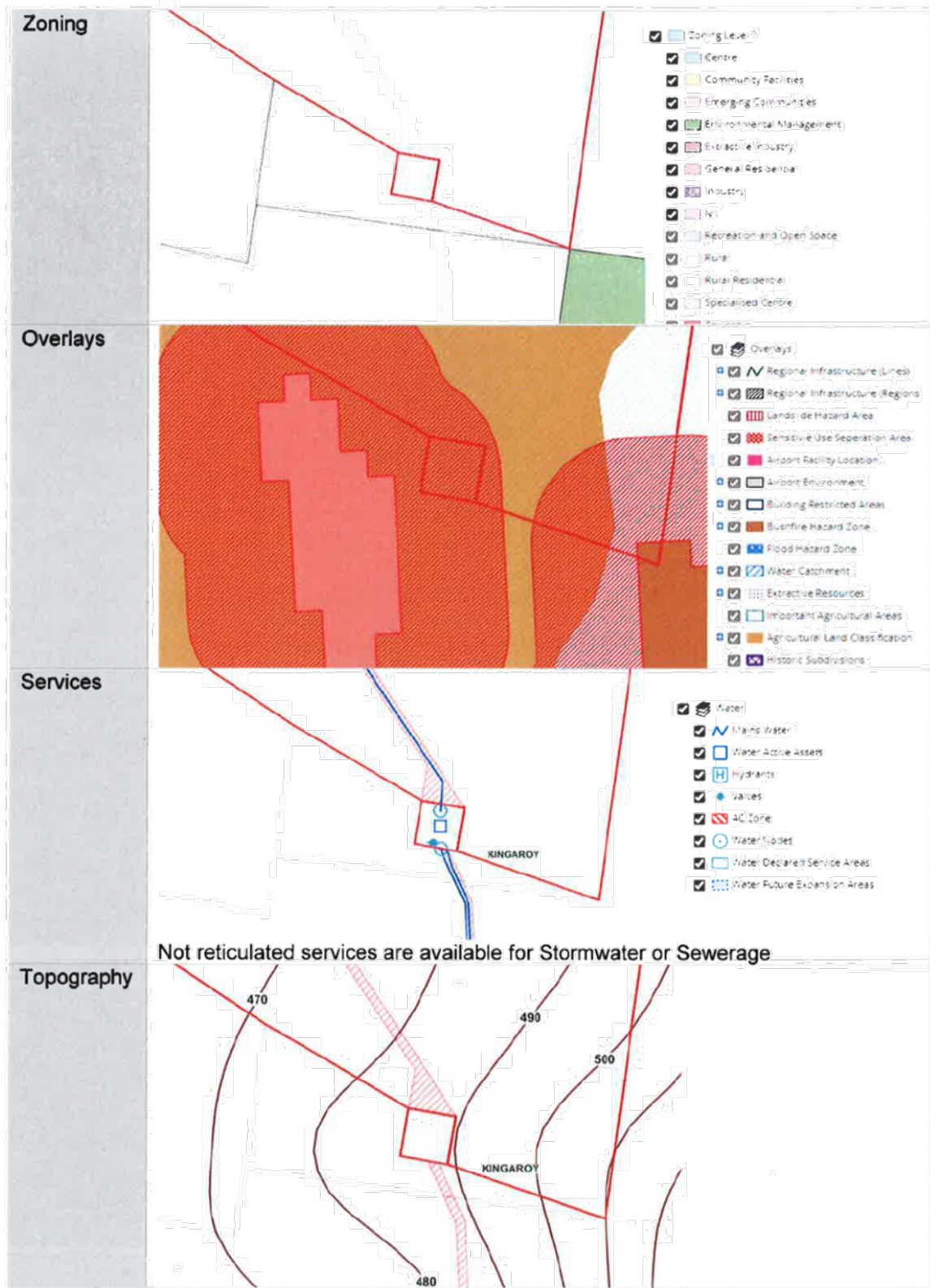
This section of the report provides a description of the site, details about the existing use and notable characteristics of the site, the standard of servicing, and the form of development in the immediately locality.

**2.1. SITE DESCRIPTION & EXISTING USE**

The site is situated at Weens Road, Kingaroy. The irregular shaped site as outlined in yellow in Figure 1 below is comprised of Lot 1 on RP59437 and Lot 7 on RP869401 having a total combined site area of 79.534 hectares. Lot 1 currently contains a Water Reservoir (Lot 1) and Lot 7 contains a rural property with residence and associated outbuildings likely used for rural activities.

Table 1 – Maps & Descriptions (Source: Intramaps)





**2.2. DEVELOPMENT HISTORY OF THE SITE**

There are no known development applications or approvals over the site.

### 3. PROPOSAL DETAILS

Tenancies	Nil
Gross Floor Area + Outdoor Storage Area	Not applicable Reconfiguration of a Lot Proposed
Building height	Not applicable Reconfiguration of a Lot Proposed
Storeys (height)	Not applicable Reconfiguration of a Lot Proposed
Site Cover	Not applicable Reconfiguration of a Lot Proposed
Impervious Area	Not applicable Reconfiguration of a Lot Proposed
Landscape	Not applicable Reconfiguration of a Lot Proposed
Number of parking spaces	Not applicable Reconfiguration of a Lot Proposed
Access	Via Weens Rd (easement in favour of Water Reservoir)
Design Vehicle	Car/Van/MRV
Setbacks	Not applicable Reconfiguration of a Lot Proposed
Materials	<ul style="list-style-type: none"> <li>Not applicable Reconfiguration of a Lot Proposed</li> </ul>

The application seeks to reconfigure two (2) existing lots, specifically proposing a boundary realignment to increase the size of Lot 1 on RP59437 by 6,245m<sup>2</sup> (to be taken from adjoining Lot 7 on RP869401) to facilitate the construction of an additional water supply reservoir on the resultant Lot 1. This will provide for water supply and fire fighting in the region. An overview of the existing and proposed lots is shown below. Refer to 'Proposed Layout Plan above for details of intended boundary realignment.

Subject Lots	Existing Site Area	Reconfigured to proposed site area
Lot 1 on RP59437	2,820m <sup>2</sup>	9,065m <sup>2</sup>
Lot 7 on RP869401	79.252 ha	78.6275 ha
Total Area	79.534 ha	79.534 ha

### 4. ASSESSMENT OF ASSESSMENT BENCHMARKS

Framework for Assessment

Categorising Instruments for Statutory Assessment

For the *Planning Act 2016*, the following Categorising Instruments may contain Assessment Benchmarks applicable to development applications:

- the *Planning Regulation 2017*
- the Planning Scheme for the local government area
- any Temporary Local Planning Instrument
- any Variation Approval

Of these, the planning instruments relevant to this application are discussed in this report.

Planning Act 2016, Section 26 – Assessment Benchmarks generally

(1) For section 45(3)(a) of the Act, the code assessment must be carried out against the assessment benchmarks for the development stated in schedules 9 and 10.



- (2) Also, if the prescribed assessment manager is the local government, the code assessment must be carried out against the following assessment benchmarks—
- (a) the assessment benchmarks stated in—
    - (i) the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and
    - (ii) the State Planning Policy, part E, to the extent part E is not identified in the planning scheme as being appropriately integrated in the planning scheme; and
    - (iii) a temporary State planning policy applying to the premises;
  - (b) if the local government is an infrastructure provider—the local government’s LGIP.
- (3) However, an assessment manager may, in assessing development requiring code assessment, consider an assessment benchmark only to the extent the assessment benchmark is relevant to the development.

**4.1. PLANNING REGULATION 2017**

The Planning Regulation 2017 forms the mechanism by which the provisions of the Act are administered. In particular the Regulation has the ability to regulate and prohibit development and determines the assessment manager and the matters that trigger State interests.

<b>PLANNING REGULATION 2017 DETAILS</b>	
<b>Assessment Benchmarks:</b>	Schedule 12A Walkable Neighbourhoods – not applicable.
<b>WBB Regional Plan Designation:</b>	Wide Bay Burnett Regional Plan 2011 – not applicable
<b>Adopted Economic Support Instrument</b>	<p>Under section 68E of the Planning Regulation 2017 that on 24 February 2021, South Burnett Regional Council adopted an economic support instrument. The instrument is in effect until 31st December 2023.</p> <p><b>Economic support provisions</b></p> <p>4.1. The instrument applies the following provisions in accordance with section 68D(1) of the <i>Planning Regulation 2017</i>:</p> <ul style="list-style-type: none"> <li>4.1.1. Part 8B, Division 3 – Development that requires code assessment;</li> <li>4.1.2. Schedule 6, Part 2, Section 7A – Particular material change of use involving an existing building, and</li> <li>4.1.3. Schedule 6, Part 2, Section 7B – Material change of use for home-based business in particular zones.</li> </ul> <p>The adopted instrument does not change the categories of development and assessment in the Planning Scheme v1.4</p>

**4.2. REFERRAL AGENCIES**

To determine whether the development application requires referral to the State Assessment and Referral Agency (SARA) or ‘another entity’, an assessment of the proposal against Schedule 10 of the Regulation has been undertaken.

The application does require referral to any referral agencies prescribed under Schedule 10, as demonstrated in Table 3.

*Note: Grey shading indicates no provisions.*

<b>Table 3 - Matters Prescribed in Schedule 10 of the Planning Regulation</b>						
Part	Matter	Applicability to this Development Application	Prohibited Development	Assessable Development	Referral Agency	Assessment Benchmarks / Matters to be assessed against
1	Airport Land	N/A		N/A	N/A	N/A
2	Brothels	N/A	N/A	N/A		N/A
3	Clearing Native Vegetation	N/A	N/A	N/A	N/A	State Code 16: Clearing

## Ordinary Council Meeting Agenda

25 December 2030

Table 3 - Matters Prescribed in Schedule 10 of the Planning Regulation						
Part	Matter	Applicability to this Development Application	Prohibited Development	Assessable Development	Referral Agency	Assessment Benchmarks / Matters to be assessed against
						<b>Native Vegetation</b>
4	Contaminated Land	N/A		N/A	N/A	N/A
5	Environmentally Relevant Activity	N/A	N/A	N/A	N/A	N/A
6	Fisheries: - Aquaculture - Declared Fish Habitat - Marine Plants - Waterway Barrier works	N/A N/A N/A N/A		N/A	N/A	N/A
7	Hazardous Chemical Facilities	N/A		N/A	N/A	N/A
8	Heritage Place: - Local Heritage Place - Queensland Heritage Place	N/A		N/A	N/A	N/A
9	Infrastructure Related: - Designated Premises - Electricity - Oil and Gas - State Transport Corridors and Future State Transport Corridors - State-controlled transport tunnels and future state-controlled transport tunnels	N/A N/A N/A N/A N/A			N/A	N/A
10	Koala Habitat in SEQ region	N/A	N/A			N/A
11	Noise Sensitive Place on Noise Attenuation land	N/A	N/A			
12	Operational Work for Reconfiguring a Lot	N/A		N/A		
12A	Walkable Neighbourhoods – particular reconfiguring a lot	N/A		N/A		N/A
13	Ports: - Brisbane Core Port Land - Within the port limits of the Port of Brisbane - Within the limits of another port - Strategic Port Land	N/A N/A N/A N/A		N/A	N/A	N/A
14	Reconfiguring a Lot under the Land Title Act	N/A		N/A	N/A	N/A
15	SEQ Development Area	N/A		N/A	N/A	N/A
16	SEQ Regional Landscape and Rural Production Area and Rural Living Area: - Community Activity - Indoor Recreation	N/A	N/A	N/A	N/A	N/A

Table 3 - Matters Prescribed in Schedule 10 of the Planning Regulation						
Part	Matter	Applicability to this Development Application	Prohibited Development	Assessable Development	Referral Agency	Assessment Benchmarks / Matters to be assessed against
	- Residential Development - Urban Activity					
16A	Southport Spit	N/A	N/A			
17	Tidal Works or Work in a Coastal Management District	N/A		N/A	N/A	N/A
18	Urban Design	N/A			N/A	N/A
19	Water Related Development: - Taking or interfering with water - Removing quarry material - Referral dams - Levees	N/A N/A N/A N/A		N/A	N/A	N/A
20	Wetland Protection Area	N/A	N/A	N/A	N/A	N/A
21	Wind Farms	N/A		N/A		N/A

It was concluded that the application requires referral to SARA as a Concurrence Agency in accordance with Schedule 10, Part 9, Division 4, Subdivision 2, Table 4 of the *Planning Regulation 2017* for clearing of native vegetation.

The following comments address the Assessment Benchmarks of the Planning Regulations for the Reconfiguration of a Lot proposal.

**4.3. STATE PLANNING POLICY**

The State Planning Policy (July 2017) (SPP) commenced on the 3 July 2017 and is effective at the time of writing this report. The Planning Regulation 2017 (PR 2017) states the assessment must be carried out against the assessment benchmarks stated in Part E of the State Planning Policy to the extent Part E is not appropriately integrated into the planning scheme.

In accordance with section (8)(4)(a) of the Act, the State Planning Policy applies to the extent of any inconsistency with the Planning Scheme.

State Planning Policy Part E	
Liveable communities and housing	No applicable assessment benchmarks
Economic growth • Agriculture. • Development and construction. • Mining and extractive resources. • Tourism.	No applicable assessment benchmarks
Planning for the environment and heritage. • Biodiversity. • Coastal environment. • Cultural heritage. • Water quality	No applicable assessment benchmarks
Safety and resilience to hazards • Emissions and hazardous activities. • Natural hazards, risk, and resilience.	Proposal for boundary realignment aides in the upgrading of firefighting capacity in an existing public utility.

Infrastructure <ul style="list-style-type: none"> <li>• Energy and water supply.</li> <li>• Infrastructure integration.</li> <li>• Transport infrastructure.</li> <li>• Strategic airports and aviation facilities.</li> <li>• Strategic ports.</li> </ul>	Complies – improvement to existing public infrastructure capacity.
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#### 4.4. DEVELOPMENT CODE ASSESSMENTS

##### Assessment Benchmarks Pertaining to the Planning Scheme

The applicable planning scheme for the application is South Burnett Regional Council Version 1.4. The following sections relate to the provisions of the Planning Scheme.

<b>Planning Scheme:</b>	South Burnett Regional Council Planning Scheme Version 1.4
<b>Zone:</b>	Rural
<b>Precinct:</b>	NIL
<b>Consistent/Inconsistent Use:</b>	Consistent
<b>Assessment Benchmarks:</b>	Rural Zone Code Reconfiguring a Lot Code Services & Works Code

The Strategic Framework does not form part of the Assessment Benchmarks for this Code assessable application. The *Planning Act 2016* requires that code assessable applications must only be assessed against the Assessment Benchmarks identified in Part 5 of Council's Planning Scheme – specifically Part 5.6, Table 5.6.1 being the level of assessment table for Reconfiguring a Lot.

##### Assessment Benchmarks – Planning Scheme Codes

The application has been assessed against each of the applicable codes and is found to be compliant with or can be conditioned to comply with each of the codes. The pertinent issues arising out of assessment against the codes are discussed below:

<p><b>Rural Zone Code</b></p> <p><b>Purpose</b></p> <ul style="list-style-type: none"> <li>• <b>6.2.13.2 (b) &amp; (c)</b> – The rearrangement of Lots 1 and 7 will provide for expansion of the existing water reservoir that will provide for water supply and fire fighting in the region that:             <ul style="list-style-type: none"> <li>- will be compatible with existing and future rural uses and activities</li> <li>- character and environmental features of the zone;</li> <li>- will be compatible with the existing character of the zone;</li> <li>- will not impact upon any environmental features of the zone; and</li> <li>- will provide essential infrastructure that will maintain the capacity of land for rural uses and activities.</li> </ul> </li> </ul> <p><b>Overall Outcomes</b></p> <ul style="list-style-type: none"> <li>• <b>6.2.13.2(a)</b> – The proposal is for the reconfiguration of a lot (boundary realignment) to facilitate an additional water supply reservoir to meet water supply demands and firefighting needs. The proposal does not create any new allotments and the majority of land will be maintained for continued agricultural uses. On this basis the proposal will not have a significant impact upon the future rural productivity of the land.</li> <li>• <b>6.2.13.2(b)</b> – The proposal is not for existing or new rural pursuits (e.g. cropping, intensive horticulture and animal industries, animal husbandry and keeping and other compatible primary production uses), however the proposed reconfiguration (boundary realignment) will facilitate future water storage tanks across the site. This is an essential service which will facilitate other development envisaged in the zone.</li> </ul>
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<ul style="list-style-type: none"> <li>• <b>6.2.13.2(d)</b> – The proposal is for the reconfiguration of a lot (boundary realignment) to facilitate an additional water supply reservoir to meet water supply demands and firefighting needs thereby facilitating the provision of infrastructure in the rural region.</li> <li>• <b>6.2.13.2(e)</b> – The proposal does not create any new allotments and the majority of land will be maintained for continued agricultural uses with Lot 7 only being marginally reduced by 6,245m<sup>2</sup>. On this basis the proposal will not have a significant impact upon the future rural productivity of the land.</li> <li>• <b>6.2.13.2(f)</b> – The proposed development is for a boundary realignment resulting in two appropriately sized rural lots. No land use is proposed as part of this application however the intended use (for water storage) is compatible with rural activities and common in rural areas.</li> <li>• <b>6.2.13.2(h)</b> – The proposal is for a boundary realignment resulting in two appropriately sized rural lots. There will be no change to existing amenity and landscape.</li> <li>• <b>6.2.13.2(i)</b> – The proposed development is for a boundary realignment only and will not result in the intensification of the land use and therefore is reflective of and responsive to the surrounding character of the area, natural hazards and the environmental constraints of the land.</li> <li>• <b>6.2.13.2(n)</b> – The proposed development is for a lot reconfiguration (boundary realignment) only and will not impact natural features such as creeks, gullies, waterways, wetlands and bushland.</li> <li>• <b>6.2.13.2(o)</b> – The proposed development is for a lot reconfiguration (boundary realignment) only and will not endanger the water quality of a water supply catchment.</li> </ul>		
<b>PERFORMANCE OUTCOME</b>	<b>ACCEPTABLE OUTCOME</b>	
<b>Section 1 General</b>		
<p>PO1 Development maintains rural amenity and character.</p>	<p>AO1.1 Buildings are set back 20m from any collector or higher order road and 10m from any other road frontage. and</p> <p>AO1.2 The use does not cause odour, noise or air emissions in excess of the prescribed limits in the <i>Environmental Protection (Air) Policy 1997</i> or the <i>Environmental Protection (Noise) Policy 1997</i>.</p>	AO1.1- AO1.2 – N/A
<p>PO2 Development does not jeopardise the rural production capacity of the Zone.</p>	<p>Development resulting in lots less than the minimum size in Table 8.4.2 satisfying outcomes –</p> <p>AO2.1 The proposal is necessary for the efficient production and processing of a crop grown in the area. or</p> <p>AO2.2 The proposal provides an alternate productive rural activity that supports regionally significant industry. or</p> <p>AO2.3 An agricultural sustainability report prepared by a suitably qualified agronomist demonstrates that – (a) The lot is suitability sized for the proposed activity, including a dwelling house including yard; and</p>	<p>PO2 Both existing lot sizes are less than 100ha noting that Lot 1 (Wooroolin Reservoir) enveloped by Lot 7 (a rural property). However, the proposed boundary realignment is preferable to the current allotment configuration as the exceptionally small Lot 1 will be marginally increased by an additional 6,245m<sup>2</sup> (from 2,820m<sup>2</sup> to 9,065m<sup>2</sup> and reducing Lot 7 from 79.2520 ha to 78.6275 ha) to provide to facilitate an additional water supply reservoir to meet water supply demands in the region. The marginal decrease in Lot 7 will not adversely impact rural production capacity of the lot/zone and the provision of essential infrastructure will support rural production in the region.</p>

Ordinary Council Meeting Agenda

25 December 2030

	<p>(b) There is sufficient water for the proposed activity; and                  (c) The allotment is capable of being connected to reticulated electricity; and                  (d) The proposed activity is financially viable, requiring a viability assessment that includes capital costs, operational costs, sustainable yields to support a family, climate, soils and geological factors affecting crop growth, nutrients, salinity, topography, susceptibility to flooding and erosion and an assessment of market robustness (both recent and projected) and alternative practices in the event of failure. and</p> <p>AO2.4                  Development is consistent with any Soil Conservation Plan that applies to the locality, as approved by the relevant State agency.</p>	
<p>PO3                  Development does not result in any degradation of the natural environment, in terms of the geotechnical, physical, hydrological and environmental characteristics of the site and its setting.</p>	<p>AO3.1                  Uses and associated works are confined to existing lawfully cleared land or areas not supporting regulated vegetation.</p>	<p>AO3.1 – Complies                  The proposed lot reconfiguration is for a boundary realignment only to facilitate an additional water supply reservoir to meet water supply demands in the region. The location of the water reservoir is deliberate and based on the location of the existing access track and topography of the land which suits the proposed future reservoir. As such, future works will minimise the clearing of vegetation.</p>
	<p>AO3.2                  Uses and associated works are confined to areas outside stormwater discharge points, overland flow paths, watercourses and natural drainage features.</p>	<p>AO3.2 – Complies                  The proposal is for reconfiguring a lot (boundary realignment) only and as such there are no works proposed that will impact upon stormwater discharge points, overland flow paths,</p>
	<p>AO3.3                  Development, excluding forestry activities and permanent plantations, adjacent to National Parks or State Forests is set back a minimum of 100m from the park boundaries in the absence of any current 'Management Plans' for these areas.</p>	<p>AO3.3 – N/A                  The proposal is not adjacent to any National Park or State Forest.</p>

Ordinary Council Meeting Agenda

25 December 2030

<p>PO4 Development is not exposed to risk from natural hazard relating to land slip.</p>	<p>AO4.1 Uses and associated works are confined to slopes not exceeding: (a) 15% for residential uses; (b) 10% for treated effluent disposal areas; (c) (c) 6% for non-residential uses.</p>	<p>AO6.1 – N/A The proposal is for a lot reconfiguration (boundary realignment) only.</p>
	<p>AO6.2 Areas that pose a health risk from previous activities and contaminated soils which are subject to development are remediated prior to plan sealing, operational works permit, or issuing of building works permit.</p>	<p>AO6.2 – N/A The proposal is for a reconfiguring a lot (boundary realignment) only.</p>
<p><b>Agricultural land overlay</b></p>		
<p>PO15 The productive capacity and utility of agricultural land for rural activities is maintained.</p>	<p>AO15.1 The proposal is not located on agricultural land as identified on SPP Interactive Mapping (Plan Making). or AO15.2 The proposal is necessary for the efficient production and processing of a crop grown in the area. or AO15.3 The proposal provides an alternate productive rural activity that supports regionally significant industry. or AO15.4 An agricultural sustainability report prepared by a suitably qualified agronomist demonstrates that – (a) The lot is suitability sized for the proposed activity. Including a dwelling house including yard; and (b) There is sufficient water for the proposed activity; and (c) The allotment is capable of being connected to reticulated electricity; and (d) The proposed activity is financially viable, requiring a viability assessment that includes capital costs, operational costs, sustainable yields to support a family, climate, soils and geological factors affecting crop growth, nutrients, salinity, topography, susceptibility to flooding and</p>	<p>PO15 – Complies The proposed lot reconfiguration is for a boundary realignment (2 into 2 lots) only to facilitate an additional water supply reservoir to meet water supply demands in the region. The marginal decrease in Lot 7 will not adversely impact long term rural production or the capacity of the lot and the provision of essential infrastructure will support rural production in the region.</p>

Ordinary Council Meeting Agenda

25 December 2030

	erosion and an assessment of market robustness (both recent and projected) and alternative practices in the event of failure.	
<p><b>Airport environs overlay - Not Applicable</b>                  The proposal is for a boundary realignment only to facilitate an additional water supply reservoir to meet water supply demands in the region)</p>		
<p><b>Biodiversity overlay</b></p>		
<p>PO18                  Areas of environmental significance, including biodiversity values, are identified, protected and enhanced.</p>	<p>AO18.1                  Uses and associated works are confined to areas not identified on Overlay Map 05. or</p> <p>AO18.2                  Development is compatible with the environmental values of the area.                  or</p> <p>AO18.3                  Where development within an area identified on Overlay Map 05 is unavoidable, measures recommended by a suitably qualified ecologist are incorporated to protect and retain the environmental values and underlying ecosystem processes within or adjacent to the development site to the greatest extent practical. Complies. The proposal is for a boundary realignment only and will not interfere with any areas of identified environmental significance.</p>	<p>AO18.1 – AO18.3 – Complies                  The proposal is for a boundary realignment only and will not interfere with any areas of identified environmental significance.</p>
<p>PO19                  Biodiversity values of identified areas of environmental significance are protected from the impacts of development.</p>	<p>AO19.1 Development adjacent to Protected Areas identified on Overlay Map 05 is set back a minimum of 100m from the park boundaries in the absence of any current 'Management Plans' for these area.</p> <p>AO19.1 – N/A                  The site does not contain any protected areas.</p>	<p>AO19.1 – N/A                  The site does not contain any protected areas.</p>
<p>PO20                  There are no significant adverse effects on water quality, ecological and biodiversity values.</p>	<p>AO20.1 Uses and associated works are confined to areas outside overland flow paths and natural drainage features. and</p> <p>AO20.2                  All buildings, on-site effluent disposal, external activities or storage areas are located 100m from the top of the bank of a river, creek, stream or wetland identified on Overlay Map 05. Note: This setback does not apply to equipment such as pumps that</p>	<p>AO20.1 – AO20.3 – Complies                  The proposal is for a boundary realignment only and will not interfere with any areas of identified environmental significance</p>



	<p>are necessary to access water or waterway crossings. and</p> <p>AO20.3 The Waterway Corridors identified on Overlay Map 05 are maintained in a natural state.</p>	
<b>Bushfire hazard overlay</b>		
<p>PO21 Development is not placed at unacceptable risk from bushfire, does not increase the extent or severity of bushfire and maintains the safety of people and property from bushfire</p>	<p>AO21.1 Development does not occur in areas mapped as Very High or High Potential Bushfire Intensity Areas on the SPP Interactive Mapping (Plan Making). or</p> <p>AO21.2 A written assessment by a suitably experienced or qualified person confirms that the site is of Low Potential Bushfire Hazard. or</p> <p>AO21.3 For areas mapped as Medium Potential Bushfire Intensity Areas on the SPP Interactive Mapping (Plan Making), bushfire risk is mitigated through a Bushfire Management Plan incorporating:</p> <ul style="list-style-type: none"> <li>(a) Lot design and the siting of buildings and uses so:             <ul style="list-style-type: none"> <li>(i) high intensity uses are located on the least bushfire prone area on the site and activities least susceptible to fire are sited closest to the bushfire hazard; and</li> <li>(ii) efficient emergency access is optimised; and</li> <li>(iii) bushfire risk is effectively minimised having regard to aspect, elevation, slope and vegetation.</li> </ul> </li> <li>(b) Including firebreaks that provide adequate:             <ul style="list-style-type: none"> <li>(i) setbacks between buildings/ structures and hazardous vegetation; and</li> <li>(ii) access for firefighting or other emergency vehicles; and</li> </ul> </li> <li>(c) Road access for fire-fighting appliances and firebreaks are provided through a perimeter road that separates the use from areas of bushfire hazard and that road has a minimum cleared width of 20 metres; and</li> </ul>	<p>AO21.1 – AO21.3 – Complies The site is subject to high bushfire intensity and a potential impact buffer. The proposal is for reconfiguring a lot (boundary realignment) however and therefore no development is to occur of the site. Furthermore, the boundary realignment will facilitate an additional water supply reservoir to meet water supply demands and firefighting needs in the region)</p>

	(d) Where a reticulated water supply is not available and development involves buildings with a gross floor area greater than 50m <sup>2</sup> , one tank within 100m of each residential building that has: (i) fire brigade tank fittings; and (ii) 25,000 litres dedicated for firefighting purposes.	
PO23 Public safety and the environment are not adversely affected by the detrimental impacts of bushfire on hazardous materials manufactured or stored in bulk.	AO23.1 No hazardous materials, manufactured or stored in bulk, are on land mapped as Very High to Medium (Potential Intensity) Areas.	AO23.1 – Complies The proposal is for reconfiguring a lot (boundary realignment) only to facilitate an additional water supply reservoir.
<b>Extractive industry overlay - Not Applicable</b>		
<b>Flood hazard overlay - Not Applicable</b> (The proposal is for a boundary realignment only to facilitate an additional water supply reservoir)		
<b>Historic subdivisions overlay - Not Applicable</b>		
<b>Landslide hazard overlay - Not Applicable</b>		
<b>Regional infrastructure overlay - Not Applicable</b>		
<b>Water catchments overlay - Not Applicable</b>		
<b>RECONFIGURING A LOT CODE</b>		
<b>Purpose</b>		
<ul style="list-style-type: none"> <li>• <b>8.4.1.2(1)(c)</b> – Manages the potential risks from natural and man-made hazards.</li> <li>• <b>8.4.1.2(1)(d)</b> – Avoids unnecessary impacts on the natural environmental, features and resources. The proposed boundary realignment intends to expand an existing lot significantly less than 100ha and containing an existing water reservoir/facility to provide improved water services to the region whilst minimising impacts.</li> <li>• <b>8.4.1.2(1)(e)</b> – Allows for the efficient and sequential provision of urban infrastructure and an enhanced open space network. The proposed boundary realignment intends to expand an existing lot significantly less than 100ha to facilitate an additional water supply reservoir to meet water supply demands and firefighting needs.</li> <li>• <b>8.4.1.2(1)(d)</b> – avoids unnecessary environmental impacts (associated works small in scale on a large lot).</li> </ul>		
<b>Overall Outcomes</b>		
<ul style="list-style-type: none"> <li>• <b>8.4.1.2(2)(a)</b> – Lots are of a size and dimension suitable for their intended use and have due regard to local geographical constraints, identified hazards, fragmentation of agricultural land and community expectations of residential separation and character. The proposed boundary realignment intends to expand an existing lot significantly less than 100ha to facilitate an additional water supply reservoir to meet water supply demands and firefighting needs.</li> <li>• <b>8.4.1.2(2)(b)</b> – Reconfiguring a lot contributes to good urban design outcomes, safe and attractive neighbourhoods and functional industrial areas that are consistent with the intended character of the particular locality. The proposed lot reconfiguration will result in two appropriately sized rural lots. The marginal increase in Lot 1 will facilitate the provision of an additional water supply reservoir to meet water supply demands in the region whilst not adversely impacting the viability of t Lot 7 for rural purposes.</li> <li>• <b>8.4.1.2(2)(d)</b> – Reconfiguring a lot does not compromise the viability and productivity of identified agricultural land, extractive and coal resources and the Swickers Bacon Factory and maintains appropriate buffers to these resources. The proposal will not impact upon the productivity of the land, with the application relating to a lot reconfiguration (boundary realignment) only.</li> <li>• <b>8.4.1.2(2)(e)</b> – Areas or features of environmental significance are not adversely impacted by habitat loss, fragmentation or isolation.</li> </ul>		
<b>PERFORMANCE OUTCOME</b>	<b>ACCEPTABLE OUTCOME</b>	<b>RESPONSE</b>
<b>Section 1 Boundary Realignment</b>		
PO1 The boundary realignment: (a) results in lots that are consistent with the	AO1.1 Development provides that allotment area, dimension and shape are in accordance with the	AO1.1 – Complies. Both existing lot sizes are less than 100ha noting that Lot 1 (Wooroolin Reservoir) enveloped

<p>established subdivision pattern of the local area.</p> <p>(b) maintains or improves the utility of the lots.</p> <p>(c) does not create a situation where the use or buildings on the resulting lots become unlawful.</p>	<p>standards in Table 8.4.2, except where the reconfiguration is boundary realignment, and the outcome is preferable to the current allotment configuration.</p>	<p>by Lot 7 (a rural property). However, the proposed boundary realignment is preferable to the current allotment configuration as the exceptionally small Lot 1 will be marginally increased by an additional 6,245m<sup>2</sup> (from 2,820m<sup>2</sup> to 9,065m<sup>2</sup> and reducing Lot 7 from 79.252 ha to 78.6275 ha) to provide to facilitate an additional water supply reservoir to meet water supply demands in the region. The marginal decrease in Lot 7 will not adversely impact long term rural production or the capacity of the lot and the provision of essential infrastructure will support rural production in the region.</p>
	<p>AO1.2 The utility of the lots is maintained or improved where:</p> <p>(a) a frontage to depth ratio exceeds that of the existing allotments;</p> <p>(b) access is provided to an allotment that previously had no access or an unsuitable access;</p> <p>(c) an existing boundary encroachment by a building or areas is corrected;</p>	<p>AO1.2 – Complies The utility of the lots is maintained with Lot 1 remaining enveloped by the substantially larger Lot 7 with existing access to be maintained via the current access easement across Lot 7 from Ween Road. The marginal increase in the area of Lot 1 will improve its useability for essential services that will serve adjoining and adjacent rural properties whilst not significantly reducing Lot 7 leaving it viable to continue rural purposes/activities.</p>
	<p>AO1.3 The realignment does not result in a building contravening the setback, standards required by this Planning Scheme or relevant building regulations.</p>	<p>AO1.3 – Complies. There are no existing buildings or structures that straddle or are in proximity to the proposed new boundary alignments.</p>
	<p>AO1.4 The realignment results in a larger lot that is a more viable farming unit.</p>	<p>AO1.4 – Not Applicable The marginal increase in the area of Lot 1 will improve its useability for essential services that will serve adjoining and adjacent rural properties whilst not significantly reducing Lot 7 leaving it viable to continue rural purposes/activities.</p>
<p>PO2 The boundary realignment facilitates the creation or consolidation of a viable farming unit.</p>	<p>AO2.1 Where covered by the Overlay Map 08:</p> <p>(a) new lot boundaries enhance viable farming units; and</p> <p>(b) the boundaries ensure that a new dwelling is not on agricultural land. and</p> <p>(c) the reconfiguration satisfies the acceptable outcomes in section 6 of the Rural Zone code.</p>	<p>AO2.1 – Complies The site contains Class A agricultural land and is identified in an important agricultural area. The proposal involves a boundary realignment to facilitate an additional water supply reservoir across the site and will have limited impact upon the productive capacity of the land.</p>
<p><b>Section 2 Reconfiguration under a Community Title Scheme – Not Applicable</b></p>		
<p><b>Section 3 All other reconfigurations – Not Applicable</b> (Section 1 for Boundary Realignment applies)</p>		
<p><b>Section 4 All reconfiguring a lot subject to an overlay</b></p>		