



SOUTH BURNETT
REGIONAL COUNCIL

AGENDA

Late Reports

Ordinary Council Meeting

Wednesday, 24 January 2024

Date: Wednesday, 24 January 2024

Time: 9:00am

**Location: Warren Truss Chamber
45 Glendon Street
Kingaroy**

**Mark Pitt PSM
Chief Executive Officer**

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13 PORTFOLIO - NATURAL RESOURCE MANAGEMENT, RURAL SERVICES, AGRICULTURAL INNOVATION, COMPLIANCE AND ENVIRONMENTAL HEALTH

13.1 REQUEST TO APPLY FOR FUNDING UNDER THE QUEENSLAND FERAL PEST INITIATIVE.

File Number: 24/01/2024

Author: Manager Facilities and Parks

Authoriser: Chief Executive Officer

PRECIS

Request for Council to apply for the Queensland Feral Pest Initiative Round 8.

SUMMARY

Application for funding under the Queensland Feral Pest Initiative Round 8, which supports the implementation of feral pig management coordinator positions.

OFFICER'S RECOMMENDATION

That South Burnett Regional Council endorse the development of an application for funding under the Queensland Government Feral Pest Initiative Round (8) in partnership with other local governments, Natural Resource Management groups and Incorporated Industry organisations.

FINANCIAL AND RESOURCE IMPLICATIONS

Council Natural Resource Management operational budget supports feral animal initiatives such as wild dog baiting program, feral pig and rabbit trapping and baiting programs across the entire South Burnett region. The proposed budget for this grant would be an increase in operational budget for of \$70,000 per annum, for 3 years. Break down of this contribution could include \$50,000 for salary and transport, \$20,000 for administration, office space and office equipment.

LINK TO CORPORATE/OPERATIONAL PLAN

OPL/12 Manage biosecurity and pest (weed & animal) management programmes including supporting biosecurity and natural resource management initiatives and strategies.

OPL/37 Adopt and implement the South Burnett Local Government Area Biosecurity Plan to drive increased stakeholder coordination and commitment to proactively manage invasive pest species.

EN4 Ongoing commitment to bio-security and pest management, including declared and non-declared species.

EN7 Support initiatives that promote and protects biodiversity, natural resource management and caring and retaining our unique landscapes.

EN9 Develop and implement a systematic programme to identify and take action to address stray / feral / pests and wild animals.

COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)

Consultation has been held within internal sections of Council and with relevant stakeholders.

LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)

No direct Legal Implications

POLICY/LOCAL LAW DELEGATION IMPLICATIONS

No direct Policy/Local Law Delegation Implications

ASSET MANAGEMENT IMPLICATIONS

No direct Asset implications

REPORT

The Queensland Feral Pest Initiative Round 8(a), provides funding for eligible organisations to implement up to four feral pig management coordinator positions to support the delivery of feral pig management programs. This program aims to reduce the impact of feral pests by suppressing feral pig populations throughout regional Queensland. As per the grant guidelines, South Burnett Regional Council must submit an application with at least two other local government organisations. Council to investigate partnering with Cherbourg Shire Council, North Burnett Regional Council, and incorporated industry organisations for this project.

Applications may include proposed activities such as;

- Coordination of building local capacity and capability for feral pig population destruction
- Coordination of strategic planning for on-ground control works and feral pig management
- Coordination of feral pig management projects
- Coordination of reporting feral pig management activities relevant to key performance indicators of the National Feral Pig Action Plan and other disease preparedness arrangements

If successful, the project that Council would deliver will involve implementing on-ground control works for feral pig management. This would involve employing officers into the feral pig coordinator positions to work collaboratively with local farmers in delivering the proposed activities. The activities that would be implemented through this program would include building capacity and capability through landholder training program, on-ground management including aerial tracking and culling, trapping and baiting programs.

Funding is available for three years and will be used to implement the coordinator position and the proposed management activities.

Applicants should include details of appropriate financial co-contribution by the applicant and other project partners.

Applications close 5pm Thursday 29 February 2024.

ATTACHMENTS

1. Queensland Feral Pest Initiative Round 8(a) Guidelines



Queensland Feral Pest Initiative

Round 8(a) grant funding application guidelines Feral pig coordination - Biosecurity Preparedness

Applicant guidelines and how to apply

Applications close at 5pm AEST 29 February 2024

For more information, please email QldFeralPestInit@daf.qld.gov.au or phone 13 25 23

This publication has been compiled by the Department of Agriculture and Fisheries

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The Department of Agriculture and Fisheries proudly acknowledges all First Nations peoples (Aboriginal peoples and Torres Strait Islanders) and the Traditional Owners and Custodians of the country on which we live and work. We acknowledge their continuing connection to land, waters and culture and commit to ongoing reconciliation. We pay our respect to their Elders past, present and emerging.

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Queensland Feral Pest Initiative Round 8(a) Applicant Guidelines, Department of Agriculture and Fisheries, December 2023

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Important information

Please read these guidelines carefully before starting your application.

The funding outlined in these guidelines is only available to eligible organisations to employ feral pig management coordinators.

Eligible organisations are:

- Regional Organisations of Councils (ROCs) on behalf of a minimum of three participating Local Governments
- Regional Natural Resource Management (NRM) groups
- Land and Sea Ranger Groups or Aboriginal Land Councils
- State Farming organisations
- Incorporated industry organisations

Individuals should contact their local government, industry group, or regional NRM organisations to discuss inclusion in projects.

Eligible organisations should identify agreed project proponents and develop project proposals in consultation with other stakeholders, which may include:

- Primary producers
- Local governments
- Regional NRM organisations
- Landcare groups
- Catchment management groups
- Local training and employment organisations
- Indigenous groups
- Environmental organisations; and
- Other community groups

Closing date for applications – 5pm AEST on 29 February 2024

More information is available by emailing QldFeralPestInit@daf.qld.gov.au or by phoning the Department of Agriculture and Fisheries on 13 25 23.

This sub-round, QFPI Round 8(a), is for feral pig management coordinators only. If you wish to apply for funding for feral pig management innovation and diversification projects, please see Guidelines for QFPI Round 8(b).

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1. Introduction

Invasive plants and animals impact the lives of all Queenslanders, costing Queensland over \$600 million annually in lost production and control costs. They cause degradation of natural resources, including remnant vegetation, threaten conservation of biodiversity, interfere with human health and recreational activities, and cause significant economic losses to Queensland's agriculture industry.

Managing invasive plants and animals is a shared responsibility between all levels of government, communities, industry, and landholders, and it is well recognised that there are benefits to a regionally coordinated and aligned approach. This direct involvement in the planning, development, and implementation of local or regional projects is recognised as key to maximising the benefits of invasive plant and animal management.

The Queensland Government supports effective invasive plant and animal management in Queensland through the Queensland Feral Pest Initiative (QFPI). Through this initiative, funding is allocated to support invasive plant and animal control programs across Queensland.

1.1 Initiative overview

Since 2015, the Queensland Government has allocated \$27.1 million to deliver projects in regional communities across Queensland for invasive plant and animal control and capacity building. This funding has been complemented by a \$14 million investment by the Federal Government.

Some of the projects the QFPI has funded include:

- aerial and on-ground baiting of feral pigs
- feral animal trapping programs
- reinvigorating of sheep regions
- feral animal coordinators to engage landholder and community group participation in control programs
- local government capacity-building activities.

Round 8(a) will be open to eligible organisations for the employment of one or more, up to a maximum of four, feral pig management coordinators in regional Queensland. This coordinator role will be funded to support the initiation and delivery of effective integrated landscape-scale, cross-tenure feral pig management. The role and activities of the coordinator will aim to initially suppress feral pig populations for general management while building local capacity and capabilities to undertake strategic destruction of feral pig populations during an exotic disease incursion.

1.2 Regionally based service delivery

The proposed role of the feral pig management coordinator is to be developed on a regional basis to have an enduring legacy. The focus is on building local capacity for biosecurity preparedness through feral pig population suppression that will reduce the impact and severity during an exotic disease incursion that potentially involves feral pigs. If multiple organisations come together to deliver the project, one organisation (the lead organisation) will be required to manage the funds and establish joint governance arrangements. It is important that the project application clearly identifies the on-ground delivery arrangements.

The Department of Agriculture and Fisheries (DAF) expects all successful applicants involved in the implementation of Round 8(a) will:

- **Deliver the QFPI priorities** through the most appropriate delivery agents and mechanisms that are agreed in local government biosecurity plans and/or NRM regional plans.
- **Report and promote achievements and outcomes at a regional and broader level.** Applicants are expected to operate in a transparent way. They will be expected to include measurable outputs and outcomes and report to the government and their communities on their activities and achievements in relation to projects and related outcomes.
- **Broker partnerships and leverage further sustainable investment for projects.** Applicants should implement projects in partnership with the local communities by engaging investment partners, training and employment agencies, landholders, and local organisations, as appropriate, to achieve optimal outcomes for economic growth.
- **Address biosecurity preparedness priorities** throughout the life of the project while ensuring ongoing feral pig management success generally and after the life of the project in the event of an exotic disease incursion.

1.3 What will be funded?

Eligible organisations are invited to submit an application to host one or more feral pig management coordinator/s within their organisation to address the priorities for investment outlined in Section 2. Funding and delivery of the employment of the feral pig management coordinator/s and their activities will be for a period of up to three years.

Integrated applications that address the objectives of this initiative and display the intention to leave a legacy within the community and that show innovation and a public benefit are encouraged. Applications need to demonstrate how the proposed activities will deliver measurable outcomes to address the relevant priorities.

Where possible, projects should capitalise on current and/or previous investments that have progressed in the development of a shared responsibility towards feral pig management. The role and activities of each feral pig management coordinator may also leverage additional and existing complementary investment from other organisations, such as local governments, other Queensland and federal government agencies, NRM organisations, and peak industry bodies. Applications should include details of appropriate financial co-contributions by the applicant and other project partners in the project budget section of the application.

To enhance biosecurity preparedness, the feral pig management coordinator and their activities must build on existing and/or create new alliances and cooperative governance arrangements between stakeholders across regions.

Detailed information on priorities for investment, budgets, timeframes, eligibility and assessment, and rights and responsibilities are outlined in the following sections:

- Section 2: Investment priorities and objectives
- Section 3: Eligibility
- Section 4: Application and assessment process
- Section 5: Funding agreement requirements
- Section 6: Rights and responsibilities.

2. Investment priorities and objectives

It is critical that all applications are developed on a regional basis. Applications must aim to deliver coordinated activities for biosecurity preparedness in alignment with local government and NRM regional biosecurity plans. A robust overall governance structure for the coordinator role should encompass a

regionally based service delivery and decision-making process and include members from a range of stakeholders, not limited to all levels of government, NRM organisations, industry bodies, and community groups.

2.1 Investment priorities

It is critical that all applicants can leverage additional investment from partner organisations, that service delivery is regionally based, and that decision-making involves input from all relevant levels of government, regional NRM organisations, industry, and other key stakeholders. It is expected that these positions will operate at a landscape scale and will not replace any ongoing local feral pig coordination efforts.

2.1.1 Coordination for biosecurity preparedness

Queensland Government State-wide funding: \$2.163 million

Funding is available for the employment of one or more, up to a maximum of four, feral pig management coordinator positions to support the initiation and delivery of effective feral pig management for both private and public land managers. Funding is offered to eligible applicants for three years. Funding will assist eligible applicants to manage feral pigs by undertaking a coordinator role in integrated landscape-scale, cross-tenure activities across Queensland.

The following eligible organisations may apply for grant funding under Round 8(a) of the QFPI:

- Regional Organisations of Councils (ROCs) on behalf of a minimum of three participating Local Governments
- Regional Natural Resource Management (NRM) groups
- Land and Sea Ranger Groups or Aboriginal Land Councils
- State Farming organisations
- Incorporated industry organisations

2.2 Objectives

Objectives are the intended results that contribute to benefits for Queensland. These objectives have been developed, taking into account government policy priorities.

2.2.1 Building landholder and land manager capability

Applications must demonstrate how the role and activities of the coordinator will be managed locally in the short term and for long-term prosperity for landholders and land managers. Applications must also develop enduring capabilities and skills through the development of planning processes. This development will assist with ongoing, effective feral pig management beyond the life of the project, both generally and in the event of an exotic disease incursion.

Applications must highlight how they link to existing pest management priorities in local plans, state and national strategies, and/or national threat abatement plans and exotic disease preparedness arrangements.

2.2.2 Building knowledge, engagement, and participation

Applications that include significant participation of relevant local and regional stakeholders will be considered favourably.

Applicants should seek to include diverse stakeholders, as relevant to the project, which may include:

- Primary producers

- Local governments
- Regional NRM organisations
- Landcare groups
- Catchment management groups
- Local training and employment organisations
- Indigenous groups
- Environmental organisations; and
- Other community groups

The application may identify and integrate labour and skills-based organisations to be directly involved in projects to maximise the use of regional labour and skill development initiatives funded by the Queensland and Federal Governments that generate positive impacts on employment.

2.2.3 Projects are technically feasible, provide value and facilitate local employment

Applications must demonstrate the level of contributions from landholders, land managers, industry, local governments, state land managers, and other project partners, including the ongoing level of stakeholder and public support.

Applications must include information regarding the technical expertise and support for the project, as well as an assessment of its operational feasibility and value for money, including investment from other parties.

Applications should demonstrate a commitment to supporting the community through local job creation.

2.2.4 Projects including measurable and reportable outcomes

Applications must include key success indicators and success measures, including the expected sustainable agricultural and biodiversity outcomes and capacity-building outcomes that the project will achieve.

3. Eligibility

Organisations must consider the eligibility criteria outlined below before applying.

3.1 Eligibility of applicant

Eligible organisations must be either:

- Regional Organisations of Councils (ROCs) on behalf of a minimum of three participating Local Governments
- Regional Natural Resource Management (NRM) groups
- Land and Sea Ranger Groups or Aboriginal Land Councils
- State Farming organisations
- Incorporated industry organisations

Organisations should identify agreed project proponents and develop projects in consultation with affected stakeholders.

The applicant must not have any overdue project acquittals from Queensland Government funding at the time of contracting.

3.2 Eligible projects

Applications that address funding priorities, objectives for investment, and target local and/or regional-level priorities in a cost-effective and justifiable way will be considered for funding. Strong collaboration with other relevant regional stakeholders is mandatory.

Applications may include at least one or a combination of proposed activities, such as:

- coordination of building local capacity and capability for feral pig population destruction
- coordination of strategic planning for on-ground control works for feral pig management
- coordination of feral pig management projects
- coordination of reporting of feral pig management activities relevant to key performance indicators of the National Feral Pig Action Plan and other disease preparedness arrangements

QFPI Round 8(a) projects must capitalise on past learnings and encourage innovation and advancement in the adoption of control tools, management methodologies, and approaches, optimising biosecurity preparedness systems. Coordinated projects should also work towards strengthening capacity to establish partnerships and leveraging cooperative investment in the management of feral pigs' generally and in the event of an exotic disease incursion.

3.3 What will not be funded?

QFPI will not fund projects or activities that:

- facilitate on-ground control work for an invasive species other than feral pigs
- do not address one or more of the priorities for investment in Section 2
- have been undertaken before executing a Grant Agreement with the Queensland Government
- are a current or previous recipient of government or third-party funding for essentially the same project
- result in a direct breach or are likely to cause a breach of State and/or Commonwealth legislation
- are required to meet the core "business as usual" requirements of the applicant, particularly statutory responsibilities
- are likely to have a significant adverse impact on Indigenous cultural heritage and/or have not received approval for the proposed activities through relevant State legislative requirements
- predominantly support research, tool building, and/or modelling approaches, except where it is demonstrably required to achieve on-ground outcomes in line with priorities and the needs of the particular project
- are for political advocacy
- deliver a purely private or business development/commercial benefit
- involve the purchase of equipment or materials that are normally part of an applicant's responsibility, unless a critical link to QFPI funding priorities and objectives can be demonstrated prior to the execution of the grant agreement
- provide bounties for the control of vertebrate pests
- are not in accord with humane vertebrate pest best practice (refer to *Animal Care and Protection Act 2001*, PESTSMART, and 'A model for assessing the relative humaneness of pest animal control methods')
- are outside of Queensland

- purchase assets and/or capital purchases without express written permission
 - e.g. any project that requires the construction of a facility, purchase of plant or equipment
- contain undisclosed administration costs greater than 7.5% of the total contracted value

DAF reserves the right, during the assessment process, to adjust project allocations within or across financial years and to impose conditions on approvals. DAF also reserves the right to redirect investment at any stage if applications do not meet QFPI guidelines.

4. Application and assessment process

Applicants must submit an official application and budget on the department templates, without any alterations. The completed application, budget template, and supporting documents should be submitted electronically to QldFeralPestInit@daf.qld.gov.au by 5pm AEST on 29 February 2024.

Requests for an extension should only be sought in extenuating circumstances. DAF has no obligation to accept a request for extension or late applications. DAF will make a case-by-case assessment as required.

4.1 Receipt and registration of applications

DAF will, as part of the assessment process, acknowledge all applications and provide a reference number.

As part of the assessment process, DAF will screen applications to confirm whether the eligibility criteria in Section 3 have been met. Applications that do not meet the eligibility criteria, at DAF's discretion, may be excluded from the remainder of the assessment process.

4.2 How will applications be assessed?

Project applications will be assessed by the QFPI Oversight Group, which includes representatives from industry, regional bodies, community groups, and Queensland Government agencies.

The QFPI Oversight Group may appoint a technical panel to assist with the initial project assessment.

To ensure objectivity, members of the oversight group or technical panel will declare any conflicts of interest, including discussions that have taken place with applicants that may represent a real or perceived conflict of interest. Where a conflict of interest exists, the relevant member will abstain from participating in the assessment of the project application in question.

The assessment process will encompass all applications and will:

- undertake a thorough assessment of all proposals against the set assessment criteria (as outlined below, Section 4.3)
- recommend the removal of ineligible activities or sub-projects
- propose any necessary conditions to be applied to applications or budget
- moderate the applications overall with a view to recommending an appropriate funding allocation, based on regional capacity and total funding available to meet the allocated budget priorities
- consider the balance of funding between activities and recommend any adjustments to projects to support funding allocations

The assessment will also identify any issues requiring attention before final approvals are given. These may include opportunities for cross-jurisdictional or regional collaboration, budgetary, and contracting issues.

Organisations will be advised of the application outcome following the assessment and official announcement of the successful applicants. Successful projects will also be published on the DAF website: <https://www.daf.qld.gov.au/business-priorities/biosecurity/invasive-plants-animals/qld-feral-pest-initiative>.

4.3 Assessment criteria

All applications will be assessed by the QFPI Oversight Group against the below criteria.

4.3.1 Criteria 1 – Complementary to existing activities and enhances exotic disease preparedness

The proposed role and activities of the coordinator are additional to work currently undertaken or underway for the management of feral pigs, both generally and in the event of an exotic disease incursion.

The role and activities of the coordinator must not undermine or replace existing activities or employment. The applicant must detail work that is being undertaken and demonstrate how the proposed role will complement and enhance existing activities.

Applicants must provide details of any other state or federal government funding sources for which an application has been made (awaiting assessment/outcome) or funds granted for the proposed or complementary activities, including how much, for what purpose, the current status of the application, and any other relevant information.

4.3.2 Criteria 2 – Strategic and best practice management

Applicants must provide details of the strategic and best practice management activities that will be undertaken or coordinated by the coordinator, and they must ensure that monitoring and evaluation are incorporated into the application.

Applicants must demonstrate technical expertise and support for the lifetime of the project, as well as an assessment of its operational feasibility and value for money. Applicants must also demonstrate the potential extent of ongoing stakeholder and public support.

The proposed coordinator position and associated activities should increase stakeholder capacity and willingness to collaborate to combat feral pig presence. Applicants must demonstrate how the role and activities of the coordinator ensure stakeholder participation, both generally and in the event of an exotic disease incursion.

4.3.3 Criteria 3 – Aligns with local, regional, state, and national priorities for biosecurity preparedness

Applicants must demonstrate how the role and activities of the coordinator will gain stakeholder support by targeting areas with the highest potential impacts during an event of an exotic disease incursion in feral pigs.

The roles and activities of the coordinator should be delivered through the most appropriate delivery agents and mechanisms that are in accord with current local, regional, state, or federal plans, such as local government biosecurity plans, NRM regional plans, the National Feral Pig Action Plan, and/or exotic disease response plans. These plans were developed with extensive community and stakeholder consultation and are representative of community priorities.

4.3.4 Criteria 4 – Value for money

Applications must demonstrate value for money and clearly detail anticipated project costs, including administration expenses such as:

- corporate governance and compliance costs
- reasonable office/equipment operating costs
- project proposal planning and development
- project performance monitoring, reporting, and evaluation systems
- project management staff costs, including salary and travel

Applications may include undisclosed administration costs up to 7.5% of the total project cost. If administration costs exceed 7.5% of the total project cost, a detailed breakdown of administration costs must be included in the application.

4.3.5 Criteria 5 – Regionally developed

The role and activities of the coordinator must be developed on a regional basis and include local government, ROCs and regional NRM organisations, industry, additional relevant stakeholder groups, and/or any other relevant organisations.

Applicants must identify a single organisation that will take the lead in project governance, including the administration of funds and the employment of the feral pig management coordinator/s.

4.3.6 Criteria 6 – Monitoring and evaluation

The monitoring and evaluation (M&E) of the role and activities of the coordinator is critical to ensuring that the role’s achievements are demonstrated and documented. This should be done through the measurement of activities, outputs, and outcomes. Applications must include baseline information and manageable targets to allow progress to be measured and outputs to be reported.

Baseline data can be gained from local government databases, NRM databases, and/or previous or complementary projects.

NOTE: examples are also provided in the application, adjust the table content as necessary.

Table 1 Examples of activities/outputs and possible measures

Activities/Outputs	Measures	Baseline	Target/Indicators
Development of property or local government biosecurity plans	a. Number of property or local government biosecurity plans b. Area (Ha) covered by the management plans	Situation at the time of contract agreement	Number/area required to achieve project outcomes
Coordination of feral pig control activities	a. Area of trapping support b. Area of strategic baiting c. Area of aerial shooting d. Area of other control method	Number of activities at time of contract agreement	Number of activities required to achieve project outcomes
Facilitation of coordinated control	a. Number of properties assisted with trapping, aerial baiting, or on-ground baiting a. Area (Ha) covered by coordinated activities	Amount of coordinated activity at time of contract agreement	Amount of coordinated activity required to achieve project outcomes

Engagement and involvement of stakeholders in project activities	<ul style="list-style-type: none"> a. Number of awareness raising activities and number of people engaged b. Number of people actively recruited to project activities b. Amount of active management by project participants (number of person-days¹) 	Situation at time of contract agreement	To be determined by applicant (Number of stakeholders and/or events required to meet project objectives)
Capacity building event/activities (e.g. feral pig management demonstrations, field days, training, displays etc.)	<ul style="list-style-type: none"> a. Number of capacity building events/activities c. Number of person-days¹. 	Number of events prior to project	To be determined by applicant (Number of activities required to achieve project outcomes)
Regional employment associated with the project	<ul style="list-style-type: none"> a. Number of people employed b. Number of hours 	Employment at time of contract agreement	Expected numbers of people employed/hours of employment directly associated with project investment
Amount of funding leveraged	<ul style="list-style-type: none"> b. In-kind contributions (calculated in dollar terms) c. Cash contributions (clearly identified) 	Existing investment in pest management at time of contract agreement	Expected additional investment in project activities

¹To calculate person-days, multiply the number of participants by the amount of a day or days the event/management activity ran for (use only half or full day units) and round totals to the nearest whole number.

The Queensland Government requires each applicant to include, as a minimum, quantitative measures regarding the improvement of volunteer, landholder, and industry engagement, knowledge and skills, and Indigenous employment and/or engagement.

Progress towards long-term benefits should be evidenced by measurable project outcomes. Examples of measurable outcomes are shown in Table 2 as a guide for this purpose.

Table 2 Examples of measurable outcomes that demonstrate intermediate outcomes/project outcomes

Outcomes	Measures	Baseline	Target/Indicators
Reduction in impact of feral pigs on agricultural, environmental, and social systems	<ul style="list-style-type: none"> a. Percentage of stock attacked, and number of losses compared to baseline data Where direct impacts cannot be assessed, the following indicators can be used: b. Reduction of feral pig impacts on agricultural, environmental, or social condition. 	Situation at the time of contract agreement	Expected reductions sufficient to achieve project goals

	Observed examples of pasture/ environment condition improvements (i.e., where it can't be measured at a landscape scale)		
Emerging populations of feral pigs are prevented from establishing	<p>a. Reduction in the number of emerging populations identified in the target area/s</p> <p>All detected populations are identified and controlled at an early stage in the event of a disease incursion</p>	Situation at the time of contract agreement	For eradication purposes, should be 100% detection and control.
Increased landholder/stakeholder participation in best practice feral pig management generally and in the event of an exotic disease incursion	<p>a. Increased capability and willingness of land managers to engage in best practice generally feral pig management</p> <p>b. Increase in number/frequency of feral pig management activities in the event of an exotic disease incursion</p>	Information on participation levels at the time of contract agreement	Expected participation levels to achieve project goals

5. Grant agreement

The Queensland Government, through DAF, will negotiate a grant agreement (the agreement) with each successful applicant. This agreement will be executed once any specified conditions of funding have been met. It is a performance-based, legally enforceable agreement, setting out the terms and conditions governing the funding.

If the agreement is not finalised within 20 business days from the date the offer is made, the offer of funding may be withdrawn by DAF.

5.1 Project commencement

Organisations will be advised of the outcome of their applications in writing by email.

Project activities, including the employment of a coordinator, undertaken prior to the execution of the agreement are at the full risk of the applicant and will not be funded under the agreement. Until the agreement is fully executed (signed by both parties), the funds are not guaranteed and can be redirected by DAF at any stage.

5.2 GST

The agreement is subject to normal taxation treatment, and no special arrangements will apply. You should seek independent advice on the tax implications of receiving a grant. Project budgets in applications should be GST-exclusive. GST will be added to funding payments (as applicable) to meet legislative obligations under the *A New Tax System (Goods and Services Tax) Act 1999 (Cwth)*.

5.3 Monitoring and reporting

Reporting on performance will provide evidence about the appropriateness, impact, effectiveness, efficiency, and overall outcome of on-ground investments made through the QFPI.

The Queensland Government requires each applicant to include, as a minimum, quantitative measures regarding the increase in volunteer, landholder, and industry skills, knowledge and engagement, and Indigenous employment/engagement.

5.4 Communication requirements

Successful applicants shall be required to keep DAF and the community informed of the progress of QFPI projects and the delivery of outcomes through web content, social media, and the release of progress reports.

Recipients are required to acknowledge the funding source in all project materials, publications, and activities. This statement and the approval process for the material will be discussed further with all successful applicants.

6. Rights and responsibilities

6.1 Applicant's responsibilities

It is the responsibility of the applicant to:

- inform themselves fully and properly of the requirements of the QFPI, these guidelines, and the requirements of the application process
- ensure that their application is complete and accurate, as DAF is not obliged to request additional or missing information
- identify any information contained within their application that they consider should be treated as confidential and provide reasons for the request (noting that DAF will not be in breach of any confidentiality obligations where disclosure is required, as outlined further in section 6.4 below)
- keep a copy of their application and any attachments for their own records
- inform DAF of any changes to their circumstances that may affect their application or their eligibility for funding under these guidelines

If an applicant is successful in obtaining funding, it is the applicant's responsibility to ensure that they hold the relevant insurance/s at the time of entering into the funding agreement and prior to any project activities being undertaken. DAF may require the applicant to provide copies of the relevant certificates of currency for their insurance.

Applicants are also required to declare in writing to DAF where a real or perceived conflict of interest exists or might arise in relation to their application, the proposed project delivery, or any funding agreement they may enter into with the Queensland Government.

The applicant's participation in any stage of the application process, or in relation to any matter concerning the process, is at the applicant's sole risk, cost, and expense. The Queensland Government will not be responsible for any costs or expenses incurred by an applicant in preparing, lodging, or taking part in the application/assessment process.

The Queensland Government will not accept responsibility for any misunderstanding arising from the failure by an applicant to comply with these guidelines or arising from any discrepancies, ambiguities, inconsistencies, or errors in their application.

Applicants are entirely responsible for the accuracy of all information submitted in their application. If applicants knowingly provide inadequate, false, or misleading information, the application may be excluded from the assessment process.

If an applicant discovers any material discrepancy, ambiguity, inconsistency, or error in their application, they must immediately bring it to the attention of DAF by emailing QldFeralPestInit@daf.qld.gov.au. DAF may request further information from an applicant and allow an applicant to remedy any discrepancy, ambiguity, inconsistency, or error in an application. DAF reserves the right to accept or disregard clarification information provided by the applicants and will not consider clarification information that materially improves or amends an applicant's original application.

Applicants should be aware that giving false or misleading information is a serious offence.

6.2 Queensland Government's rights

The Queensland Government, through DAF, reserves the below rights:

- to amend these guidelines in its absolute discretion and will provide reasonable notice of these amendments where possible.
- to vary, suspend, or terminate the assessment process at any time.
- to the ownership around any data collected from participants at the implementation, during, and after the closure of a round of the QFPI, subject to privacy and commercial considerations

6.3 Disclaimer

The Queensland Government, including DAF and their officers, employees, agents, and advisors:

- are not, and will not be, responsible or liable for the accuracy or completeness of any information in or provided in connection with these guidelines
- make no express or implied representation or warranty that any statement as to future matters will prove correct
- disclaim any and all liability arising from any information provided to an applicant, including errors in or omissions contained in that information
- except in so far as liability under any statute cannot be excluded, accept no responsibility arising in any way from errors or omissions contained in these guidelines
- accept no liability for any loss or damage suffered by any person as a result of that person, or any other person, placing reliance on the contents of these guidelines or any other information provided by the Queensland Government in respect of the QFPI

6.4 Confidentiality and privacy

Applicants must identify any information contained within their application that they consider should be treated as confidential and provide reasons for the request.

DAF will only consider a request for confidentiality where:

- the information to be protected is identified in specific rather than global terms
- the information is, by its nature, confidential
- disclosure would cause detriment to the parties concerned.

DAF is subject to the legislative and administrative accountability and transparency requirements of the Queensland Government, including disclosures to the parliament and its committees.

Notwithstanding any obligations of confidentiality, DAF may disclose, or allow at any time the disclosure of, any information contained in or relating to any application:

- to their advisers (including the QFPI Oversight Group, technical panel, or an entity engaged with a confidentiality agreement to deliver grant administration services), employees, or internal management for purposes related to the application and assessment processes, including to evaluate or otherwise assess applications and manage any resultant funding agreement
- to the responsible Minister
- in response to a request by a house or a committee of the parliament of the state of Queensland
- within DAF, or with another agency, where this serves the Queensland Government's legitimate interests
- where the information is authorised or required by law to be disclosed, noting that information submitted to the Queensland Government is subject to the *Right to Information Act 2009 (Qld)* and its requirements
- where the information is already in the public domain, otherwise than due to a breach of any relevant confidentiality obligation by the Queensland Government.

In submitting an application, applicants consent to DAF using the information contained in their application for the above-mentioned purposes, for administering the QFPI, and for any other incidental or related purpose.

DAF will store and use the personal information collected by it in compliance with its obligations under the *Information Privacy Act 2009 (Qld)*.

17 PORTFOLIO - REGIONAL DEVELOPMENT, DEVELOPMENT SERVICES, COMMUNITY & SOCIAL HOUSING**17.1 MATERIAL CHANGE OF USE - RESIDENTIAL CARE FACILITY (GENERAL CARE UNITS, NDIS UNITS, PALLIATIVE CARE UNITS AND DEMENTIA CARE UNITS), HEALTH CARE SERVICES, HOSPITAL (PLUS 42 X ANCILLARY SHORT-TERM STAFF ACCOMMODATION, CAFE AND FLORIST) AND CHILD CARE CENTRE (50 ENROLMENTS), AT 25 & 31 MARKWELL STREET & 7 GLENDON STREET, KINGAROY (AND DESCRIBED AS LOT 1 ON RP42037, LOT 1 ON RP57027, LOTS 2 & 3 ON RP7925 & LOTS 4 & 5 ON SP146001) - APPLICANT: ETHOS HEALTH CARE PTY LTD & C 59 PTY LTD C/- ISAAC CONSULTING PTY LTD**

File Number: MCU23/0024
Author: Chief Executive Officer
Authoriser: Chief Executive Officer

PRECIS

Material Change of Use – Development Permit for a Staged Mixed-Use Development – Residential care facility, Health care service, Hospital, Child care centre and Food & Drink Outlets/Shop. The applicant is Ethos Health Care Pty Ltd (A.C.N. 661 843 992) & C 59 Pty Ltd (A.C.N. 600 809 970) c/- Isaac Consulting Pty Ltd and the application reference is MCU23/0024

SUMMARY

- Material Change of Use – Development Permit (Residential care facility, Health care service, Hospital, Child care centre and Food & Drink Outlets/Shop);
- Proposed development includes a staged mixed-use development (7 storeys) to incorporate the above uses comprising:

Stage 1

- Residential care facility
 - 117 beds
- NDIS
 - 20 NDIS beds plus 2 carer units
- Health care services
 - 1,200sqm approximately including radiology, medical clinic and pathology
- Hospital
 - 8 beds plus 3 staff short term accommodation units (3 beds)

Stage 2

- Residential care facility
 - 105 beds
- NDIS
 - 20 NDIS beds plus 2 carer units
- Child Care Centre
 - 50 enrolments (11 employees)
- Health care services
 - 120sqm approximately including oncology & allied health
- Shop and Food & Drink Outlet
 - 190sqm approximately including shop, café and florist
- Hospital
 - 39 staff short term accommodation units (73 beds)

Stage 3

- Residential care facility
 - 92 beds
- Until construction of Stage 2 commences, the existing Lady Bjelke-Petersen Community Hospital will be operational to ensure that care remains available to the local community;

- Stage 1 built form will comprise a maximum of 7 storeys (6 x storeys with a partially covered rooftop);
 - It is expected that during construction of all stages, on-street carparking on Glendon Street will be affected to facilitate construction management, resulting in some carparking spaces not being available for use.
- Stage 2 proposes relocation of all existing services and facilities from Lady Bjelke Petersen Community Hospital, construction of the second wing of the facility and demolition of the old hospital and medical centre;
 - To accommodate for the temporary on-site parking the existing radiology clinic may be demolished at this stage.
- Stage 3 will complete the development. This includes construction of a new car park facility;
- The subject site is located in the Principal Centre Zone and Community Facilities Zone (C6 – Hospital) under the South Burnett Regional Council Planning Scheme;
- The proposal triggered impact assessment based on the following:
 - ‘Hospital’ is an undefined use in those sections of the site subject to Kingaroy’s Principal Centre Zone.
 - The height of the development departs from the 3-storey height limit in the Kingaroy Principal Centre.
- The subject site is 9,477sqm in area;
- The application was assessed against the South Burnett Regional Planning Scheme 2017 v1.4, inclusive of the following aspects:
 - Part 3 Strategic Framework;
 - Part 6.2.3 Principal Centre Zone Code;
 - Part 6.2.10 Community Facilities Zone Code; and
 - Part 8.4.2 Services & Works Code.
- Assessment of the application took into account ‘relevant matters’ pursuant to Section 45(5)(b) of the *Planning Act 2016* inclusive of:
 - Economic/Community Need
 - Regional Planning Instruments (Wide Bay Burnett Regional Plan 2023)
 - The draft South Burnett Regional Council Planning Scheme major amendment (currently under public consultation).
- The application triggered assessment by the State Assessment and Referral Agency (SARA) in relation to Department of Transport & Main Roads and urban design triggers;
- An information request was issued on the 16 November 2023 and raised the following matters (based on South Burnett Regional Planning Scheme 2017 v1.4):
 - The applicant was asked to provide additional justification regarding the proposed departure from the current 3-storey height limit (to a height of 7 storeys)
 - Further clarification was sought regarding calculations for onsite car parking and impacts the development may have within the Markwell/Glendon Street road network
 - The information request also sought clarification regarding the Applicant’s Economic and Demand Report:
 - It was suggested the applicant’s Economic and Demand Report be peer reviewed by an appropriately qualified professional to ensure assumptions contained within the report were correct in terms of need/sufficient planning reasons to depart from the current Planning Scheme
 - The applicant was requested to clarify the appropriateness of Specialist Disability Accommodation (SDA) / National Disability Insurance Scheme (NDIS) use proposed for the sixth level of the building as per the applicant’s submitted Economic and Demand Report regarding.
- On 4 December 2023, the applicant responded to Council’s information request addressing some of the matters raised by Council on 16 November 2023 inclusive of the following:
 - Town planning material submitted with the information request response contributed to justification of the proposed height;
 - An addendum to the initial Economic and Demand Report was provided which reiterated the detailed justification of economic need and demand made (in the initial EDR lodged)

- Built form arguments relating to comparisons to the Kingaroy Peanut Silos were reiterated.
- Amended traffic engineering material clarified car parking rate calculations and subsequent onsite parking availability during the construction period
- An architectural statement outlining inspiration for proposed building design which include
 - Responsiveness to local climatic conditions & energy efficiency.
 - Inspiration drawn from local built form, traditional character, and colouring.
 - Acknowledgment of local history.
 - Focus on well defined (and connected attractive local spaces).
- Assessment of the Applicant’s information request response determined:
 - The EDR for the uses proposed, but has not been peer reviewed
- The application underwent public notification from 7 December 2023 to 17 January 2023. No submissions were received;
- The material submitted with the development application has been assessed (inclusive of all material initially lodged and the response to Council’s information request) with the following determinations made:
 - Need for the proposed uses within the region likely exists however, further peer review (by a qualified professional) may support the applicant’s claims of need.
 - The applicant’s justification for a 7 storey building addresses necessary aspects of assessment in terms of ‘Relevant Matters’, ‘Strategic Planning Scheme Framework’, and ‘Regional Planning Instruments’, however, further detailed information would assist in determining whether:
 - Arrangement of the proposed uses (vertically) is wholly a one-off community benefit that outweighs height limits currently imposed in the Kingaroy Principal Centre; and/or Kingaroy’s envisaged role as a ‘regionally significant centre’ may be cause for unforeseen land-supply issues, particularly in the Principal Centre, and therefore concepts such as urban consolidation, may be a necessity in certain locations.
 - Amended traffic engineering material clarified parking rate calculations and subsequent onsite parking availability during the construction period.
 - Matters relating to impacts and works required in Markwell Street and Glendon Street are resolved.
- Based on the material made available, the proposed development would be of great benefit to Kingaroy community, though additional information may further act to justify the compliance argued by the applicant;
- Refer to Attachment A – Statement of Reasons;
- Refer to Attachment B – Infrastructure Charges Notices;
- Refer to Attachment C – Approved Plans; and
- Refer to Attachment D – SARA response.
- The application is recommended for approval, subject to reasonable and relevant conditions.

OFFICER’S RECOMMENDATION

That Council approve the Development Permit for Material Change of Use for a Staged Mixed-Use Development – Residential care facility, Health care services, Hospital, Child care centre and Food & Drink Outlets/Shop on land at 25 & 31 Markwell Street & 7 Glendon Street, Kingaroy (formally described as Lot 1 on RP42037, Lot 1 on RP57027, Lots 2 & 3 on RP7925 and Lots 4 & 5 on SP146001) – Applicant: Ethos Health Care Pty Ltd & C 59 Pty Ltd C/- Isaac Consulting Pty Ltd, subject to the following conditions:-

GEN1. The development must be completed and maintained generally in accordance with the approved plans and documents and any amendments arising through conditions to this development approval:

APPROVED PLANS

Drawing Title	Prepared by	Drawing no.	Issue	Date
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Stage 1 – Approved Plans				
Ground Floor – Stage 1	BLACK INK	SK-06	Issue 10	21 Dec 2023
Level 1 Plan – Stage 1	BLACK INK	SK-07	Issue 10	30 Nov 2023
Level 2 Plan – Stage 1	BLACK INK	SK-08	Issue 10	30 Nov 2023
Level 3 Plan – Stage 1	BLACK INK	SK-09	Issue 10	30 Nov 2023
Level 4 Plan – Stage 1	BLACK INK	SK-10	Issue 10	30 Nov 2023
Level 5 Plan – Stage 1	BLACK INK	SK-11	Issue 10	30 Nov 2023
Roof Plan – Stage 1	BLACK INK	SK-12	Issue 10	30 Nov 2023
Ground Floor Landscape Concept	AGLA	Sheet 2	Issue B	11 Oct 2023
Rooftop Landscape Concept Plan	AGLA	Sheet 8	Issue B	11 Oct 2023
Stage 2 – Approved Plans				
Ground Floor – Stage 2	BLACK INK	SK-13	Issue 10	15 Jan 2024
Level 1 Plan – Stage 2	BLACK INK	SK-14	Issue 10	30 Nov 2023
Level 2 Plan – Stage 2	BLACK INK	SK-15	Issue 10	30 Nov 2023
Level 3 Plan – Stage 2	BLACK INK	SK-16	Issue 10	30 Nov 2023
Level 4 Plan – Stage 2	BLACK INK	SK-17	Issue 10	30 Nov 2023
Level 5 Plan – Stage 2	BLACK INK	SK-18	Issue 10	30 Nov 2023
Roof Plan – Stage 2	BLACK INK	SK-19	Issue 10	30 Nov 2023
Ground Floor Landscape Concept	AGLA	Sheet 2	Issue B	11 Oct 2023
Level 2 Landscape Concept	AGLA	Sheet 4	Issue B	11 Oct 2023
Rooftop Landscape Concept Plan	AGLA	Sheet 8	Issue B	11 Oct 2023
Stage 3 – Approved Plans				
Ground Floor – Stage 3	BLACK INK	SK-20	Issue 10	15 Jan 2024
Level 1 Plan – Stage 3	BLACK INK	SK-21	Issue 10	30 Nov 2023
Level 2 Plan – Stage 3	BLACK INK	SK-22	Issue 10	30 Nov 2023
Level 3 Plan – Stage 3	BLACK INK	SK-23	Issue 10	30 Nov 2023
Level 4 Plan – Stage 3	BLACK INK	SK-24	Issue 10	30 Nov 2023
Level 5 Plan – Stage 3	BLACK INK	SK-25	Issue 10	30 Nov 2023
Roof Plan – Stage 3	BLACK INK	SK-26	Issue 10	30 Nov 2023
Ground Floor Landscape Concept	AGLA	Sheet 2	Issue B	11 Oct 2023
Level 2 Landscape Concept	AGLA	Sheet 4	Issue B	11 Oct 2023
Level 5 Landscape Concept	AGLA	Sheet 6	Issue B	11 Oct 2023
Rooftop Landscape Concept Plan	AGLA	Sheet 8	Issue B	11 Oct 2023
Section S01	BLACK INK	SK-29	Issue 09	05 Oct 2023
(Elevations 1) North Elevation	BLACK INK	SK-30	Issue 09	05 Oct 2023
(Elevations 1) East Elevation	BLACK INK	SK-30	Issue 09	05 Oct 2023
(Elevations 2) South Elevation	BLACK INK	SK-31	Issue 09	05 Oct 2023
(Elevations 2) West Elevation	BLACK INK	SK-31	Issue 09	05 Oct 2023
Landscaping Elevation Plans				
Landscape Section – Section – A	AGLA	Sheet 9	Issue B	11 Oct 2023
Landscape Elevations – South Elevation	AGLA	Sheet 10	Issue B	11 Oct 2023
Landscape Elevations – West Elevation	AGLA	Sheet 12	Issue B	11 Oct 2023

Where there is a conflict between the conditions of this approval and the details shown on the approved plans and documents, the conditions of approval prevail.

DOCUMENTS REFERRED TO IN THIS APPROVAL (ALL STAGES)

- CRG ACOUSTICS Environmental Noise Impact Assessment_23062_Revision 2_ Dated 6 October 2023.
- Lambert & Rehbein (SEQ) Pty Ltd Traffic Impact Assessment (Letter) ref_B23192TL001.
- Lambert & Rehbein (SEQ) Pty Ltd - Waste Management – Proposed Health Precinct – Revision 1, Dated 14 September 2023.

STAGE 1 CONDITIONS

GENERAL

Unless otherwise amended by the following conditions.

GEN2. All works including the repair or relocation of services (Telstra/lighting) are to be completed at no cost to council.

GEN3. The applicant is required to maintain the site in a clean and orderly state at all times.

GEN4. All existing lots are to be amalgamated into a single lot prior to the commencement of Stage 1's site works.

ADDITIONAL DRAWINGS (STAGE 1)

GEN5. Prior to the commencement of Stage 1 works, provide detailed elevations of the intended Stage 1 building inclusive of the following:

- Confirm extent of façade treatments to be presented to Glendon Street frontage (east), & façade treatments closest to the adjoining property boundary (west).
- Interim façade treatments to all blank walls exposed prior to enactment of subsequent Stages 2 & 3.

COMPLIANCE ASSESSMENT

GEN6. All conditions of this approval are to be satisfied prior to Council issuing a compliance certificate for the commencement of the use and it's and it is the applicant's responsibility to notify Council to inspect compliance with conditions.

Compliance certificate fee will be charged with payment required prior to council approval of the associated documentation requiring compliance assessment.

CONDITION TIMING

GEN7. Unless stated otherwise, all conditions are to be complied with prior to commencement of the use and compliance maintained at all times while the use continues.

BUILDING MANAGEMENT STATEMENT

GEN8. Ensure a Building Management Statement is registered on the title

The Building Management Statement must cover common building management items including but not limited to any shared:

- support, services and utilities;
- pedestrian and vehicle access;
- car parking including visitor and disabled spaces;
- vehicle servicing areas including loading docks;
- refuse storage and collection areas;
- storage areas;
- recreation areas

Timing: Prior to the occupancy of the building or issue of Certificate of Classification whichever occurs first.

- GEN9. The building management statement must be submitted to, and the content accepted by South Burnett Regional Council's 'Development Services'.
- GEN10. Lodge the accepted building Management Statement with the Registrar of Titles for the relevant Queensland State Government Authority.
- GEN11. Submit to South Burnett Regional Council's 'Development Services' evidence of the registration of the accepted Building Management Statement.

PLANNING

NATURE & EXTENT OF THE APPROVED USE

- MCU1. Stage 1 uses are limited to those identified on the approved plans (Ground Level through to Level 6).
- MCU2. Multi-Purpose Roofed Area (280m²) & Chapel (100m²), located on roof top must remain ancillary to the approved Residential care facility and Hospital only.
- MCU3. Existing buildings and ancillary components identified on 'Ground Floor – Stage 1' are to be suitably maintained in a lawful manner where required for interim use.
- MCU4. Landscape areas associated with existing buildings identified on 'Ground Floor – Stage 1' are to be maintained during interim use.

DEMOLITION

- MCU5. In the event existing buildings identified on 'Ground Floor – Stage 1' are demolished (in preparation of Stage 2 works) and site remains vacant for more than 3 months, all exposed areas are to appropriately treated for erosion and sediment control eg. turfed as agreed to by Council.

BUILDING HEIGHT

- MCU6. The maximum building height (Stage 1) must be in accordance with the following:
- Maximum overall vertical height of 33.5m (from existing ground level) to the peak roof height shown in approved drawing SK-29_Section S01_ (issue 09) _date 5 October 2023; and
 - Finished floor levels are in accordance with those specified in the approved drawing SK-29_Section S01_ (issue 09) _date 5 October 2023; and Total number of storeys is 7 with arrangement (of storeys) to be in accordance with that shown in approved drawing SK-29_Section S01_ (issue 09) _date 5 October 2023.
- MCU7. Submit to Council certification from a registered surveyor confirming that the 'as constructed' floor, roof levels, and overall height are in accordance with the requirements of condition MCU6.

Timing: Prior to issue of certificate of classification/Final Inspection Certificate, or prior to commencement of use (whichever comes first).

EXTERNAL ARCHITECTURAL DETAILS

- MCU8. External details of the building façade treatment and external materials, colours and finishes must be consistent with approved drawings and documents.

AWNING IN THE ROAD RESERVE

- MCU9. Provide a pedestrian awning along Glendon Street to the extent of the building façade (fronting Glendon Street).

SECURITY LIGHTING

- MCU10. Install a lighting system to the underside of the proposed awning over the footpath in accordance with the relevant Australian Standards and in accordance with the following:
- Suitably qualified professional is to submit a detailed lighting plan demonstrating that under awning lighting complies with applicable Australian Standards (for Pedestrian Areas).
 - Implement in accordance with the detailed lighting plan and provide Council with certification of completed works (from a licensed electrical contractor).
 - Maintain the awning lighting system at all times.
- MCU11. Install and maintain a suitable system of security lighting to operate from dusk till dawn within all areas where the public may gain access, including carparking areas, building entrances, and vegetated areas.
- MCU12. Design of all external lighting in accordance with AS 4282-1997 '*Control of obtrusive effects of outdoor lighting*', ensuring that light spillage does not cause nuisance to nearby sensitive uses.
- MCU13. Provide certification from a suitably qualified professional that all security lighting installed complies with applicable Australian Standards and retains acceptable impacts on adjoining (or nearby) sensitive uses.

FENCING AND ACOUSTIC TREATMENTS

- MCU14. All fencing and acoustic treatments to be in accordance with the CRG Acoustics - Environmental Noise Impact Assessment, Reference 23062, Revision 2, Dated 6 October 2023.

Nb. The combined height of the retaining wall, fencing and/or acoustic barrier must not exceed the adopted height as referred to in the Environmental Noise Impact Assessment.

LANDSCAPING

- MCU15. Construct landscaping in accordance with the prepared landscape concept plan, the relevant council standards, best trade practise, and the following conditions.
- If the extent or configuration of landscaped areas has been marginally amended from the plan, then adjust plant numbers to ensure full coverage.
 - Provide a 3-tier landscape structure to all landscape areas IE trees shrubs and ground covers.
 - Maximise opportunities for stormwater infiltration into landscaped areas (where available).
 - Maintain the landscape works generally in accordance with the detailed plans and to industry standards.

SCREEN MECHANICAL PLANT

- MCU16. Install and maintain suitable screening to all air conditioning, lift motor rooms, plant and service facilities located at the top of or on the external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the façade of the building.

ELECTRICITY/TELECOMMUNICATIONS

- MCU17. The development is to be supplied with reticulated electricity and telecommunications services.

VISUAL AMENITY & REFLECTIVITY

- MCU18. Façade treatments must not cause nuisance from glare and/or inappropriate reflectivity.
- MCU19. Provide written confirmation from an appropriately qualified professional that façade treatments do not generate unreasonable glare, or reflectivity.

NOISE

- MCU20. Carry out the development in accordance with the CRG Acoustics report reference_23062_REV2 recommendations as they relate to works associated with Stage 1 of this approval.
- MCU21. A suitably qualified Acoustic Consultant shall provide written confirmation that all CRG Acoustics report reference_23062_REV2 recommendations (relevant to **Stage 1**) are in place.
- Timing:** Prior to issue of certificate of classification/Final Inspection Certificate, or prior to commencement of use (whichever comes first).
- MCU22. Operation of trucks and commercial vehicles (excluding waste collection vehicles and emergency vehicles) must only occur between 7am & 7pm Monday to Saturday.
- MCU23. All metal grilles, metal plates or similar subject to vehicular traffic must be acoustically damped to prevent environmental nuisance.
- MCU24. Following the installation of all mechanical plant and equipment (e.g. air conditioning, mechanical ventilation, and refrigeration equipment and heat pump hot water systems), submit to South Burnett Regional Council's 'Development Services' certification that the plant and equipment is adequately noise-attenuated and in accordance with applicable Planning Scheme Codes/policies (and other applicable laws)

CAR PARKING

- MCU25. Car parking within the premises must be maintained exclusively for the ancillary use of the development. The parking must be retained for purposes associated with the approved development.
- MCU26. Bin Storage area identified on Ground Floor – Stage 1 (SK06) is to include appropriate washdown facilities and drainage connections.

ENGINEERING WORKS

- ENG1. Submit to Council, an Operational Work application for all civil works including earthworks, stormwater, water supply, sewer, roadworks, access and parking, erosion and sediment control.
- ENG2. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to commencement of the use unless stated otherwise.
- ENG3. Be responsible for the full cost of any alterations necessary to electricity, telephone, water mains, sewer mains, stormwater drainage systems or easements and/or other public utility installations resulting from the development or from road and drainage works required in connection with the development.
- ENG4. Submit to Council, certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the Approved Plans and specifications and to Council's requirements, prior to commencement of the use.

MAINTENANCE

- ENG5. Maintain all works that will become Council infrastructure for a period of 12 months (maintenance period) from the date of on-maintenance. Any defective works must be rectified within the maintenance period.
- ENG6. Provide Council with a maintenance bond in an acceptable form equal to 5% of the value of Council's infrastructure prior to commencement of the maintenance period.

LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS

- ENG7. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.
- ENG8. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.
- ENG9. Repair any and all damage to Councils road network resulting from the construction of the development. In particular, Glendon Street is unlikely to be able to support the types of vehicles and associated loadings that will be required for construction of the development (e.g. construction equipment, materials delivery etc), and failure of the pavement and surface is expected.

Comment: Council is open to discussing a suitable approach to the ongoing maintenance of roads, to ensure that failures and repairs are rectified in a timely manner, so that Council roads are safe for all road users at all times.

CONSTRUCTION TRAFFIC ROUTES

- ENG10. All construction traffic associated with the development (excluding light vehicles) shall enter and exit the site via Glendon Street, between Avoca Street and the concrete median south of the roundabout at the intersection of Glendon Street and Markwell Street. All construction traffic shall enter and exit Glendon Street from the Avoca Street end. No other transport route to or from the site shall be used without the written consent of Council.

CONSTRUCTION AND NUISANCE MANAGEMENT PLAN

- ENG11. Submit to Council for endorsement, a Construction and Nuisance Management Plan for approved development works for the site. The Plan is to cover where applicable, the following:
- a) air quality management;
 - b) noise and vibration management;
 - c) storm water quality management;
 - d) erosion and sediment management;
 - e) vegetation management;
 - f) waste management;
 - g) complaint management;
 - h) community awareness;
 - i) preparation of site work plans;
 - j) workers' car parking arrangements;
 - k) traffic control during works; and
 - l) delivery of materials.

Timing: Prior to commencement of works.

- ENG12. Implement the approved Construction Management Plan at all times during construction of the development.
- ENG13. Ensure a legible copy of the approved Construction Management Plan is available on-site at all times during construction and earthworks.

STORMWATER MANAGEMENT

- ENG14. Provide stormwater management generally in accordance with the Conceptual Site Based Stormwater Management Plan prepared by RMA Engineers, Revision 1, dated 30 August 2023, subject to detailed design and except as altered by conditions of this development approval.
- ENG15. Provide overland flow paths that do not adversely alter the characteristics of existing overland flows on other properties or that create an increase in flood damage on other properties.
- ENG16. Design and construct stormwater drainage incorporating measures to prevent any solid matter and floatable oils being carried into existing stormwater system.
- ENG17. Stormwater from sealed areas and overflow pipes from stormwater detention structures and/or tanks installed for the stormwater system is required to be piped to the kerb and channel.
- ENG18. Design and construct all internal stormwater drainage works to comply with the relevant Section/s of AS/NZS 3500.3.2.
- ENG19. Ensure that adjoining properties and roadways are protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.
- ENG20. Discharge all minor storm flows that fall or pass onto the site to the lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).

WATER SUPPLY

- ENG21. Connect the development to Council's reticulated water supply system via a single connection, designed to Council and WWBROC requirements.

SEWERAGE

- ENG22. Connect the development to Council's reticulated sewerage system via a single connection. The connection must be designed in accordance with Council and WWBROC standards and be approved by Council's Utility Services Section.
- ENG23. Actual connection to Council's live sewerage infrastructure must be undertaken by or under the supervision of Council.
- ENG24. Any works within the vicinity of an existing or proposed sewer shall meet the requirements of QDC *MP1.4 Building over or near relevant infrastructure*.
- ENG25. The existing sewer main SM0714 (Council Asset No. W00739), and end of line manhole 2125/3 (Council Asset No. W00276) within the site shall be removed or filled with flowable concrete with the connection to manhole 2125/2 made good.

Timing: Prior to commencement of Stage 1 of the development.

Comment: The existing sewer connection can be used until the new sewer extension is complete.

SEWER EXTENSION

ENG26. Design and construct a 150mm diameter sewer main from the site to manhole 2129A/1 (located on the southern side of Avoca Street), with a suitable alignment along Glendon Street, to service the whole of the proposed development.

Timing: Prior to commencement of Stage 1 of the development.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

TRADE WASTE DISPOSAL (COMMERCIAL KITCHEN)

ENG27. Connect any commercial kitchen to Council's sewer reticulation. Obtain a Plumbing Approval from Council with the relevant inspections undertaken prior to connection to the sewer.

PARKING AND ACCESS - GENERAL

ENG28. Design all access driveways, circulation driveways, parking aisles and car parking spaces in accordance with Australian Standard 2890.1 - Parking Facilities - Off Street Car Parking.

ENG29. Design all on-street parking in accordance with *AS2890.5:2020 Parking facilities On-street parking*, and Austroads Guide to Road Design.

ENG30. Design and construct all access, parking and manoeuvring areas with concrete, asphalt or a two-coat bitumen seal.

ENG31. Provide a minimum of 50 Off Street Car Parking spaces, including a minimum of 1 person with disability (PWD) car parking space, generally in accordance with Black Ink Architecture Dwg SK-06 Issue 10 dated 21/12/2023, and as amended by SARA on 12 January 2024.

ENG32. Design & construct all off street PWD car parking spaces in accordance with AS2890.6.

ENG33. Provide a concrete pedestrian footpath from the carpark to the Stage 1 buildings that meets the Disability Discrimination Act requirements.

ENG34. Provide vehicle bollards or tyre stops to control vehicular access and to protect landscaping or pedestrian areas where appropriate.

ENG35. Line mark or otherwise delineate the car park aisles and driveways within the development with directional arrows on the pavement to enable all vehicles to enter and leave the site in a forward gear.

ENG36. Ensure access to car parking spaces, vehicle loading and manoeuvring areas and driveways remain unobstructed and available for their intended purpose during the hours of operation.

ENG37. Install all necessary signage for traffic flow e.g. No Entry, One-Way, Left Out Only.

PARKING AND ACCESS - SERVICING

ENG38. Provide loading bay/drop off facilities for Small Rigid Vehicle, Waste Collection Vehicle, mini bus, and ambulance in the locations generally shown on the approved plan(s) of development.

ENG39. Design along the route to and from all loading bay facilities and the external road network, all access driveways, circulation driveways, parking aisles and the like with a layout that

accommodates the turning movements of all service vehicles, and ensure that all vehicles are able to enter and exit the site in a forward direction.

- ENG40. Ensure loading and unloading operations are conducted wholly within the site and vehicles enter and exit the site in a forward direction.

VEHICLE ACCESS

- ENG41. Accesses to the site between the property boundary and the edge of the Markwell Street/Glendon Street road pavement, shall be constructed in accordance with Council's Standard Drawing IPWEAQ Std Dwg RS-051, Rev F. Ensure that crossovers splay is designed to accommodate turning movements of the longest expected service vehicle.

Timing: Prior to commencement of Stage 1 of the development.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

- ENG42. Construct any new crossovers such that the edge of the crossover is no closer than 1 metre to any existing or proposed infrastructure, including any stormwater gully pit, manhole, service infrastructure (eg power pole, telecommunications pit), road infrastructure (eg street sign, street tree, etc).

REDUNDANT CROSSOVERS

- ENG43. Remove all redundant crossovers and reinstate the kerb and channel, road pavement, services, verge and any footpath to the standard immediately adjacent along the frontage of the site.

ROADWORKS – FRONTAGE WORKS

- ENG44. Design and construct the Glendon Street frontage of the proposed development in accordance with Council Standards, relevant Austroads' Standards, and Council's Planning Scheme. More specifically, include the following:
- Widening of Glendon Street to accommodate the proposed parallel parking. This includes any reconstruction of Glendon Street to achieve the design levels required for kerb and channel;
 - Replacement of the kerb and channel for the full Glendon Street frontage;
 - Full width concrete footpath between the kerb and property boundary;
 - provision for stormwater drainage (including adjusting manhole levels), line marking, signage (including parking restrictions) and kerb ramps.

Comment: Roadworks shall be carried out under an Operational Work application.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

ROADWORKS AND PEDESTRIAN SAFETY

- ENG45. Install signage for all works on or near roadways in accordance with the Manual for Uniform Traffic Control Devices – Part 3, Works on Roads.
- ENG46. Submit to Council, an application for any footpath, road or lane closures, and ensure all conditions of that approval are complied with during construction of the works.
- ENG47. Maintain safe pedestrian access along Council's footpaths at all times.

ELECTRICITY AND TELECOMMUNICATION

- ENG48. Connect the development to electricity and telecommunication services.

EARTHWORKS – GENERAL

- ENG49. Earthworks per site involving cut or fill with a quantity of material greater than 50m³, requires an Operational Work application.

ENG50. Undertake earthworks in accordance with the provisions of AS3798 Guidelines on Earthworks for Commercial and Residential Developments.

EROSION AND SEDIMENT CONTROL – GENERAL

ENG51. Ensure that all reasonable actions are taken to prevent sediment or sediment laden water from being transported to adjoining properties, roads and/or stormwater drainage systems.

ENG52. Remove and clean-up sediment or other pollutants in the event that sediment or other pollutants are tracked/released onto adjoining streets or stormwater systems, at no cost to Council.

STAGE 2 CONDITIONS

GENERAL

Unless otherwise amended by the following conditions.

GEN2. The development must be completed and maintained generally in accordance with the approved plans and documents and any amendments arising through conditions to this development approval (refer to the **approved plans** cited under condition GEN1.).

GEN3. All works including the repair or relocation of services (Telstra/lighting) are to be completed at no cost to council.

GEN4. The applicant is required to maintain the site in a clean and orderly state at all times.

ADDITIONAL DRAWINGS (STAGE 2)

GEN5. Prior to the commencement of Stage 2 works, provide, detailed elevations of the intended Stage 2 building inclusive of the following:

- Show all proposed façade treatments to property boundaries and road frontages.
- The interim façade treatment to blank walls prior to enactment of subsequent Stage 3.

COMPLIANCE ASSESSMENT

GEN6. All conditions of this approval are to be satisfied prior to Council issuing a compliance certificate for the commencement of the use and it's and it is the applicant's responsibility to notify Council to inspect compliance with conditions.

Compliance certificate fee will be charged with payment required prior to council approval of the associated documentation requiring compliance assessment.

CONDITION TIMING

GEN7. Unless stated otherwise, all conditions are to be complied with prior to commencement of the use and compliance maintained at all times while the use continues.

BUILDING MANAGEMENT STATEMENT

GEN8. Ensure a Building Management Statement is registered on the title.

The Building Management Statement must cover common building management items including but not limited to any shared:

- Support, services and utilities;
- Pedestrian and vehicle access;
- Car parking including visitor and disabled spaces;
- Vehicle servicing areas including loading docks;
- Refuse storage and collection areas;
- Storage areas; and
- Recreation areas.

Timing: As part of the registration of the plan of subdivision notated by Council and then to be maintained.

- GEN9. The building management statement must be submitted to, and the content accepted by South Burnett Regional Council's 'Development Services'.
- GEN10. Lodge the accepted building Management Statement with the Registrar of Titles for the relevant Queensland State Government Authority.
- GEN11. Submit to South Burnett Regional Council's 'Development Services' evidence of the registration of the accepted Building Management Statement.

PLANNING

NATURE & EXTENT OF THE APPROVED USE

- MCU1. Stage 1 & 2 uses are limited to those identified on the approved plans (Ground Level through to Level 6).
- MCU2. Short-Term staff accommodation must remain ancillary to the approved Hospital, Health care services, and Residential care facility only. Short-Term staff accommodation is to be maintained exclusively for the purpose of accommodating staff and/or other service providers associated with the approved Hospital, Health care services, and Residential care facility only.
- MCU3. Roof top is to be limited to garden areas only unless otherwise stated on the approved drawings.
- MCU4. Multi-Purpose Space (165m² located on Roof Top) must remain ancillary to the approved Hospital, and Residential care facility only.
- MCU5. In the event that an appropriate liquor licence is obtained from the relevant authority, this development approval for Food and Drink Outlet (at ground level) does not permit the service of alcohol to patrons who are not consuming food.

DEMOLITION

- MCU6. Demolish buildings/structures on the site in accordance with the approved drawings and where applicable the approved Construction Management Plan.
- MCU7. If construction for Stage 2 does not commence within 3 months of the demolition of the existing buildings (on site), the site must be turfed and appropriately treated for erosion and sediment control.

BUILDING HEIGHT

- MCU8. The maximum building height (Stage 2) must be in accordance with the following:
- Maximum overall vertical height of 33.5m (from existing ground level) to the peak roof height shown in approved drawing SK09_Section S01_ (issue 09) _date 5 October 2023; and
 - Finished floor levels are in accordance with those specified in the approved drawing SK09_Section S01_ (issue 09) _date 5 October 2023; and
 - Total number of storeys is 7 with arrangement (of storeys) to be in accordance with that shown in approved drawing SK09_Section S01_ (issue 09) _date 5 October 2023.
- MCU9. Submit to Council certification from a registered surveyor confirming that the 'as constructed' floor, roof levels, and overall height are in accordance with the requirements of condition MCU8.

EXTERNAL ARCHITECTURAL DETAILS

MCU10. All Stage 2 building façade treatments, external materials, colours and finishes must be in accordance with the approved drawings and documents.

AWNING IN THE ROAD RESERVE

MCU11. Provide a pedestrian awning along Markwell Street & Glendon Street to the extent shown in Stage 2 drawings (fronting Markwell Street & Glendon Street).

SECURITY LIGHTING

MCU12. Install a lighting system to the underside of the proposed awning over the footpath in accordance with the relevant Australian Standards and in accordance with the following:

- Suitably qualified professional is to submit a detailed lighting plan demonstrating that under awning lighting complies with applicable Australian Standards (for Pedestrian Areas).
- Implement in accordance with the detailed lighting plan and provide Council with certification of completed works (from a licensed electrical contractor).
- Maintain the awning lighting system at all times.

MCU13. Install and maintain a suitable system of security lighting to operate from dusk till dawn within all areas where the public may gain access, including carparking areas, building entrances, and vegetated areas.

MCU14. Design of all external lighting in accordance with AS 4282-1997 '*Control of obtrusive effects of outdoor lighting*', ensuring that light spillage does not cause nuisance to nearby sensitive uses.

MCU15. Provide certification from a suitably qualified professional that all security lighting installed complies with applicable Australian Standards and retains acceptable impacts on adjoining (or nearby) sensitive uses.

Timing: Prior to issue of certificate of classification/Final Inspection Certificate, or prior to commencement of use (whichever comes first).

LANDSCAPING

MCU16. Construct landscaping in accordance with the prepared landscape concept plan, the relevant council standards, best trade practise, and the following conditions.

- If the extent or configuration of landscaped areas has been marginally amended from the plan, then adjust plant numbers to ensure full coverage.
- Provide a 3-tier landscape structure to all landscape areas IE trees shrubs and ground covers.
- Maximise opportunities for stormwater infiltration into landscaped areas (where available).
- Maintain the landscape works generally in accordance with the detailed plans and to industry standards.

SCREEN MECHANICAL PLANT

MCU17. Install and maintain suitable screening to all air conditioning, lift motor rooms, plant and service facilities located at the top of or on the external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the façade of the building.

ELECTRICITY/TELECOMMUNICATIONS

MCU18. The development is to be supplied with reticulated electricity and telecommunications services.

VISUAL AMENITY & REFLECTIVITY

- MCU19. Façade treatments must not cause nuisance from glare and/or inappropriate reflectivity.
- MCU20. Provide written confirmation from an appropriately qualified professional that façade treatments do not generate unreasonable glare, or reflectivity.

NOISE

- MCU21. Carry out the development in accordance with the CRG Acoustics report reference 23062_REV2 recommendations as they relate to works associated with Stage 2 of this approval.
- MCU22. A suitably qualified Acoustic Consultant shall provide written confirmation that all CRG Acoustics report reference_23062_REV2 recommendations (relevant to **Stage 2**) are in place.
- Timing:** Prior to issue of certificate of classification/Final Inspection Certificate, or prior to commencement of use (whichever comes first).
- MCU23. Operation of trucks and commercial vehicles (excluding waste collection vehicles and emergency vehicles) must only occur between 7am & 7pm Monday to Saturday.
- MCU24. All metal grilles, metal plates or similar subject to vehicular traffic must be acoustically damped to prevent environmental nuisance.
- MCU25. Following the installation of all mechanical plant and equipment (e.g. air conditioning, mechanical ventilation, and refrigeration equipment and heat pump hot water systems), submit to South Burnett Regional Council's 'Development Services' certification that the plant and equipment is adequately noise-attenuated and in accordance with applicable Planning Scheme Codes/policies (and other applicable laws).

CAR PARKING

- MCU26. Car parking within the premises must be maintained exclusively for the ancillary use of the development. The parking must be retained for purposes associated with the approved development.
- MCU27. Bin Storage area identified on Ground Floor – Stage 2 (SK13) is to include appropriate washdown facilities and drainage connections.

ENGINEERING WORKS

- ENG1. Submit to Council, an Operational Work application for all civil works including earthworks, stormwater, water supply, sewer, roadworks, access and parking, erosion and sediment control.
- ENG2. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to commencement of the use unless stated otherwise.
- ENG3. Be responsible for the full cost of any alterations necessary to electricity, telephone, water mains, sewer mains, stormwater drainage systems or easements and/or other public utility installations resulting from the development or from road and drainage works required in connection with the development.
- ENG4. Submit to Council, certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the Approved Plans and specifications and to Council's requirements, prior to commencement of the use.

MAINTENANCE

- ENG5. Maintain all works that will become Council infrastructure for a period of 12 months (maintenance period) from the date of on-maintenance. Any defective works must be rectified within the maintenance period.
- ENG6. Provide Council with a maintenance bond in an acceptable form equal to 5% of the value of Council's infrastructure prior to commencement of the maintenance period.

LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS

- ENG7. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.
- ENG8. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.
- ENG9. Repair any and all damage to Councils road network resulting from the construction of the development. In particular, Glendon Street is unlikely to be able to support the types of vehicles and associated loadings that will be required for construction of the development (e.g. construction equipment, materials delivery etc), and failure of the pavement and surface is expected.

Comment: Council is open to discussing a suitable approach to the ongoing maintenance of roads, to ensure that failures and repairs are rectified in a timely manner, so that Council roads are safe for all road users at all times.

CONSTRUCTION TRAFFIC ROUTES

- ENG10. All construction traffic associated with the development (excluding light vehicles) shall enter and exit the site via Glendon Street, between Avoca Street and the concrete median south of the roundabout at the intersection of Glendon Street and Markwell Street. All construction traffic shall enter and exit Glendon Street from the Avoca Street end. No other transport route to or from the site shall be used without the written consent of Council.

CONSTRUCTION AND NUISANCE MANAGEMENT PLAN

- ENG11. Submit to Council for endorsement, a Construction and Nuisance Management Plan for approved development works for the site. The Plan is to cover where applicable, the following:
- a) air quality management;
 - b) noise and vibration management;
 - c) storm water quality management;
 - d) erosion and sediment management;
 - e) vegetation management;
 - f) waste management;
 - g) complaint management;
 - h) community awareness;
 - i) preparation of site work plans;
 - j) workers' car parking arrangements;
 - k) traffic control during works; and
 - l) delivery of materials.

Timing: Prior to commencement of works.

- ENG12. Implement the approved Construction Management Plan at all times during construction of the development.
- ENG13. Ensure a legible copy of the approved Construction Management Plan is available on-site at all times during construction and earthworks.

STORMWATER MANAGEMENT

- ENG14. Provide stormwater management generally in accordance with the Conceptual Site Based Stormwater Management Plan prepared by RMA Engineers, Revision 1, dated 30 August 2023, subject to detailed design and except as altered by conditions of this development approval.
- ENG15. Provide overland flow paths that do not adversely alter the characteristics of existing overland flows on other properties or that create an increase in flood damage on other properties.
- ENG16. Design and construct stormwater drainage incorporating measures to prevent any solid matter and floatable oils being carried into existing stormwater system.
- ENG17. Stormwater from sealed areas and overflow pipes from stormwater detention structures and/or tanks installed for the stormwater system is required to be piped to the kerb and channel.
- ENG18. Design and construct all internal stormwater drainage works to comply with the relevant Section/s of AS/NZS 3500.3.2.
- ENG19. Ensure that adjoining properties and roadways are protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.
- ENG20. Discharge all minor storm flows that fall or pass onto the site to the lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).

WATER SUPPLY

- ENG21. Connect the development to Council's reticulated water supply system via a single connection, designed to Council and WWBROC requirements.

SEWERAGE

- ENG22. Connect the development to Council's reticulated sewerage system via a single connection. The connection must be designed in accordance with Council and WWBROC standards and be approved by Council's Utility Services Section.
- ENG23. Actual connection to Council's live sewerage infrastructure must be undertaken by or under the supervision of Council.
- ENG24. Any works within the vicinity of an existing or proposed sewer shall meet the requirements of QDC *MP1.4 Building over or near relevant infrastructure*.

TRADE WASTE DISPOSAL (COMMERCIAL KITCHEN)

- ENG25. Connect any commercial kitchen to Council's sewer reticulation. Obtain a Plumbing Approval from Council with the relevant inspections undertaken prior to connection to the sewer.

PARKING AND ACCESS - GENERAL

- ENG26. Design all access driveways, circulation driveways, parking aisles and car parking spaces in accordance with Australian Standard 2890.1 - Parking Facilities - Off Street Car Parking.

- ENG27. Design all on-street parking in accordance with *AS2890.5:2020 Parking facilities On-street parking*, and Austroads Guide to Road Design.
- ENG28. Design and construct all access, parking and manoeuvring areas with concrete, asphalt or a two-coat bitumen seal.
- ENG29. Provide a minimum of 139 Off Street Car Parking spaces (47 temporary), including a minimum of 2 person with disability (PWD) car parking spaces, generally in accordance with Black Ink Architecture Dwg SK-13 Issue 10 dated 15/1/2023, and as amended by SARA on 12 January 2024.
- ENG30. Design & construct all off street PWD car parking spaces in accordance with AS2890.6.
- ENG31. Provide vehicle bollards or tyre stops to control vehicular access and to protect landscaping or pedestrian areas where appropriate.
- ENG32. Line mark or otherwise delineate the car park aisles and driveways within the development with directional arrows on the pavement to enable all vehicles to enter and leave the site in a forward gear.
- ENG33. Ensure access to car parking spaces, vehicle loading and manoeuvring areas and driveways remain unobstructed and available for their intended purpose during the hours of operation.
- ENG34. Install all necessary signage for traffic flow e.g. No Entry, One-Way, Left Out Only.

PARKING AND ACCESS - SERVICING

- ENG35. Provide loading bay/drop off facilities for Small Rigid Vehicle, Waste Collection Vehicle, mini bus, and ambulance in the locations generally shown on the approved plan(s) of development.
- ENG36. Design along the route to and from all loading bay facilities and the external road network, all access driveways, circulation driveways, parking aisles and the like with a layout that accommodates the turning movements of all service vehicles, and ensure that all vehicles are able to enter and exit the site in a forward direction.
- ENG37. Ensure loading and unloading operations are conducted wholly within the site and vehicles enter and exit the site in a forward direction.

VEHICLE ACCESS

- ENG38. Accesses to the site between the property boundary and the edge of the Markwell Street/Glendon Street road pavement, shall be constructed in accordance with Council's Standard Drawing IPWEAQ Std Dwg RS-051, Rev F. Ensure that crossovers splay is designed to accommodate turning movements of the longest expected service vehicle.

Timing: Prior to commencement of Stage 2 of the development.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

- ENG39. Construct any new crossovers such that the edge of the crossover is no closer than 1 metre to any existing or proposed infrastructure, including any stormwater gully pit, manhole, service infrastructure (eg power pole, telecommunications pit), road infrastructure (eg street sign, street tree, etc).

REDUNDANT CROSSOVERS

ENG40. Remove all redundant crossovers and reinstate the kerb and channel, road pavement, services, verge and any footpath to the standard immediately adjacent along the frontage of the site.

ROADWORKS – FRONTAGE WORKS

ENG41. Design and construct the Markwell Street and Glendon Street frontage of the proposed development in accordance with Council Standards, relevant Austroads' Standards, and Council's Planning Scheme. More specifically, include the following:

- a) Widening of Markwell St and Glendon St to accommodate the proposed parallel parking. This includes any reconstruction of Markwell St and Glendon St to achieve the design levels required for kerb and channel;
- b) Removal of the existing PWD carpark on Markwell St and linemark proposed parallel carparks;
- c) Replacement of the kerb and channel for the full Markwell St and Glendon Street frontage;
- d) Full width concrete footpath between the kerb and property boundary for Markwell Street and Glendon Street frontages;
- e) provision for stormwater drainage (including adjusting manhole levels), line marking, signage (including parking restrictions) and kerb ramps.

Comment: Roadworks (including footpath works) shall be carried out under an Operational Work application.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

ROADWORKS AND PEDESTRIAN SAFETY

ENG42. Install signage for all works on or near roadways in accordance with the Manual for Uniform Traffic Control Devices – Part 3, Works on Roads.

ENG43. Submit to Council, an application for any footpath, road or lane closures, and ensure all conditions of that approval are complied with during construction of the works.

ENG44. Maintain safe pedestrian access along Council's footpaths at all times.

ELECTRICITY AND TELECOMMUNICATION

ENG45. Connect the development to electricity and telecommunication services.

EARTHWORKS – GENERAL

ENG46. Earthworks per site involving cut or fill with a quantity of material greater than 50m³, requires an Operational Work application.

ENG47. Undertake earthworks in accordance with the provisions of AS3798 Guidelines on Earthworks for Commercial and Residential Developments.

EROSION AND SEDIMENT CONTROL – GENERAL

ENG48. Ensure that all reasonable actions are taken to prevent sediment or sediment laden water from being transported to adjoining properties, roads and/or stormwater drainage systems.

ENG49. Remove and clean-up sediment or other pollutants in the event that sediment or other pollutants are tracked/released onto adjoining streets or stormwater systems, at no cost to Council.

STAGE 3 CONDITIONS

GENERAL

Unless otherwise amended by the following conditions.

- GEN2. The development must be completed and maintained generally in accordance with the approved plans and documents and any amendments arising through conditions to this development approval (refer to the **approved plans** cited under condition GEN1.).
- GEN3. All works including the repair or relocation of services (Telstra/lighting) are to be completed at no cost to council.
- GEN4. The applicant is required to maintain the site in a clean and orderly state at all times.

COMPLIANCE ASSESSMENT

- GEN5. All conditions of this approval are to be satisfied prior to Council issuing a compliance certificate for the commencement of the use and it's and it is the applicant's responsibility to notify Council to inspect compliance with conditions.

Compliance certificate fee will be charged with payment required prior to council approval of the associated documentation requiring compliance assessment.

CONDITION TIMING

- GEN6. Unless stated otherwise, all conditions are to be complied with prior to commencement of the use and compliance maintained at all times while the use continues.

BUILDING MANAGEMENT STATEMENT

- GEN7. Ensure a Building Management Statement is registered on the title for each proposed lot.

The Building Management Statement must cover common building management items including but not limited to any shared:

- Support, services and utilities;
- Pedestrian and vehicle access;
- Car parking including visitor and disabled spaces;
- Vehicle servicing areas including loading docks;
- Refuse storage and collection areas;
- Storage areas; and
- Recreation areas.

Timing: As part of the registration of the plan of subdivision notated by Council and then to be maintained.

- GEN8. The building management statement must be submitted to, and the content accepted by South Burnett Regional Council's 'Development Services'.
- GEN9. Lodge the accepted building Management Statement with the Registrar of Titles for the relevant Queensland State Government Authority.
- GEN10. Submit to South Burnett Regional Council's 'Development Services' evidence of the registration of the accepted Building Management Statement.

PLANNING**NATURE & EXTENT OF THE APPROVED USE**

- MCU1. Stage 3 uses are limited to those identified on the approved plans (Ground Level through to Level 6).

- MCU2. Roof top is to be limited to garden areas only unless otherwise stated on the approved drawings.

DEMOLITION

- MCU3. Demolish buildings/structures on the site in accordance with the approved drawings and where applicable the approved Construction Management Plan.
- MCU4. If construction for Stage 3 does not commence within 3 months of the demolition of the existing buildings (on site), the site must be turfed and appropriately treated for erosion and sediment control.

BUILDING HEIGHT

- MCU5. The maximum building height (Stage 3) must be in accordance with the following:
- Maximum overall vertical height is to be consistent with finished levels shown (and scaled) on the approved drawing SK31_Elevations 2 (issue 09) date 5 October 2023; and
 - Finished floor levels are in accordance with those specified in the approved drawing SK31_Elevations 2 (issue 09) date 5 October 2023; and
 - Total number of storeys is 6 with arrangement (of storeys) to be in accordance with that shown in approved drawing SK31_Elevations 2 (issue 09) date 5 October 2023.

EXTERNAL ARCHITECTURAL DETAILS

- MCU6. External details of the building façade treatment, external materials, colours and finishes must be consistent with approved drawings and documents.

LIGHTING

- MCU7. Install and maintain a suitable system of security lighting to operate from dusk till dawn within all areas where the public may gain access, including carparking areas, building entrances, and vegetated areas.
- MCU8. Design of all external lighting in accordance with AS 4282-1997 '*Control of obtrusive effects of outdoor lighting*', ensuring that light spillage does not cause nuisance to nearby sensitive uses.
- MCU9. Provide certification from a suitably qualified professional that all security lighting installed complies with applicable Australian Standards and retains acceptable impacts on adjoining (or nearby) sensitive uses.

FENCING AND ACOUSTIC TREATMENTS

- MCU10. All fencing and acoustic treatments to be in accordance with the CRG Acoustics - Environmental Noise Impact Assessment, Reference 23062, Revision 2, Dated 6 October 2023.

Nb. The combined height of the retaining wall, fencing and/or acoustic barrier must not exceed the adopted height as referred to in the Environmental Noise Impact Assessment.

LANDSCAPING

- MCU11. Construct landscaping in accordance with the prepared landscape concept plan, the relevant council standards, best trade practise, and the following conditions.
- If the extent or configuration of landscaped areas has been marginally amended from the plan, then adjust plant numbers to ensure full coverage.
 - Provide a 3-tier landscape structure to all landscape areas IE trees shrubs and ground covers.
 - Maximise opportunities for stormwater infiltration into landscaped areas (where available).

- Maintain the landscape works generally in accordance with the detailed plans and to industry standards.

SCREEN MECHANICAL PLANT

MCU12. Install and maintain suitable screening to all air conditioning, lift motor rooms, plant and service facilities located at the top of or on the external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the façade of the building.

ELECTRICITY/TELECOMMUNICATIONS

MCU13. The development is to be supplied with reticulated electricity and telecommunications services.

VISUAL AMENITY & REFLECTIVITY

MCU14. Façade treatments must not cause nuisance from glare and/or inappropriate reflectivity.

MCU15. Provide written confirmation from an appropriately qualified professional that façade treatments do not generate unreasonable glare, or reflectivity.

NOISE

MCU16. Carry out the development in accordance with the CRG Acoustics report reference_23062_REV2 recommendations as they relate to works associated with Stage 3 of this approval.

MCU17. A suitably qualified Acoustic Consultant shall provide written confirmation that all CRG Acoustics report reference_23062_REV2 recommendations (relevant to **Stage 3**) are in place.

Timing: Prior to issue of certificate of classification/Final Inspection Certificate, or prior to commencement of use (whichever comes first).

MCU18. Operation of trucks and commercial vehicles (excluding waste collection vehicles and emergency vehicles) must only occur between 7am & 7pm Monday to Saturday.

MCU19. All metal grilles, metal plates or similar subject to vehicular traffic must be acoustically damped to prevent environmental nuisance.

MCU20. Following the installation of all mechanical plant and equipment (e.g. air conditioning, mechanical ventilation, and refrigeration equipment and heat pump hot water systems), submit to South Burnett Regional Council's 'Development Services' certification that the plant and equipment is adequately noise-attenuated and in accordance with applicable Planning Scheme Codes/policies (and other applicable laws).

CAR PARKING

MCU21. Car parking within the premises must be maintained exclusively for the ancillary use of the development. The parking must be retained for purposes associated with the approved development.

ENGINEERING WORKS

ENG1. Submit to Council, an Operational Work application for all civil works including earthworks, stormwater, water supply, sewer, roadworks, access and parking, erosion and sediment control.

ENG2. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to commencement of the use unless stated otherwise.

- ENG3. Be responsible for the full cost of any alterations necessary to electricity, telephone, water mains, sewer mains, stormwater drainage systems or easements and/or other public utility installations resulting from the development or from road and drainage works required in connection with the development.
- ENG4. Submit to Council, certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the Approved Plans and specifications and to Council's requirements, prior to commencement of the use.

MAINTENANCE

- ENG5. Maintain all works that will become Council infrastructure for a period of 12 months (maintenance period) from the date of on-maintenance. Any defective works must be rectified within the maintenance period.
- ENG6. Provide Council with a maintenance bond in an acceptable form equal to 5% of the value of Council's infrastructure prior to commencement of the maintenance period.

LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS

- ENG7. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.
- ENG8. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.
- ENG9. Repair any and all damage to Councils road network resulting from the construction of the development. In particular, Glendon Street is unlikely to be able to support the types of vehicles and associated loadings that will be required for construction of the development (e.g. construction equipment, materials delivery etc), and failure of the pavement and surface is expected.

Comment: Council is open to discussing a suitable approach to the ongoing maintenance of roads, to ensure that failures and repairs are rectified in a timely manner, so that Council roads are safe for all road users at all times.

CONSTRUCTION TRAFFIC ROUTES

- ENG10. All construction traffic associated with the development (excluding light vehicles) shall enter and exit the site via Glendon Street, between Avoca Street and the concrete median south of the roundabout at the intersection of Glendon Street and Markwell Street. All construction traffic shall enter and exit Glendon Street from the Avoca Street end. No other transport route to or from the site shall be used without the written consent of Council.

CONSTRUCTION AND NUISANCE MANAGEMENT PLAN

- ENG11. Submit to Council for endorsement, a Construction and Nuisance Management Plan for approved development works for the site. The Plan is to cover where applicable, the following:
- a) air quality management;
 - b) noise and vibration management;
 - c) storm water quality management;
 - d) erosion and sediment management;
 - e) vegetation management;
 - f) waste management;

- g) complaint management;
- h) community awareness;
- i) preparation of site work plans;
- j) workers' car parking arrangements;
- k) traffic control during works; and
- l) delivery of materials.

Timing: Prior to commencement of works.

- ENG12. Implement the approved Construction Management Plan at all times during construction of the development.
- ENG13. Ensure a legible copy of the approved Construction Management Plan is available on-site at all times during construction and earthworks.

STORMWATER MANAGEMENT

- ENG14. Provide stormwater management generally in accordance with the Conceptual Site Based Stormwater Management Plan prepared by RMA Engineers, Revision 1, dated 30 August 2023, subject to detailed design and except as altered by conditions of this development approval.
- ENG15. Provide overland flow paths that do not adversely alter the characteristics of existing overland flows on other properties or that create an increase in flood damage on other properties.
- ENG16. Design and construct stormwater drainage incorporating measures to prevent any solid matter and floatable oils being carried into existing stormwater system.
- ENG17. Stormwater from sealed areas and overflow pipes from stormwater detention structures and/or tanks installed for the stormwater system is required to be piped to the kerb and channel.
- ENG18. Design and construct all internal stormwater drainage works to comply with the relevant Section/s of AS/NZS 3500.3.2.
- ENG19. Ensure that adjoining properties and roadways are protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.
- ENG20. Discharge all minor storm flows that fall or pass onto the site to the lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).

WATER SUPPLY

- ENG21. Connect the development to Council's reticulated water supply system via a single connection, designed to Council and WWBROC requirements.

SEWERAGE

- ENG22. Connect the development to Council's reticulated sewerage system via a single connection. The connection must be designed in accordance with Council and WWBROC standards and be approved by Council's Utility Services Section.
- ENG23. Actual connection to Council's live sewerage infrastructure must be undertaken by or under the supervision of Council.
- ENG24. Any works within the vicinity of an existing or proposed sewer shall meet the requirements of QDC *MP1.4 Building over or near relevant infrastructure*.

TRADE WASTE DISPOSAL (COMMERCIAL KITCHEN)

ENG25. Connect any commercial kitchen to Council's sewer reticulation. Obtain a Plumbing Approval from Council with the relevant inspections undertaken prior to connection to the sewer.

PARKING AND ACCESS - GENERAL

ENG26. Design all access driveways, circulation driveways, parking aisles and car parking spaces in accordance with Australian Standard 2890.1 - Parking Facilities - Off Street Car Parking.

ENG27. Design all on-street parking in accordance with *AS2890.5:2020 Parking facilities On-street parking*, and Austroads Guide to Road Design.

ENG28. Design and construct all access, parking and manoeuvring areas with concrete, asphalt or a two-coat bitumen seal.

ENG29. Provide a minimum of 175 Off Street Car Parking spaces, including a minimum of 6 person with disability (PWD) car parking spaces, generally in accordance with Black Ink Architecture Dwg SK-20 Issue 10 dated 15/1/2023, and amended by SARA on 12 January 2024.

ENG30. Design & construct all off street PWD car parking spaces in accordance with AS2890.6.

ENG31. Provide vehicle bollards or tyre stops to control vehicular access and to protect landscaping or pedestrian areas where appropriate.

ENG32. Line mark or otherwise delineate the car park aisles and driveways within the development with directional arrows on the pavement to enable all vehicles to enter and leave the site in a forward gear.

ENG33. Ensure access to car parking spaces, vehicle loading and manoeuvring areas and driveways remain unobstructed and available for their intended purpose during the hours of operation.

ENG34. Install all necessary signage for traffic flow e.g. No Entry, One-Way, Left Out Only.

PARKING AND ACCESS - SERVICING

ENG35. Provide loading bay/drop off facilities for Small Rigid Vehicle, Waste Collection Vehicle, mini bus, and ambulance in the locations generally shown on the approved plan(s) of development.

ENG36. Design along the route to and from all loading bay facilities and the external road network, all access driveways, circulation driveways, parking aisles and the like with a layout that accommodates the turning movements of all service vehicles, and ensure that all vehicles are able to enter and exit the site in a forward direction.

ENG37. Ensure loading and unloading operations are conducted wholly within the site and vehicles enter and exit the site in a forward direction.

VEHICLE ACCESS

ENG38. Accesses to the site between the property boundary and the edge of the Markwell Street/Glendon Street road pavement, shall be constructed in accordance with Council's Standard Drawing IPWEAQ Std Dwg RS-051, Rev F. Ensure that crossovers splay is designed to accommodate turning movements of the longest expected service vehicle.

Timing: Prior to commencement of Stage 3 of the development.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

- ENG39. Construct any new crossovers such that the edge of the crossover is no closer than 1 metre to any existing or proposed infrastructure, including any stormwater gully pit, manhole, service infrastructure (eg power pole, telecommunications pit), road infrastructure (eg street sign, street tree, etc).

REDUNDANT CROSSOVERS

- ENG40. Remove all redundant crossovers and reinstate the kerb and channel, road pavement, services, verge and any footpath to the standard immediately adjacent along the frontage of the site.

ROADWORKS AND PEDESTRIAN SAFETY

- ENG41. Install signage for all works on or near roadways in accordance with the Manual for Uniform Traffic Control Devices – Part 3, Works on Roads.
- ENG42. Submit to Council, an application for any footpath, road or lane closures, and ensure all conditions of that approval are complied with during construction of the works.
- ENG43. Maintain safe pedestrian access along Council's footpaths at all times.

ELECTRICITY AND TELECOMMUNICATION

- ENG44. Connect the development to electricity and telecommunication services.

EARTHWORKS - GENERAL

- ENG45. Earthworks per site involving cut or fill with a quantity of material greater than 50m³, requires an Operational Work application.
- ENG46. Undertake earthworks in accordance with the provisions of AS3798 Guidelines on Earthworks for Commercial and Residential Developments.

EROSION AND SEDIMENT CONTROL - GENERAL

- ENG47. Ensure that all reasonable actions are taken to prevent sediment or sediment laden water from being transported to adjoining properties, roads and/or stormwater drainage systems.
- ENG48. Remove and clean-up sediment or other pollutants in the event that sediment or other pollutants are tracked/released onto adjoining streets or stormwater systems, at no cost to Council.

ADVICE APPLICABLE TO ALL STAGES

- ADV1. Infrastructure charges are now levied by way of an infrastructure charges notice, issued pursuant to section 119 of the *Planning Act 2016*.
- ADV2. Council is offering a reduction in infrastructure charges payable through the development incentive scheme which is available between 1 December 2020 and 31 December 2023. Eligible development under this scheme is required to be completed by 31 December 2025.
- For further information or application form please refer to the rules and procedures available on Council's website.
- ADV3. Section 85 (1)(a) of the Planning Act 2016 provides that, if this approval is not acted upon within the period of six (6) years the approval will lapse.
- ADV4. This development approval does not authorise any activity that may harm Aboriginal Cultural Heritage. Under the Aboriginal Cultural Heritage Act 2003 you have a duty of

care in relation to such heritage. Section 23(1) provides that "A person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal Cultural Heritage." Council does not warrant that the approved development avoids affecting Aboriginal Cultural Heritage. It may therefore, be prudent for you to carry out searches, consultation, or a Cultural Heritage assessment to ascertain the presence or otherwise of Aboriginal Cultural Heritage. The Act and the associated duty of care guidelines explain your obligations in more detail and should be consulted before proceeding. A search can be arranged by visiting <https://www.datsip.qld.gov.au> and filling out the Aboriginal and Torres Strait Islander Cultural Heritage Search Request Form.

- ADV5. Attached for your information is a copy of Chapter 6 of the Planning Act 2016 as regards Appeal Rights.
- ADV6. SARA has imposed conditions on the development permit as attached as Attachment D.
- ADV7. Landscape planting to be carried out in accordance with South Burnett Regional Council Planting Guidelines/Branching Out Guide.
- ADV8. Odours or airborne contaminants which are noxious or offensive to public amenity or safety, likely to cause environmental harm or environmental nuisance or exceed the Air Quality Objectives listed in the Environmental Protection (Air) Policy 2019 as measured at any sensitive place or commercial place must not be released to the atmosphere during building work and throughout the life of this development.
- ADV9. Noise from activity associated with the use of the subject land must not exceed the Acoustic Quality Objectives listed in the Environment Protection (Noise) Policy 2019 when measured at any sensitive receptor.

FINANCIAL AND RESOURCE IMPLICATIONS

No implication can be identified.

LINK TO CORPORATE/OPERATIONAL PLAN

Growing our Region's Economy and Prosperity

- GR8 Support and advocate for appropriate growth and development with responsive planning schemes, process, customer service and other initiatives.

COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)

Refer to the CONSULTATION in this report.

LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)

The applicant could seek to negotiate or appeal conditions of approval should Council resolve to approve the development application.

POLICY/LOCAL LAW/DELEGATION IMPLICATIONS

The proposed development exceeds the height limit specified within the South Burnett Regional Planning Scheme. The applicant has sought to justify the departure from the height limit.

ASSET MANAGEMENT IMPLICATIONS

No implication can be identified.

REPORT

1. APPLICATION DETAILS

Site address	<ul style="list-style-type: none"> • 25 and 31 Markwell Street, Kingaroy, QLD, 4610 • 7 Glendon Street, Kingaroy, QLD, 4610 	
Real property description	<p>Lot 1 on RP57027 Lot 1 on RP42037 Lot 2 on RP7925 Lot 3 on RP7925 Lot 4 on SP146001 Lot 5 on SP146001</p>	
Easements or encumbrances on title	Title Searches did not identify easement or other encumbrances.	
Area of Site	9,477sqm (total)	
Current Use	Hospital Medical Facilities	
Environmental Management Register or Contaminated Land Register	The applicant undertook necessary contaminated land searches and has confirmed that the site is not on the Contaminated Land Register.	
Applicant's name	Ethos Health Care Pty Ltd (A.C.N. 661 843 992) & C 59 Pty Ltd (A.C.N. 600 809 970) c/- Isaac Consulting Pty Ltd.	
Zone	<ul style="list-style-type: none"> • Community Facilities Zone (CF 2 – Hospitals Precinct) • Principal Centre Zone 	
Applicable Overlays	<ul style="list-style-type: none"> • 3-8km Airport Environs • Regional Infrastructure 	
Proposed use as defined	Residential care facility Health care service Hospital NDIS Accommodation Child care centre Food & Drink Outlets/Shop	
Details of proposal	Material Change of Use (MCU's)	
	▪ Gross Floor Area (GFA)	36,712.3sqm
	▪ Impervious area	8,942sqm
	▪ Building height	33.5m above ground level - 7 Storeys
	▪ Site Cover	8,007sqm (84% site cover)
	▪ Access	All stages <ul style="list-style-type: none"> • 2 accesses from Glendon Street (entry/exit) • 1 access from Markwell Street (entry only)
	▪ Landscape	Upon completion of all stages: <ul style="list-style-type: none"> • Include landscaped areas on the rooftop. and • Containerised planters at ground level. and • Vertical/trellis mounted greenery within parts of the building facade.

	<ul style="list-style-type: none"> Number of car parks based on most recent Drawings submitted by applicant – Issue 10 dated 15 January 2024 	<p>Stage 1</p> <ul style="list-style-type: none"> 42 onsite car parks 8 short term / drop off car parks 10 new short term drop off on street car parks 2 ambulance bays mini bus loading zone on street <p>Stage 2 (cumulative)</p> <ul style="list-style-type: none"> 92 onsite car parks 47 onsite temporary car parks 8 short term / drop off car parks 10 short term drop off on street car parks 2 ambulance bays mini bus loading zone on street <p>Stage 3 (cumulative)</p> <ul style="list-style-type: none"> 175 onsite car parks 8 short term / drop off car parks 10 short term drop off on street car parks 3 ambulance bays Mini bus loading zone on street 	
	<ul style="list-style-type: none"> Number of units/tenancies 	<p>Radiology Medical Centre Pathology Allied Health Oncology General Rooms – 291 rooms Palliative Rooms – 13 rooms Dementia Rooms – 10 rooms NDIS Accommodation – 44 suites including 4 carer units Short term accommodation – 42 units Hospital - 8 beds with 12 recovery chairs Child care centre – 50 enrolments</p>	
Application type	Aspects of Development	Type of Approval Requested	
		Preliminary Approval	Development Permit
	Material Change of Use (MCU)		X
	Reconfiguration of a Lot (RAL)		
	Operational Work (OPW)		
Level of Assessment	Impact Assessment		
Pre-lodgement / Consultation history	<p>A formal pre-lodgement meeting was held with South Burnett Regional Council on Monday 7th August 2023 to discuss the proposed development. The following key issues were discussed:</p> <ul style="list-style-type: none"> The uses being proposed and the staging sequence of development; Requirement for an economic needs analysis; Car parking provisions and proposed access arrangements; Refuse and servicing management; Civil engineering services and a lawful point of discharge; General architectural design of the proposed building; and 		

	<ul style="list-style-type: none"> Relevant planning scheme provisions, the planning scheme amendment, and trunk/non-trunk infrastructure upgrades relevant to the proposed development. <p>In addition, formal pre-lodgement discussions were held with the State Assessment Referral Agency and written advice was provided on 28th August 2023 and 5th September 2023. A technical note was submitted as part of the pre-lodgement discussions which outlined background traffic surveys, a traffic generation assessment, an intersection analysis at the two nearby state controlled roads (Markwell Street/Youngman Street and Markwell Street/Kingaroy Street, the local roundabout adjacent to the site), and a net delay assessment. The assessment found that traffic generated by the development would not increase the aggregate intersection delay, resulting in a net delay of 1.9% considered a reasonable impact.</p> <p>SARA has reviewed the technical note ‘Technical note – Pre-lodgement Discussion Review’.</p> <p>SARA supports the contents of the technical note and confirmed that the content is sufficient to enable assessment of the impacts of the development against the performance outcomes relevant to network impacts for State code 1 and State code 6.</p>	
Key planning issues e.g. vegetation, waterway corridors, overland flow	Proposed development includes a building height of 7 Storeys which represents a departure from the maximum height limitations (3 Storeys) as expressed in the South Burnett Regional Planning Scheme’s Kingaroy Principal Centre. Applicant’s primary justification for a departure from the 3 storey maximum height limitation (in the Kingaroy Principal Centre) are outlined in an Economic Needs and Demand Report Assessment which is used to justify a co-location of all proposed uses on this particular site.	
Referral agencies	Agency	Concurrence/ Advice
	Department of Transport & Main Roads	Concurrence Agency
Public notification	Yes – Mandatory 15 business days	
Planning Regulation 2017	<ul style="list-style-type: none"> Schedule 10, Part 9, Division 4, Subdivision 1 (Table 1). Schedule 10, Part 9, Division 4, Subdivision 2 (Table 2). Schedule 10, Part 18, (Table 1). 	

2. THE SITE

This section of the report provides a description of the site, identifies existing uses and notable characteristics of the site, the standard of servicing, and the form of development in the immediate locality.

2.1. SITE DESCRIPTION & EXISTING USE

Table 1 – Maps & Descriptions (Source: Intramaps)

<p>Site</p>	 <p><i>Figure 1 - Highlighted lots that are part of the proposed Mixed Use Development</i></p> <p>The subject site is located in the Principal Centre and Community facilities zone which is made up of low set community facilities, large retail centre adjacent to the subject site, fronting Alford Street and Kingaroy Street. Several low rise retail strip shops along Alford Street and government buildings.</p>
<p>Zoning</p>	 <p><i>Figure 2 - The subject site adjoins State Emergency Services to the south, Cherbourg Regional Aboriginal and Islander Community Health Services Clinic to the south - west, Rooms Motel Short term accommodation to the west including single storey dwelling house.</i></p>

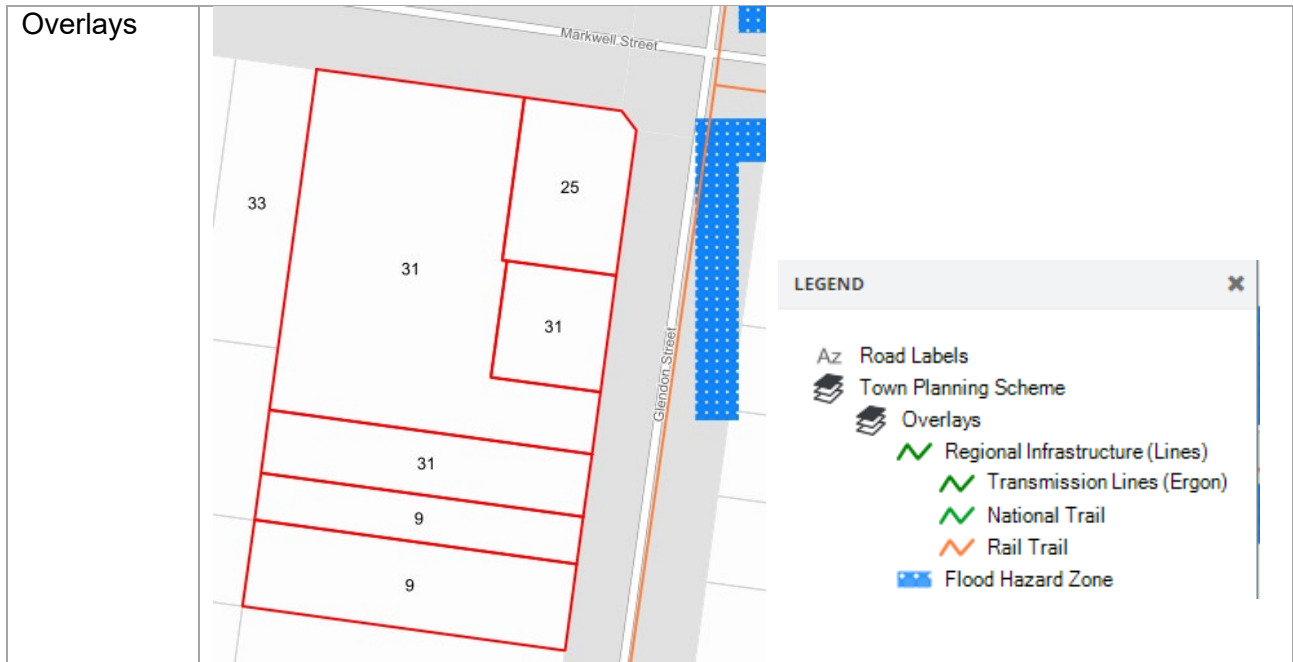
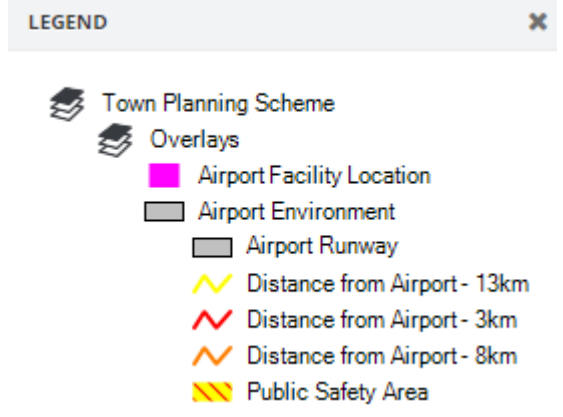


Figure 3 - Subject site is not constrained by Bushfire/Flood Hazard.



Figure 4 - Subject site is within 8km from the Airport.



Services

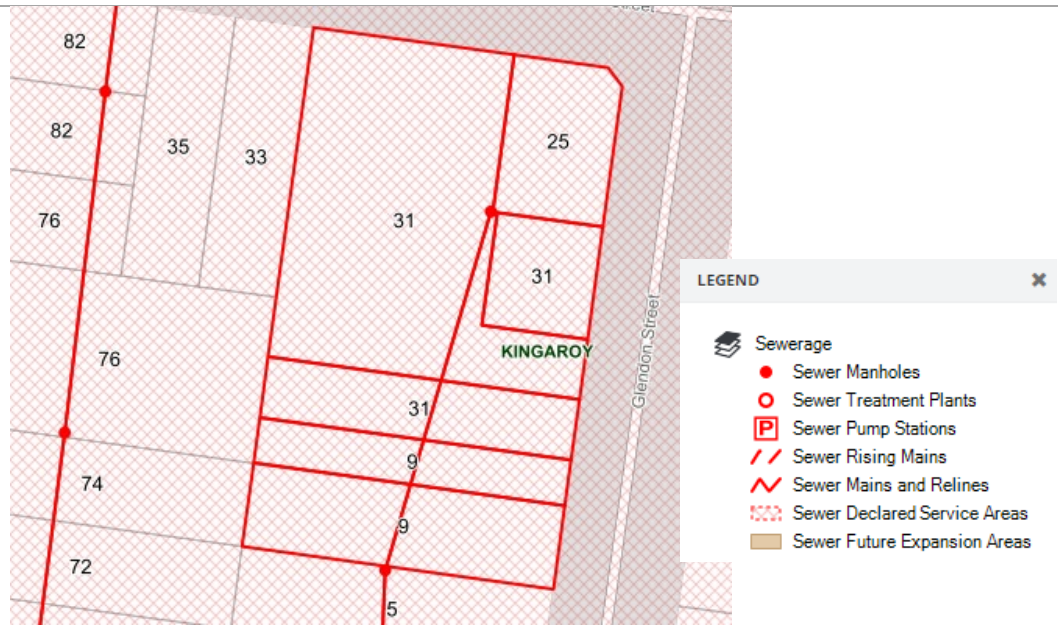


Figure 5 - Source: IntraMaps (Sewer Reticulation Network).



Figure 6 - Source: IntraMaps (Stormwater Network).

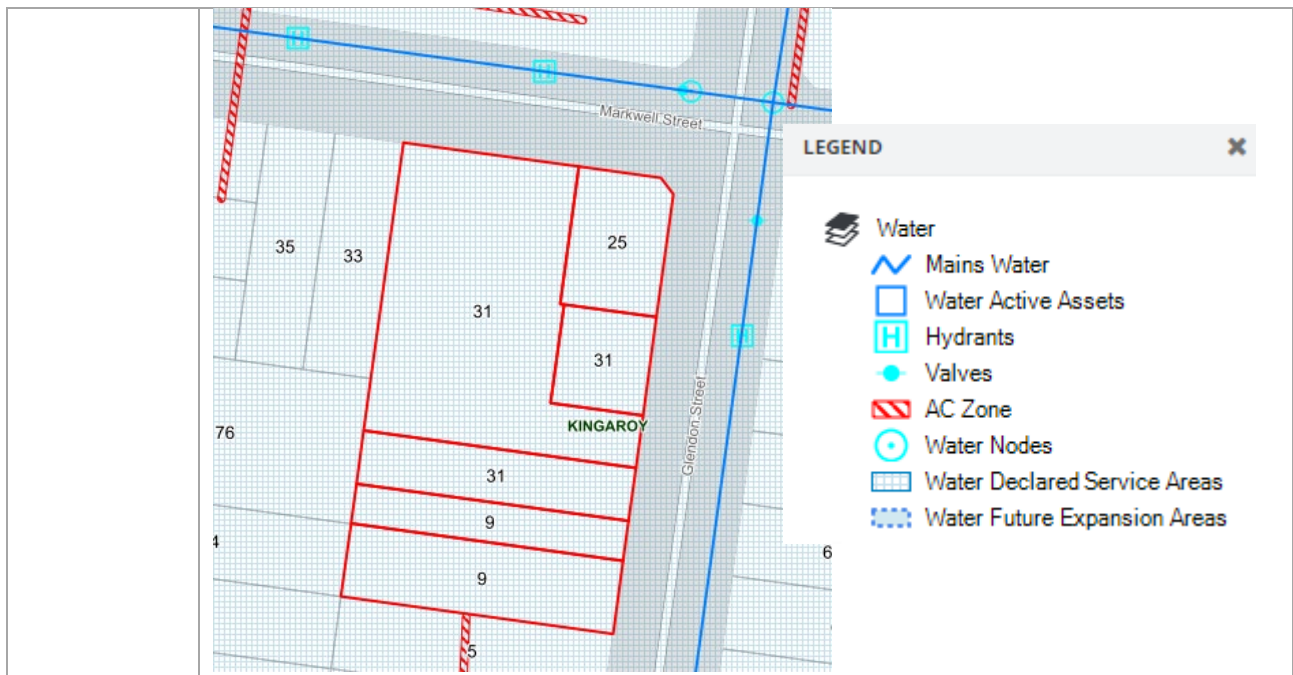


Figure 7 - Source: IntraMaps (Water Supply Network).

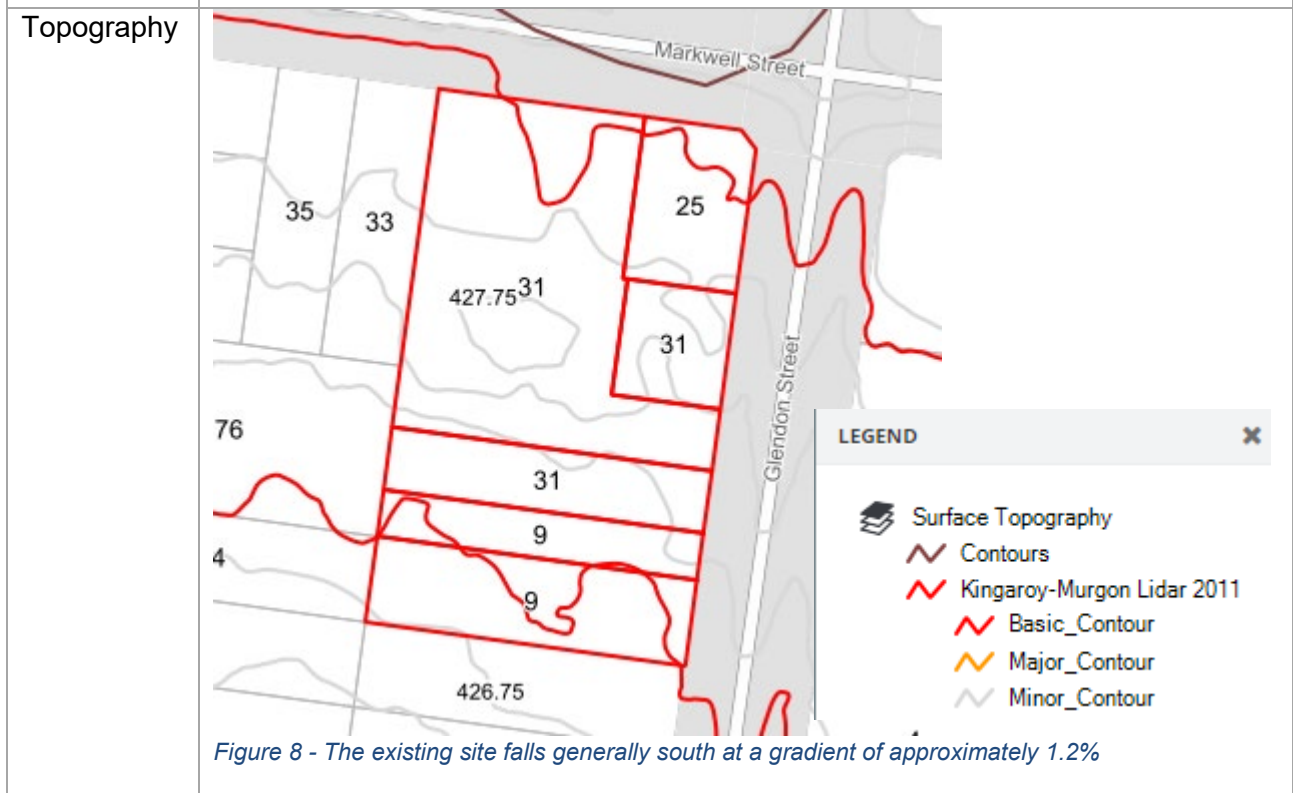


Figure 8 - The existing site falls generally south at a gradient of approximately 1.2%

Proposed Staging Strategy



Figure 99 - Source: Extract from applicant's Planning Report

2.2. DEVELOPMENT HISTORY OF THE SITE

A number of the lots are occupied by existing health care services and hospital which will be demolished as part of the site's redevelopment.

3. PROPOSAL DETAILS

SUMMARY DETAILS

Redevelopment of the site is proposed to occur over 3 stages. The development proposes a Residential care facility, Health care services, new Hospital with ancillary café/Florist, and short-term accommodation units for non-local staff members. A Child care centre is also proposed on the ground floor fronting Markwell Street.

The existing Lady Bjelke-Petersen Community Hospital will remain operational while a new Hospital land use including staff accommodation (not for general public use), Health care services and Residential care facility is being constructed (as stage 2 of the development). The development will be a maximum of 7 storeys (6 storeys with a partially covered rooftop).

Stage 2 will be implemented in three (3) phases:

1. Relocation of all existing services and facilities from the Lady Bjelke-Petersen Community Hospital;
2. Demolition of the existing Lady Bjelke-Petersen Community Hospital and medical centre;
3. Construction of the second wing of the facility – located towards the Markwell Street frontage consisting of:
 - a. Additional Health care services;
 - b. Ancillary hospital tenancies; and
 - c. New ground level community forecourt area (incl. Food & Drink Outlets/Shop)

The Residential care facility will form a large portion of Stage 2 comprising:

- 94 x general care rooms;
- 1 x palliative care room;
- 10 x dementia care rooms; and
- 22 x NDIS accommodation suites.

Stage 2 will also include 39 additional short term staff accommodation units for non-local workers, and a Child Care Centre fronting Markwell Street.

Stage 3 will comprise of an expansion of the Residential care facility to include:

- 92 x general care rooms; and
- Level 5 garden space plus completion of the multi-purpose partially covered rooftop structure and unenclosed garden space.

Demolition of the existing radiology clinic will allow for a new car park facility at ground level and level 1.

DETAILS	
Tenancies	Radiology Medical Centre Pathology Allied Health Oncology General Rooms – 291 rooms Palliative Rooms – 13 rooms Dementia Rooms – 10 rooms NDIS Accommodation – 44 suites Hospital -8 beds plus 12 recovery chairs Food & Drink Outlet/Shop Short term accommodation – 42 units Child care centre

Gross Floor Area + Outdoor Storage Area	36,712.3sqm		
Building height	33.5m above ground level		
Storeys (height)	7		
Site Cover	8,007sqm (84% as per stormwater report)		
Impervious Area	8,942sqm		
Landscape	Upon completion of all stages: <ul style="list-style-type: none"> • Include landscaped areas on the rooftop. and • Containerized planters at ground level. and Vertical/trellis mounted greenery within parts of the building facade.		
Number of parking spaces	See below		
	Land use	Provided in Stage/s	Required by Planning Scheme
	Residential care facility, Hospital plus accommodation and Health care service	Stage 1 <ul style="list-style-type: none"> • 42 onsite carparks • 8 short term / drop off car parks • 10 new short term drop off on street car parks • 2 ambulance bays • Mini bus loading zone on street 	149 On-site spaces no allowance for street parking.
	Residential care facility, short term staff accommodation, Health care service and Child care centre	Stage 2 (cumulative) <ul style="list-style-type: none"> • 92 onsite car parks • 47 onsite temporary car parks • 8 short term / drop off car parks • 10 short term drop off on street car parks • 2 ambulance bays • Mini bus loading zone on street 	80 On-site spaces no allowance for street parking.
	Residential care facility	Stage 3 (cumulative) <ul style="list-style-type: none"> • 175 onsite car parks • 8 short term / drop off car parks • 10 short term drop off on street car parks • 3 ambulance bays 	23 On-site spaces no allowance for street parking.

	<ul style="list-style-type: none"> • Mini bus loading zone on street
Parking Rate	<p>The applicant has demonstrated through an alternative solution/s car parking rates reflective of the tenancies within the building. The requested car parking rate is based on the development being a “Health Hub” which provides the opportunity for cross utilisation of visitors which are likely to use multiple services in a single visit. Similarly, there will be cross utilisation of uses where visitors may park in the surrounding area including the adjacent commercial precinct.</p> <p>The accepted car parking rates also applies for staff short term accommodation use as it is proposed that the staff will be FIFO workers and bused from the airport to the site.</p>
Access	Markwell Street and Glendon Street
Design Vehicle	Short rigid vehicle (SRV), waste collection vehicle (WCV), ambulance, B99
Setbacks	Setbacks have been assessed against the performance outcomes of the applicable zone code.
Materials	Various materials include – glass, aluminium, rendered masonry, batten screening and feature brick.

4. ASSESSMENT AGAINST ASSESSMENT BENCHMARKS

The following sections of the *Planning Act 2016* are relevant to assessment of this application:

- 45(5) *An impact assessment is an assessment that –*
- (a) *must be carried out –*
 - (i) *against the assessment benchmarks in a categorising instrument for the development; and*
 - (ii) *having regard to any matters prescribed by regulation for this subparagraph; and*
 - (b) *may be carried out against, or having regard to, any other relevant matter, other than a person’s personal circumstances, financial or otherwise.*

The following sections of the *Planning Regulation 2017* outline the assessment benchmarks for the development application.

Section 30 – Assessment Benchmarks generally

- (1) *For section 45(5)(i) of the Act, the impact assessment must be carried out against the assessment benchmarks for the development stated in schedules 9 and 10.*
- (2) *Also, if the prescribed assessment manager is the local government, the impact assessment must be carried out against the following assessment benchmarks—*
 - (a) *the assessment benchmarks stated in—*
 - (i) *the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - (ii) *the State Planning Policy, part E, to the extent part E is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - (iii) *a temporary State planning policy applying to the premises;*
 - (b) *if the development is not in a local government area-any local planning instrument for a local government area that may be materially affected by the development;*
 - (c) *if the local government is an infrastructure provider—the local government’s LGIP.*
- (3) *However, an assessment manager may, in assessing development requiring impact assessment, consider an assessment benchmark only to the extent the assessment benchmark is relevant to the development.*

4.1. WIDE BAY BURNETT REGIONAL PLAN

<p>WBB Regional Plan Designation:</p>	<p>The Wide Bay Burnett Regional Plan (WBBRP) 2023 is a 25-year statutory plan that came into effect December 2023. The South Burnett Regional LGA is part of the WBBRP hence its 'Objectives' & 'Policies' require assessment and consideration.</p> <p>The WBBRP (2023)</p> <ul style="list-style-type: none"> • Establishes a shared vision for WBB's future and provides the steps to achieve this; • Identifies and plans for the continued development of a multifaceted economic profile; • Responds to region-specific challenges and opportunities informs major strategic planning and infrastructure decisions for local governments and state agency's forward planning and delivery; and • Provides support for key planning directions through committed actions and governance. <p>The following WBBRP 2023 'Objectives' & 'Policies' were identified as relevant to the assessment of this application:</p> <ul style="list-style-type: none"> • Objective 1.2 - 'Plan for our future' - includes aspects that focus on the need for future urban consolidation particularly within towns identified as 'main urban settlements' (i.e. Kingaroy). Policies supporting Objective 1.2 broadly include: <ul style="list-style-type: none"> ○ <i>1.2.1 Directing higher order services to town centres.</i> ○ <i>1.2.2 Prioritisation of infill development and urban generation opportunities in existing regional centres.</i> ○ <i>1.2.3 Offer diverse housing options to meet varying needs (inclusive of ageing population.</i> ○ <i>1.2.11 Provide accommodation options (including short term) to key, and/or temporary workers.</i> • Objective 1.3 - 'Make place we're proud of' - focuses on placemaking and is taken to encourage those who live in the region to remain whilst attracting others to locate in the region. A key policy aim of Objective 1.3 is: <ul style="list-style-type: none"> ○ <i>1.3.6 Integrate aged care and lifestyle communities into the existing urban fabric. Ensure these developments are walkable, healthy and safe, and provide access to health and social services infrastructure.</i> • Objective 2.2 - 'Lead primary production into the mid 21st Century '- whilst the WBBRP expects Kingaroy to address matters of housing and infrastructure,
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	<p>Objective 2.2 policies also require retention of existing high quality agricultural land known to encircle Kingaroy and limit its expansion.</p> <ul style="list-style-type: none"> • Objective 2.3 - 'Create employment pathways for all' - identifies key regional employers within the WBBRP to which health care, and aged care are economic priorities. Policies supporting Objective 2.3 broadly include: <ul style="list-style-type: none"> ○ 2.3.1 Direct allied health, commercial and higher density mixed use opportunities (including short term accommodation and housing diversity) are located proximate to new, established, or expanding health precincts. ○ 2.3.2 Identify and plan for multipurpose, flexible and adaptable health facilities and services that respond to changing and emerging community needs. <p>Summary – assessment against relevant aspects of the WBBRP 2023 indicate that the proposed development responds appropriately based on the following:</p> <ol style="list-style-type: none"> 1) The mix of uses and location within the Kingaroy Principal Centre support urban consolidation which is essential to the ongoing maintenance of existing high quality agricultural land encircling the town. 2) The mix of uses proposed directly respond to the identified accommodation/housing requirements and corresponding economic/service needs.
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4.2. STATE PLANNING POLICY

The State Planning Policy (July 2017) (SPP) commenced on 3 July 2017. The *Planning Regulation 2017* (PR 2017) states the assessment must be carried out against the assessment benchmarks stated in Part E of the State Planning Policy to the extent Part E is not appropriately integrated into the planning scheme.

In accordance with section (8)(4)(a) of the Act, the State Planning Policy applies to the extent of any inconsistency with the Planning Scheme.

State Planning Policy Part E	
Liveable communities and housing	<p>This assessment benchmark was reviewed and the following determined:</p> <ul style="list-style-type: none"> • Development aligns with requirements to provide 'community facilities and services such as cost effective/multi-functional: <ul style="list-style-type: none"> ○ Health care services; and ○ Medical services. <p>No applicable assessment benchmarks.</p>

<p>Economic growth</p> <ul style="list-style-type: none"> • Agriculture. • Development and construction. • Mining and extractive resources. • Tourism. 	<p>This assessment benchmark was reviewed and the following determined:</p> <ul style="list-style-type: none"> • Agriculture - Consolidation of proposed uses in the development (additional height), may be reasonable in terms of alleviating pressure to develop Kingaroy’s encircling rural zones/high value agricultural land. • Development and construction – this development has the potential to make significant economic contributions (directly and indirectly) in the short and longer term via construction and ongoing operations. <p>No applicable assessment benchmarks.</p>
<p>Planning for the environment and heritage.</p> <ul style="list-style-type: none"> • Biodiversity. • Coastal environment. • Cultural heritage. • Water quality 	<p>This assessment benchmark was reviewed, it was determined that the development was not affected (by the assessment benchmark).</p> <p>No applicable assessment benchmarks.</p>
<p>Safety and resilience to hazards</p> <ul style="list-style-type: none"> • Emissions and hazardous activities. • Natural hazards, risk, and resilience. 	<p>This assessment benchmark was reviewed and the following determined:</p> <ul style="list-style-type: none"> • Natural Hazards, risk and resilience – the proposed development intends to concentrate a substantial number of vulnerable uses within the Kingaroy Principal Centre in areas free from mapped flooding. Assessment of the application identified that large areas of Kingaroy’s Principal Centre are subject to inundation and hence would not be suitable for the uses proposed. Accordingly, it is determined that the SPP’s ‘Natural hazards, risk, and resilience Assessment Benchmarks are best addressed (in this instance) by collocation of vulnerable uses on land with no mapped flood risk. <p>Natural hazards, risk and resilience.</p> <p>The site is mapped by State Policy mapping as bushfire hazard area. As such, a site-specific report has been prepared by a suitably qualified person to ground truth the bushfire hazard mapping and apply site-based data to assess bushfire risk.</p> <p>The submitted report has appropriately addressed the State planning methodology for calculating bushfire hazard and risk. The outcomes of that report find that the subject site and proposed reconfiguration of that lot can suitably address bushfire hazard and risk.</p> <p>On this basis, and as per recommended conditions of approval, and in accordance with the approved</p>

	bushfire hazard report the development can be approved subject to conditions.
<p>Infrastructure</p> <ul style="list-style-type: none"> • Energy and water supply. • Infrastructure integration. • Transport infrastructure. • Strategic airports and aviation facilities. • Strategic ports. 	<p>This assessment benchmark was reviewed, it was determined that the development was not affected (by the assessment benchmark).</p> <p>Complies.</p> <p>All appropriate residential services infrastructure and connections can be made and conditions are recommended.</p>

4.3. REFERRAL AGENCIES

To determine whether the development application requires referral to the State Assessment and Referral Agency (SARA) or ‘another entity’, an assessment against Schedule 10 of the Regulation has been undertaken.

Based on the findings indicated in Table 3 below, the application required referral to SARA

Note: Grey shading indicates no provisions.

Table 3 - Matters Prescribed in Schedule 10 of the Planning Regulation						
Part	Matter	Applicability to this Development Application	Prohibited Development	Assessable Development	Referral Agency	Assessment Benchmarks / Matters to be assessed against
1	Airport Land	N/A		N/A	N/A	N/A
2	Brothels	N/A	N/A	N/A		N/A
3	Clearing Native Vegetation	N/A	N/A	N/A	N/A	N/A
4	Contaminated Land	N/A		N/A	N/A	N/A
5	Environmentally Relevant Activity	N/A	N/A	N/A	N/A	N/A
6	<p>Fisheries:</p> <ul style="list-style-type: none"> - Aquaculture - Declared Fish Habitat - Marine Plants - Waterway Barrier works 	<p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p>		N/A	N/A	N/A
7	Hazardous Chemical Facilities	N/A		N/A	N/A	N/A
8	<p>Heritage Place:</p> <ul style="list-style-type: none"> - Local Heritage Place - Queensland Heritage Place 	N/A		N/A	N/A	N/A
9	<p>Infrastructure Related:</p> <ul style="list-style-type: none"> - Designated Premises - Electricity - Oil and Gas - State Transport Corridors and Future State Transport Corridors - State-controlled transport tunnels and future state-controlled transport tunnels 	<p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p> <p>YES</p> <p>N/A</p>			SARA	<p>State Code 1 & State Code 6</p>
10	Koala Habitat in SEQ region	N/A	N/A			N/A

Table 3 - Matters Prescribed in Schedule 10 of the Planning Regulation						
Part	Matter	Applicability to this Development Application	Prohibited Development	Assessable Development	Referral Agency	Assessment Benchmarks / Matters to be assessed against
11	Noise Sensitive Place on Noise Attenuation land	N/A	N/A			
12	Operational Work for Reconfiguring a Lot	N/A		N/A		
12A	Walkable Neighbourhoods – particular reconfiguring a lot	N/A		N/A		N/A
13	Ports: - Brisbane Core Port Land - Within the port limits of the Port of Brisbane - Within the limits of another port - Strategic Port Land	N/A N/A N/A N/A		N/A	N/A	N/A
14	Reconfiguring a Lot under the Land Title Act	N/A		N/A	N/A	N/A
15	SEQ Development Area	N/A		N/A	N/A	N/A
16	SEQ Regional Landscape and Rural Production Area and Rural Living Area: - Community Activity - Indoor Recreation - Residential Development - Urban Activity	N/A	N/A	N/A	N/A	N/A
16A	Southport Spit	N/A	N/A			
17	Tidal Works or Work in a Coastal Management District	N/A		N/A	N/A	N/A
18	Urban Design	YES			SARA	State Code 24
19	Water Related Development: - Taking or interfering with water - Removing quarry material - Referral dams - Levees	N/A N/A N/A N/A		N/A	N/A	N/A
20	Wetland Protection Area	N/A	N/A	N/A	N/A	N/A
21	Wind Farms	N/A		N/A		N/A

The State Assessment & Referral Agency (SARA) have reviewed the development application and provided a response (refer to SARA referral agency response – 2310-37472SRA). Statement of Reasons conclude that:

- The development complies with State Code 1 and State Code 6.

Note: SARA response and conditions makes no reference to State Code 24 (as originally referred). On this basis it is presumed that SARA is satisfied that the development complies with State code 24 and did not impose conditions.

4.4. SOUTH BURNETT REGIONAL PLANNING SCHEME

Pursuant to Section 5.5 – Table 5.5.3 & Table 5.5.10 - Level of Assessment in the applicable zones of the South Burnett Regional Planning Scheme, an application for Development Permit for Material Change of Use for Staged Mixed-Use Development – Residential care facility, Health care services, Hospital and Child care centre requires impact assessment. The relevant assessment benchmarks are set out below pursuant to the South Burnett Regional Planning Scheme’s order of hierarchy:

- Part 3 – Strategic Framework;
- Part 6 – Community Use Zone Code;
- Part 6 – Principal Centre Zone; and
- Part 8 – Services and Works Code.

4.4.1 Strategic Framework

An assessment of the proposed development against the relevant themes included under the Strategic Framework is included below.

Part 3 Strategic Framework	
3.1 Preliminary	
<p>1) The strategic framework sets the policy direction for the planning scheme and forms the basis for ensuring appropriate development occurs in the planning scheme area for the life of the planning scheme.</p> <p>2) Mapping for the strategic framework is included in Schedule 2</p> <p>3) For the purpose of describing the policy direction for the planning scheme, the strategic framework is structured in the following way:</p> <p>(a) the strategic intent;</p> <p>(b) the following six themes that collectively represent the policy intent of the scheme:</p> <p>(i) Settlement pattern;</p> <p>(ii) Rural futures;</p> <p>(iii) Strong economy;</p> <p>(iv) Natural systems and sustainability;</p> <p>(v) Strong communities;</p> <p>(vi) Infrastructure and servicing.</p> <p>(c) the strategic outcome(s) sought for development in the planning scheme area for each theme;</p> <p>(d) the specific outcomes sought for each or a number of elements.</p> <p>4) Although each theme has its own section, the strategic framework in its entirety represents the policy intent for the planning scheme</p>	<p>3.1 – All aspects of the South Burnett Regional Planning Scheme 2017 v1.4 ‘Strategic Framework’ were reviewed and responded to in the following way:</p> <p>1) Commentary provided where considered to have relevance; or</p> <p>2) Stated as not applicable to this proposed development.</p>
3.2 Settlement Pattern Context	
<p>With a strong agricultural heritage, based on animal and crop production, the South Burnett Region has a resilient economy. It</p>	<p>3.2 Complies – the development locates uses within appropriately zoned land in</p>

<p>offers its residents a diverse range of lifestyle choices set in a rural environment. In its Community Plan, local residents summarised their aspirations in the statement “we want to be a major regional centre with a country lifestyle atmosphere”. In effect, this means Kingaroy is to grow into the Region’s major regional centre while the balance of the Region relies on that as support for rural pursuits and lifestyles that include smaller villages, and areas of rural residential development.</p>	<p>Kingaroy’s Principal Centre & Community Use Zone. The proposed development does not place undue pressure on highly valued rural land surrounding the urban zones comprising Kingaroy itself.</p>
<p>The Region is on the edge of the Surat Basin, a region rich in resources, notably thermal coal and coal seam gas. Strong economic growth and consequent development and population impacts are expected over the next 30 years. While the South Burnett Region is not known to contain these resources and is not directly affected by their extraction, its proximity means potential growth and as a base for industry supporting the associated extraction, development, technology and transport operations. While growth consequences would likely focus on Kingaroy – and may influence development around the airport – the Region’s range of lifestyle options means impacts could be experienced across the Region.</p>	<p>Application material and the subsequent response to information request would benefit greatly with a more robust study to conclusively determine:</p> <ul style="list-style-type: none"> • If the AEC Economic and Demand Report can be relied upon wholly for justification to support the proposed development; and/or • Further to economic justifications, impacts of growth and development (over time) may in fact necessitate or drive the need to consolidate urban form. Assessment has been carried out against the Wide Bay Burnett Regional Plan 2023 (refer to Section 4.1 above).
<p>3.2 Settlement Pattern Kingaroy</p>	
<p>Kingaroy is the major regional centre of the Region and consists of the main town, surrounded by Crawford, Memerambi, Wooroolin, Taabinga, Kumbia and Coolabunia villages. It is characterised by:</p>	
<p>(1) The strongest population growth rate in the Region that reflects the increased level of infrastructure in the town and its proximity to Toowoomba, the Darling Downs and Southeast Queensland</p>	<p>The suite of uses proposed appear generally consistent with anticipated service provision in the Principal Centre as referred to in the AEC Economic and Demand Report. However, AEC’s needs analysis could be peer reviewed to ensure arguments made in support of ‘overriding need’ justify the scale of uses and resultant development height.</p>
<p>(2) A low residential density. Most people live in houses on relatively large lots and there are opportunities to establish a more compact settlement pattern, comprising a range of low scale multiple dwellings and small lot housing, close to the town centre and other community services.</p>	<p>Not applicable.</p>
<p>(3) Rural residential development provides a legitimate lifestyle choice that is, like larger residential lots, characterises Kingaroy’s values. There is a commitment toward a continuing supply of rural residential lots,</p>	<p>Not applicable – noting that the proposed development is intended to cater for Kingaroy and the greater existing regional demands.</p>

<p>though by way of consolidation, in response to need, rather than expansion. It is recognised that this type of development has the capacity to erode rural production and character values. It can also create an expectation by residents for urban-type services that would create unreasonable demands on Council resources.</p>	
<p>(4) A number of industrial locations. The continued concentration of larger scale and higher impact industry on the southern approaches to town is logical from the perspectives of geography and transport. It presents visual challenges in the interests of retaining an attractive transition from the rural backdrop. The protection of the on-going operations of Swickers Kingaroy Bacon Factory Pty Ltd (Swickers) the Peanut Company of Australia (PCA) and Beangrowers Australia will assist in facilitating their long-term economic benefits to the town. Small scale industrial localities throughout the town provide useful access to more frequently used services. With an ample supply of existing zoned industrial land, expansion beyond zoned areas is not preferred unless there is an overriding planning need.</p>	<p>Not applicable.</p>
<p>(5) A well-defined and economically and socially valuable town centre. The town centre comprises of a comprehensive range of retail, commercial, cultural, entertainment and administrative facilities. Kingaroy Shopping-world is the principal retail destination in the town centre and the protection of its viability is a priority. In the interests of maximising walkability, person-dependent retail and commercial activities are concentrated into a principal activity core. Opportunity exists for expansion of, and the establishment of a medical precinct focused on, the Kingaroy Hospital to provide specialist and ancillary activities. Fast food and large showroom activity has occurred along near-town stretches of the Bunya and D’Aguilar Highways, with concentrations of large retail showrooms in the Rogers Drive and River Road/Bunya Highway areas. This represents generally sound planning, and its continuation is facilitated, provided the primacy of the town centre is retained. With an ample supply of existing zoned commercial land, expansion beyond zoned areas is not preferred unless there is an overriding planning need.</p>	<p>a) The proposed suite of uses are substantially different to those prioritised in the adjacent Kingaroy Shopping World. The proposed development does not compromise intended priorities for retail use within the Principal Centre.</p> <p>b) The development capitalises on establishment of a medical precinct with ancillary uses within what is argued as the ‘Principal Activity Core’. The development site’s distance from the Kingaroy Hospital isn’t appreciable so the desired nexus is met.</p> <p>c) The application material initially lodged and the information request response provides limited discussion on the matter of use expectations vs availability land within Kingaroy (particularly its centre). In this instance section 3.2 of the Strategic Framework makes specific reference to the need for concentrations of retail showroom/large format sales areas within the Principal Centre yet doesn’t anticipate further expansion Section 3.2 of the Strategic Framework should have been further considered by the applicant, in the context of additional building height vs limitations on expansion of the Kingaroy</p>

	<p>Township to accurately determine whether more height is required than currently prescribed. Given local and regional expectations placed on Kingaroy there may be a strategic argument for increased height within the Principal Centre (due to evolving regional demands) however this is yet to be verified.</p>
<p>(6) Buffers to industrial activities, particularly Swickers, are crucial to their on-going viability and must be protected from the encroachment of incompatible land uses.</p>	<p>Not applicable.</p>
<p>(7) The D’Aguilar and Bunya Highways dissecting the town. With the potential increase in heavy vehicle traffic alternative haulage routes that bypass the town centre may need to be investigated to support the town centre’s function.</p>	<p>Not applicable – DTMR has objection.</p>
<p>(8) Kingaroy’s growth, and its consequent attractiveness to major service providers, gives communities in the whole Region the confidence to enjoy their country lifestyle choices but with access to major services. Decision-making regarding land uses should support Kingaroy’s important attributes – regional level services; a strong and culturally important town centre; a variety of well serviced residential areas with a conventional house character; and well located and suitably buffered industrial land to accommodate service infrastructure for local communities, agriculture and major industry – but still retains its country lifestyle qualities.</p> <p>Kingaroy experiences growth pressures ranging from commercial developments and units in primarily residential areas to urban development near major industry. Strategically, decisions on applications demand a clear appreciation of Kingaroy’s long-term urban form and regional role but also its community’s aspiration for a relaxed character and lifestyle, which may be reflected in such elements as generous lot sizes, dwelling densities and spaces between buildings, limited unit development low building heights in residential areas and attention to the way in which Kingaroy physically meets its rural backdrop.</p>	<p>The application material initially lodged, and the information request response provides limited discussion on the matter of use expectations vs availability of land within Kingaroy (particularly its centre). The applicant sought to further elucidate detailed grounds to demonstrate why such a development should be located in its entirety on a single site with a height of 7 storeys. Stronger/more robust arguments may be derived in instances where:</p> <ul style="list-style-type: none"> • The AEC Economic and Demand Report assessment can be verified as sufficient grounds to locate the development wholly on one site at height proposed. Verification provided via a peer review by an appropriately qualified professional: and/or • A detailed land study and broad economic assessment of Kingaroy’s role as a regional centre either justifies issues with land supply forcing additional height within Kingaroy, or supports the AEC Economic and Demand Report assessment.
<p>3.2 Settlement Pattern Other Towns</p>	
<p>South Burnett Region’s other towns – Blackbutt, Murgon, Nanango, and Wondai – are significant in terms of their distinctive country characters, strong communities and established facilities. Their residential areas reflect the expectation that larger lot sizes and</p>	<p>Not applicable – noting that ‘Other Towns’ within the South Burnett Region defer to the Kingaroy Centre for major employment, services, & commercial activity.</p>

<p>minimal intrusion by multiple dwelling units will be maintained to preserve the existing character and retain the desired country lifestyle. The towns support mostly small-scale industries but have in the past accommodated significant industrial use based on timber-getting, grazing and dairying. The presence of the Tarong Power Station, and its associated coal reserves, has contributed to economic and employment activity.</p> <p>From a planning perspective, the quantum of growth in other towns is relatively low and planning for this is largely about managing their distinctive character and local service industries. In the case of Murgon, the relationship with the Cherbourg Community provides additional economic activity and employment generation.</p>	<p>On this basis the proposed development is appropriately located in terms of South Burnett Region's hierarchy of towns & centres.</p>
<p>Blackbutt (and nearby Benarkin) is a timber and highway service town near the Blackbutt Range and Benarkin State Forest on the D'Aguilar Highway. Its hinterland accommodates substantial rural residential development that has placed the town under some growth pressure particularly in relation to commercial facilities. There is scope for consequential development, such as expanded commercial and service facilities, which in many cases will logically have a highway focus.</p>	<p>Not applicable – noting that 'Other Towns' within the South Burnett Region defer to the Kingaroy Centre for major employment, services, & commercial activity.</p> <p>On this basis the proposed development is appropriately located in terms of South Burnett Region's hierarchy of towns & centres.</p>
<p>Nanango, the next largest town in the Region after Kingaroy, is a service centre to a sizeable agricultural district, though its surrounding area accommodates a number of established rural residential developments. Being close to the Bunya Mountains and on the junction of the Burnett and D'Aguilar Highways, on the inland route to northern Queensland, it carries substantial through traffic. It provides service, accommodation and tourist activities for travellers, the latter bolstered by a series of annual events. Nanango has an informal settlement pattern that appropriately reflects the town's nature. That is continued through decisions that permit some flexibility toward such matters as residential densities and infrastructure provision. Nevertheless, management of urban development location, density and form has the potential to improve efficiency, minimise conflicts between different urban forms and limit conflicts associated with spreading into rural areas.</p>	<p>Not applicable – noting that 'Other Towns' within the South Burnett Region defer to the Kingaroy Centre for major employment, services, & commercial activity.</p> <p>On this basis the proposed development is appropriately located in terms of South Burnett Region's hierarchy of towns & centres.</p>
<p>Wondai supports sizeable grain, cattle and timber industries and an emerging wine industry, centring on the Moffatdale area. It is characterised by the extensive open space</p>	<p>Not applicable – noting that 'Other Towns' within the South Burnett Region defer to the Kingaroy Centre for major</p>

<p>which follows the railway reserve separating the town centre from the highway, a legacy of town form following the rail. Its timber industry is still a major employer which is reflected in the Wondai Timber Museum and operating sawmill located on the eastern edge of the town. Sensible decision making is required to maintain separation between the sawmill and other town activities.</p>	<p>employment, services, & commercial activity. On this basis the proposed development is appropriately located in terms of South Burnett Region’s hierarchy of towns & centres.</p>
<p>3.2 Settlement Pattern Villages</p>	
<p>The villages of Benarkin, Kumbia, Maidenwell, Memerambi, Wooroolin, Tingoorra, Hivesville, Boondoomba Dam, Proston and Dulong are sizeable communities with few local services. Their village atmospheres – small, rural setting, traditional architecture and street form and an informal mix of land uses – contribute to their appeal and reinforcement of this character is supported. Nevertheless, there are amenity issues associated with historic land use allocation, so it is acknowledged that villages benefit from structure to their land use planning. Occasional piecemeal subdivision has occurred in the past, but topographical, natural resource and hazard related constraints discourage further intensification, as the relative isolation poses servicing difficulties that should not be exacerbated. Where there is legitimate planning need, rural residential development may be consolidated in convenient locations with few constraints.</p> <p>These villages have experienced little growth and that is likely to continue, such that planning strategies centre on containing the area covered by the village’s footprint and providing for limited expansion if events transpire to create growth.</p> <p>The small village in the Bunya Mountains is significant because of its location within the Bunya Mountains National Park and its generally distinctive architecture, which reflects the mountainous environment with its alpine village character.</p>	<p>Not applicable – noting that ‘Other Towns’ within the South Burnett Region defer to the Kingaroy Centre for major employment, services, & commercial activity.</p> <p>On this basis the proposed development is appropriately located in terms of South Burnett Region’s hierarchy of towns & centres.</p>
<p>3.2 Settlement Pattern 3.2.1 Strategic Outcomes</p>	
<p>(1) Forecasts suggest moderate growth throughout the Region, prompting incremental increases in urban growth areas around most towns. However, possible growth influences, such as that associated with the Bowen Basin, may occasion larger growth areas.</p>	<p>3.2.1.1. Growth in this strategic outcome is considered in context of ‘urban growth’ which is taken to infer residential development. While this is not specifically related to the proposed development the AEC report appears to include growth trends within South Burnett Region. On that basis the application does show a</p>

	<p>need based on existing levels of development (in South Burnett Region).</p> <p>The planning assessment has determined that while AEC's Economic and Demand Report appears authoritative and based on sound principles, an assessment by a suitably qualified professional would enable confirmation that:</p> <ul style="list-style-type: none"> a) AEC's Economic and Demand Report can be relied upon to justify need for the proposed uses. ⁽¹⁾ b) AEC's Economic and Demand Report can be relied upon as grounds to justify a departure from the height limitations in Kingaroy's Principal Centre. ⁽²⁾ <p>1)The application lodged with South Burnett Regional Council was assessed by town planners and engineers. Town planners and engineers are not qualified to determine appropriateness/accuracy of an Economic and Demand Report.</p> <p>2)Council's planning assessment could not establish a direct link to height via the AEC Economic and Demand Report, this matter was raised with the applicant in a meeting (early December 2023). The applicant advised that the AEC Economic and Demand Report does justify the height proposed. Town planners and engineers are not qualified to determine the appropriateness/accuracy of an Economic and Demand Report.</p>
<p>(2) Kingaroy will continue to accommodate the greater proportion of the Region's population, commercial development and major facilities.</p>	<p>3.2.1.2. Complies – The development is proposed within the Kingaroy Centre.</p> <p>The South Burnett Regional Planning Scheme envisages 'Residential care facility 'in the Principal Centre zone and Medium Density Residential Zone. This planning assessment did identify that consolidation of uses such as Residential care facility within larger buildings (in the Principal Centre) may assist Council maintain other policies that focus on adequate land supply for other forms of affordable housing also required by the region's population.</p>
<p>(3) Kingaroy develops as the main activity centre for the Region with the highest level of commercial, industrial, community and municipal services. Other towns develop at a scale that supports Kingaroy's role while providing a more localised level of service.</p>	<p>3.2.1.3. Complies – The development is proposed within the Kingaroy Centre.</p> <p>As discussed in 3.2.1.2 response consolidation of 'Residential care facility' use as proposed, in the Kingaroy Principal Centre may assist Council maintain other policies that focus on adequate land supply of other forms of housing. If Kingaroy is required to be the main activity centre for the Region, with highest level of service provision, it's also reasonable (in planning terms) to ensure there is adequate supply</p>

	of residential land to meet various housing needs to support Kingaroy’s role.
(4) Increases in population densities are facilitated where suitable access to services is available.	3.2.1.4 Complies – The development is proposed within the Kingaroy Centre (the development will reinforce Kingaroy’s role to support increased population densities).
(5) Industrial, commercial and other high employment generating activities are located in areas of high accessibility, but in a way that minimises their visual influence on the character of their host towns.	3.2.1.5 Not applicable – However the proposed development supports high employment through provision of essential services (medical & hospital at lower level).
(6) The settlement pattern is well serviced by a range of safe and efficient transport options that promotes the accessibility and mobility of the wider community.	3.2.1.6 Complies – The proposed development’s location is well serviced by existing major road systems that traverse the Kingaroy Centre. The proposed development site is positioned to take advantage of the existing Taxi Service and pedestrian paths within the centre itself.
(7) The boundary between urban and rural areas is well-defined, particularly along the main approaches to Kingaroy and the other towns where that characteristic is already established. Further strip development is discouraged, and buffering is utilised to minimise land use conflicts.	<p>3.2.1.7 Complies – the proposed development is to be located on lots that are in the middle of Kingaroy’s Principal Centre which in terms preferred urban form, retains the following:</p> <ul style="list-style-type: none"> a) Good separation/buffering to lower forms of urban development (i.e. Dwelling Houses, & Multiple Dwellings. b) Retains the well-defined boundary between the established rural & non-rural areas of Kingaroy (i.e. no land use conflicts).⁽³⁾ <p>(3) Council’s information request and subsequent November & December 2023 meetings (with applicant) strongly suggested that further land use studies be undertaken to determine extent of land ‘realistically’ available (within Kingaroy) where attempting to balance envisaged broad regional centre functions vs physical limitations imposed by retention of Rural Zoned Land. The purpose of the suggested land use study was to further support current application material that justifies height above 3 storeys upon consideration of the array of uses also expected to locate within Kingaroy’s Principal Centre.</p>
(8) Rural villages provide country town lifestyle options, access to services, opportunities for employment and economic activity at a local level.	3.2.1.8 Not applicable.
(9) The Bunya Mountains village serves a primarily tourist function that will continue to be enhanced by its alpine village architectural character.	3.2.1.9 Not applicable.

<p>(10) The risk to life and property from bushfire, flood, landslide and man-made hazards is avoided or mitigated.</p>	<p>3.2.1.10 the proposed development is predominantly made up of 'vulnerable uses' as they involve:</p> <ul style="list-style-type: none"> a) Hospital patients b) Aged Care accommodation residents c) NDIS/SDA participants d) Child Care centre attendees. <p>The South Burnett Regional Planning Scheme 2017 v1.4 requires Kingaroy's Principal Centre to be the core location for high level employment, commercial uses, provision of services etc. While the Planning Scheme claims there is sufficiently Zoned land, this planning assessment did establish that substantial portions of the Kingaroy Principal Centre Zone are subject to flood constraints. In terms of a planning assessment, vulnerable uses should not be located within areas mapped as flood affected. On this basis it may be a contributing factor for justification of additional height. ⁽⁴⁾</p> <p>(4) Council's information request and subsequent November & December 2023 meetings (with the applicant) strongly suggested that further land use studies be undertaken to determine extent of land 'realistically' available (within Kingaroy) where attempting to balance envisaged broad regional centre functions vs physical limitations imposed by natural hazards. The planning assessment determined that the application may retain stronger grounds to justify height in instances where consideration of natural hazards are included in a broad land assessment of Kingaroy's Principal Centre.</p>
<p>3.2 Settlement Pattern 3.2.1.1 Specific Outcomes</p>	
<p>Urban growth is predominantly accommodated in identified broad-hectare sites. Although unlikely to be required in the life of this Planning Scheme, a long-term urban expansion area is shown to the north-west of Kingaroy on the basis that it is the most accessible land nearest the town.</p>	<p>3.2.1.1.1 Not applicable. The proposed development's purpose is to respond to current growth levels (within the South Burnett and greater Region).</p>
<p>Buffering is provided to adjoining rural lands at the urban edges that is satisfactory to minimise land use conflict and accommodate sufficient land for future expansion.</p>	<p>3.2.1.1.2 Not applicable.</p>
<p>The Kingaroy town centre develops as the major business and retail area for the Region providing the highest order of commercial, community and cultural services and facilities. Expansion beyond zoned commercial areas is discouraged unless an overriding planning need can be demonstrated. To maximise walkability and social interaction, walk-to retail and commercial development is to be consolidated into a defined core area. The Rogers Drive retail warehouse precinct aside,</p>	<p>3.2.1.1.3 The application material initially lodged, and the information request response provides limited discussion on the matter of use expectations vs availability of land within Kingaroy (particularly its centre). The applicant tried to further elucidate detailed grounds to demonstrate why such a development should be located entirely on a single site with a height of 7 storeys. Stronger arguments may be derived in instances where:</p>

<p>no additional centres are envisaged in the life of this planning scheme. A dedicated central parking area in the town centre is supported to reduce the need for individual developments to meet parking requirements. Development of large bulky goods outlets is limited to the existing areas in and around Rogers Drive and on the south-east corner of the Bunya Highway and River Road.</p>	<ul style="list-style-type: none"> • AEC Economic and Demand Report assessment can be verified as sufficient grounds to locate the development wholly on one site at the height proposed. and/or • A detailed land study and broad economic assessment of Kingaroy’s role as a regional centre justifies issues with land supply forcing additional height within Kingaroy, or supports the AEC Economic and Demand Report Assessment. ⁽⁵⁾ <p>(5) Council’s information request and subsequent November & December 2023 meetings (with the applicant) strongly suggested that further land use studies be undertaken to determine extent of land ‘realistically’ available (within Kingaroy) where attempting to balance envisaged broad regional centre functions vs physical limitations imposed by retention of Rural Zoned Land. The purpose of the suggested land use study was to further support current application material that justifies height above 3 storeys upon consideration of the array of uses also expected to locate within Kingaroy’s Principal Centre.</p>
<p>The town centres of Murgon, Nanango and Wondai develop to provide a district level of service without compromising the role of Kingaroy. The capacity of these centres to value add to local rural industries is supported.</p>	<p>3.2.1.1.4 Not applicable.</p>
<p>In support of the district level of service, each of the other town centres is encouraged to retain its traditional, street-focussed character, with provisions for redevelopment and streetscape improvements of existing premises.</p>	<p>3.2.1.1.5 Not applicable.</p>
<p>The establishment of a supermarket in Blackbutt to serve the local community is facilitated.</p>	<p>3.2.1.1.6 Not applicable.</p>
<p>Other town centres continue to provide a local level of service and opportunities to generate local employment and economic activity are encouraged.</p>	<p>3.2.1.1.7 Not applicable.</p>
<p>Opportunity to subdivide allotments in existing urban areas is maximised, while ensuring that usable allotments are created and the potential adverse impact on amenity and character is minimised.</p>	<p>3.2.1.1.8 Not applicable.</p>
<p>Increased density residential development is facilitated on serviced lots close to the town centres, with design to minimise impacts on the amenity and character of areas predominantly occupied by houses.</p>	<p>3.2.1.1.9 The South Burnett Regional Planning Scheme envisages ‘Residential care facility’ in the Principal Centre zone and Medium Density Residential Zone. This planning assessment did identify that consolidation of uses such as Residential care facility within larger buildings (in the Principal Centre) may assist Council maintain other policies that focus on retention of amenity and character of low-density areas (houses).</p>

<p>Industry is located and designed to minimise impacts and where appropriate, to minimise visual intrusion into rural landscapes or town/rural fringes. Inherently noisy activities are to be separated from areas and land uses where the expectation is for a quieter environment. Expansion beyond zoned industrial areas is discouraged unless there is an overriding planning need.</p>	<p>3.2.1.1.10 Not applicable.</p>
<p>The proliferation of commercial and light industry uses in residential areas is discouraged, with non-residential uses in these areas limited to providing local neighbourhood services.</p>	<p>3.2.1.1.11 Not applicable.</p>
<p>In villages, non-residential development is facilitated, but the villages will retain their traditional form, which is based on a central functional unit surrounded predominantly by houses. The distinctive architecture in the Bunya Mountain village is maintained through basic design provisions.</p>	<p>3.2.1.1.12 Not applicable.</p>
<p>Rural residential development provides a legitimate life-style choice where existing services and infrastructure can support this development or augmented without difficulty. New allotments outside the areas nominated in the Strategic Framework map are likely to be resisted unless there is legitimate planning need and the productive values of agricultural land and regional ecosystem values are not compromised.</p>	<p>3.2.1.1.13 Not applicable.</p>
<p>New rural residential development is consolidated in areas nominated on the Strategic Framework map – which are generally close to Kingaroy and the other towns – to maintain good access to services, employment and existing infrastructure. Additional areas may be considered only where there is a legitimate, demonstrated planning need for additional allotments and they retain the fundamentals of good access to urban services via good quality roads, no loss of good quality agricultural land or remnant regional ecosystem vegetation, minimal erosion and flood-free, fire-resistant and moderately sloped house sites.</p>	<p>3.2.1.1.14 Not applicable.</p>
<p>Development is directed away from historic subdivisions where residential development would lead to isolated communities and uneconomical extension of urban infrastructure.</p>	<p>3.2.1.1.15 Not applicable.</p>
<p>The impacts of natural hazards such as bushfires, landslide and flooding are identified, and new development avoids or mitigates the risk to personal safety and property damage and provides for the effective functioning of infrastructure during and after an event.</p>	<p>3.2.1.16 Complies - the proposed development is predominantly made up of 'vulnerable uses' as they involve: a) Hospital patients b) Aged Care accommodation residents</p>

	<p>c) NDIS/SDA participants d) Child care centre attendees.</p> <p>The South Burnett Regional Planning Scheme 2017 v1.4 requires Kingaroy’s Principal Centre be the core location for high level employment, commercial uses, provision of services etc. While the Planning Scheme claims there is sufficiently Zoned land, this planning assessment did establish that substantial portions of the Kingaroy Principal Centre Zone are subject to flood constraints. In terms of a planning assessment, vulnerable uses should not be located within areas mapped as flood affected. On this basis it may be a contributing factor for justification of additional height. ⁽⁶⁾</p> <p>(6) Council’s information request and subsequent November & December 2023 meetings (with applicant) strongly suggested that further land use studies be undertaken to determine extent of land ‘realistically’ available (within Kingaroy) where attempting to balance envisaged broad regional centre functions vs physical limitations imposed by natural hazards. The planning assessment determined that the application may retain stronger grounds to justify height in instances where consideration of natural hazards are included in a broad land assessment of Kingaroy’s Principal Centre.</p>
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3.3 Rural Futures

It was determined that the Rural Futures Strategic Framework is not affected by this development proposal and is therefore intentionally omitted from this report.

3.4 Strong Economy Context

<p>The Region’s economic base is predominantly rural. It offers multiple business location options and is strategically positioned to provide excellent access to the southeast market, the Darling Downs and Central Queensland. It has strong linkages within its agricultural sector with well-developed supply chains, vertical integration and value adding. It is home to some of Australia’s market leaders in the food processing sector, including Swickers Kingaroy Bacon Factory Pty Ltd, the Peanut Company of Australia (PCA), Bean Growers Australia Ltd and timber plantations and processing.</p> <p>The Tarong Power Station, Meandu Mine, extractive and mineral resource areas provide a substantial economic boost to the Region in terms of employment and flow-on economic benefits including short term accommodation for maintenance workers.</p> <p>The Kingaroy Airport presents an opportunity for the expansion of aviation related uses.</p> <p>The Region’s wealth of natural assets, including the Bunya Mountains National Park, Boat Mountain Conservation Park, Tarong</p>	<p>Complies – the proposed development is considered to support major economic operations within the region by improving availability of medical and specialised accommodation services for those residing within the region (and partaking in the region’s major economic activities).</p>
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<p>National Parks and Coomba Falls, various State Forests, and Lake Boondooma and Yallakool Park at Bjelke Petersen Dam, combine with the winery district at Moffatdale, the Rail Trail, Boondooma and Taabinga Homesteads to enhance the potential for tourism diversity, subject to responsible custodianship of those assets. Moderate travelling distance from Brisbane and Toowoomba supports, the Region as a significant tourist destination, particularly for drive tourism. Protection of existing economic resources and enhancing opportunities for expansion, in both scale and diversity, is a key role for the Planning Scheme in securing the Region’s economic base.</p> <p>The Planning Scheme recognises the possibility and implications of major industries, infrastructure projects or resource extraction enterprises that are unknown at the time of writing. The Region has the potential to respond to these enterprises with appropriate sites and for resultant population increases, through its wide range of town and country lifestyle choices.</p>	
<p>Strong Economy 3.4.1 Strategic Outcomes</p>	
<p>(1) The Region’s economy is founded on strength and diversity of industry and service provision that capitalises on its location advantages and natural assets, improving the Region’s employment opportunities and maximising regional economic activity.</p>	<p>3.4.1.1 The proposed development will provide a diverse range of employment options in the short, medium, and longer term. Employment options are likely to include:</p> <ul style="list-style-type: none"> a) that associated with longer term functions within the development b) shorter term construction works associated with implementation of initial development stages c) medium term construction work associated with later development stages.
<p>(2) The Region’s major industries are sustained and grown through diversification, clustering of complementary businesses, and expansion of secondary industries and protection from the establishment and intensification of incompatible land uses.</p>	<p>3.4.1.2 Complies – the proposed development is appropriately located (clustered near complementary uses, and in proximity to the main Kingaroy Hospital).</p>
<p>(3) The Region’s major industries are sustained and grown through diversification, clustering of complementary businesses, and expansion of secondary industries and protection from the establishment and intensification of incompatible land uses.</p>	<p>3.4.1.3 Complies – the proposed development is appropriately located (clustered near complementary uses, and in proximity to the main Kingaroy Hospital).</p>
<p>(4) The contribution of tourism to the Region’s economy is complemented by a diverse range of activities that respect the natural environment and productive rural resources.</p>	<p>3.4.1.4 Not applicable.</p>

<p>(5) The role of major employers, including the Tarong Power Station, Swickers Kingaroy Bacon Factory Pty Ltd, the Peanut Company of Australia (PCA), Bean Growers Australia Ltd in the regional economy is supported.</p>	<p>3.4.1.5 Not applicable.</p>
<p>(6) Economic development is enhanced by infrastructure that strengthens and develops linkages with the Southeast Queensland, the Darling Downs and the Wide Bay/Fraser Coast.</p>	<p>3.4.1.6 The recently introduced Wide Bay Burnett Infrastructure Supplement (WBBIS) contains an economic strategy known as the Regional Medical Pathway (RMP) focussing on strategic investment in medical and allied health professional training/development. The RMP identifies advantages and challenges associated with placement of medical professional to which adequate training facilities and accommodation are considered significant (issues). The proposed development was determined to meet primary objectives of the RMP given the multiple medical roles proposed across all levels whilst addressing potential accommodation issues onsite.</p>
<p>Strong Economy 3.4.1.1 Specific Outcomes</p>	
<p>(1) Natural resources and rural land uses that contribute significant economic benefits to the community are identified and protects for use when needed.</p>	<p>3.4.1.1.1 Complies – the development is to be located on lots that are in the middle of Kingaroy’s Principal Centre which is the preferred outcome. ⁽⁷⁾ (7) It was also suggested that the applicant undertake a detailed land supply assessment to determine actual availability of Centre Zoned Land capable of accommodating not only the proposed use but quantum of other uses that may be considered as major employers/expected economic contributors. Such investigations may justify consolidating centre development into higher buildings (than allowed under current assessment benchmarks).</p>
<p>(2) The role of Swickers Kingaroy Bacon Factory Pty Ltd in the Regional economy is protected from the intrusion and impacts associated with incompatible development. The Strategic Framework map includes a buffer area within which incompatible development and intensification of established development is discouraged. In the affected residential areas, houses and house extensions on existing allotments are allowed, but medium density housing and further subdivision are opposed.</p>	<p>3.4.1.1.2 Not applicable.</p>
<p>(3) The Tarong Power Station continues to provide employment and economic activity in the Regional and additional resources that are required for its ongoing operation are preserved for further exploitation.</p>	<p>3.4.1.1.3 Not applicable.</p>
<p>(4) Tourism within and adjoining the Bunya Mountains and in the existing accommodation nodes at Lake Boondooma and Yallakool Park at Bjelke Petersen Dams is conducted in a manner that protects the</p>	<p>3.4.1.1.4 Not applicable.</p>

<p>values of the area and provides for a suitable level of accommodation and other services to tourists. Development is envisaged as continuing the small-scale, low-impact nature of development to date, such that it is actively and visually subservient to the natural environment.</p>	
<p>(5) The opportunity to establish or expand niche industries focusing on viticulture in the Moffatdale district is supported if amenity impacts can be sustained.</p>	<p>3.4.1.1.5 Not applicable.</p>
<p>(6) The potential to replicate the tourist benefits of the Brisbane Valley Rail Trail in Blackbutt is investigated for other communities at Kingaroy, Wooroolin, Tingoorra, Wondai and Murgon.</p>	<p>3.4.1.1.6 Not applicable.</p>
<p>(7) The role of the Region’s highways in supporting business development is protected.</p>	<p>3.4.1.1.7 Not applicable.</p>
<p>(8) Major industries, infrastructure projects, resource extraction enterprises or mineral resource realisation are facilitated where the impacts are managed in keeping with rural character values and community expectations and where existing and future rural resource utilisation is not compromised.</p>	<p>3.4.1.1.8 Not applicable.</p>
<p>3.5 Natural Systems & Sustainability</p>	
<p>It was determined that the Natural Systems & Sustainability Strategic Framework is not affected by this development proposal and is therefore intentionally omitted from this report.</p>	
<p>3.6 Strong communities Context</p>	
<p>The Region has many assets that contribute to the liveability and prosperity of the area. Conversely, isolated ad-hoc development has resulted in some communities suffering from a lack of access to appropriate services. The country environment of the Region’s communities, the scenic qualities, the strong sense of community and reasonable access to metropolitan areas and the coast, underpins the attractiveness of living in the South Burnett. Building on the Region’s cultural heritage, capitalising on the attributes of individual communities, recognising Kingaroy’s regional centre role and promoting tourism, agricultural and business opportunities will assist in enhancing the liveability of the Region. The Planning Scheme confronts the challenge of community building, providing services to meet growing and diversifying demands, managing development and sustaining affordable housing and services.</p>	<p>The application material initially lodged, and information request response provides limited discussion on the matter of use expectations vs availability of land within Kingaroy (particularly its centre). The applicant sought to further explain detailed grounds to demonstrate why such a development should be located entirety on a single site with a height of 7 storeys. Justification may be derived in instances where:</p> <ul style="list-style-type: none"> • The AEC Economic and Demand Report assessment can be verified as sufficient grounds to locate the development wholly on one site at height proposed; and/or • A detailed land study and broad economic assessment of Kingaroy’s role as a regional centre justifies issues with land supply forcing additional height within Kingaroy or supports the AEC Economic and Demand Report Assessment. ⁽⁸⁾ <p><small>(8) Council’s information request and subsequent November & December 2023 meetings (with applicant) strongly suggested that further land use studies be undertaken to determine extent of land ‘realistically’ available (within Kingaroy) where attempting to</small></p>

	balance envisaged broad regional centre functions vs physical limitations imposed by retention of Rural Zoned Land. The purpose of the suggested land use study was to further support current application material that justifies height above 3 storeys upon consideration of the array of uses also expected to locate within Kingaroy's Principal Centre.
Strong communities	
3.6.1 Strategic outcomes	
(1) The towns and villages retain the country look and feel that has created their individual social character and contributed to their desirability as places to live. The role of Kingaroy as the major regional centre is not compromised.	3.6.1.1 – the development will reinforce Kingaroy's role as a Major Regional Centre. ⁽⁹⁾ (9) Council's information request and subsequent November & December 2023 meetings (with applicant) strongly suggested that further land use studies be undertaken to determine extent of land 'realistically' available (within Kingaroy) where attempting to balance envisaged broad regional centre functions vs physical limitations imposed by retention of Rural Zoned Land. The purpose of the suggested land use study was to further support current application material that justifies height above 3 storeys upon consideration of the array of uses also expected to locate within Kingaroy's Principal Centre.
(2) Development occurs in a manner that provides access to a range of employment, commercial, cultural, recreational, education and community opportunities in serviceable locations that respond to community needs.	3.6.1.2 – The proposed development will provide a diverse range of employment options in the short, medium, and longer term. Employment options are likely to include: a) that associated with longer term functions within the development b) shorter term construction works associated with implementation of initial development stages. c) medium term construction work associated with later development stages.
(3) A range of dwelling types in keeping with desired neighbourhood character enables residents to remain in the same community when their housing needs change, maintaining their existing lifestyle and social contacts.	3.6.1.3 – Not applicable.
(4) The Region's cultural heritage is acknowledged and protected to maintain the link between the current community and the historic values that contributed to its establishment.	3.6.1.4 – The proposed scale/presentation of the development is consistent with the adjoining large retail development (across Markwell Street. While most of Kingaroy consists of smaller commercial buildings, the planning assessment did identify that larger buildings were placed in proximity the subject site.
(5) Re-use and redevelopment of heritage places occurs in a way that is compatible with their heritage values and mitigates adverse impacts on the heritage significance.	3.6.1.5 – Not applicable.
(6) The role of visual character in defining township identity and creating traditional streetscapes is reinforced.	3.6.1.6 – Not Applicable.

<p>(7) Community health and safety, sensitive land use (as defined in the Regulation) and the natural environment are protected from the potential adverse impacts of hazardous air, noise and odour emissions from higher impact uses.</p>	<p>3.6.1.7 – The CRG Acoustics report accompanying the initial development application included a set of recommendations. The recommendations contained in the CRG Acoustics report are referred to in the recommended conditions package.</p> <p>The proposed development is not expected to produce unreasonable air emissions given the proposed uses are generally expected at on the subject lots. Advice conditions have been recommended for compliance.</p>
<p>(8) Sensitive land uses (as defined in the Regulation) are protected from the impacts of previous activities that pose a risk to people or property.</p>	<p>3.6.1.8 – Complies – the proposed development is predominantly made up of ‘vulnerable uses’ accommodating:</p> <ul style="list-style-type: none"> a) Hospital patients b) Aged Care accommodation residents c) NDIS/SDA participants d) Child care centre attendees. <p>The South Burnett Regional Planning Scheme 2017 v1.4 requires Kingaroy’s Principal Centre to be the core location for high level employment, commercial uses, provision of services etc. While the Planning Scheme claims there is sufficiently Zoned land, substantial portions of the Kingaroy Principal Centre Zone are subject to flood constraints. In terms of a planning assessment, vulnerable uses should not be located within areas mapped as flood affected. On this basis it may be a contributing factor for justification of additional height.⁽¹⁰⁾</p> <p><small>(10) Council’s information request and subsequent November and December 2023 meetings (with applicant) strongly suggested that further land use studies be undertaken to determine the extent of land ‘realistically’ available (within Kingaroy), where attempting to balance envisaged broad regional centre functions vs physical limitations imposed by natural hazards. Justification for the proposed height may be found in instances where consideration of natural hazards are included in a broad land assessment of Kingaroy’s Principal Centre.</small></p>
<p>(9) Extractive industry sites are available for re-use for other activities or revert to their natural state upon cessation of extraction.</p>	<p>3.6.1.9 – Not applicable.</p>
<p>Strong communities 3.6.1.1 Specific outcomes</p>	
<p>(1) Opportunities to redevelop key sites at the entrances to Kingaroy are encouraged to improve the sense of arrival and contribute to community pride in the town. The town centre is encouraged to undergo a revitalisation that provides a recurring urban design and enhances pedestrian connectivity and usability.</p>	<p>a) 3.6.1.1.1 – the development proposes to revitalise and improve functions associated with the existing Lady Bjelke-Petersen Community Hospital by providing additional health care, medical and allied health services.</p>

<p>(2) Retail and other activities that generate higher levels of social interaction between residents and members of the public travelling through Nanango are focused on Drayton Street.</p>	<p>3.6.1.1.2 – Not applicable.</p>
<p>(3) The contribution to town character of development directly fronting streets and street awnings is maintained and enhanced in new development where practicable.</p>	<p>3.6.1.1.3 – the proposed development includes a vastly improved active realm (at street level) with increased weather protection/shade offered via awnings and landscape vegetation. The buildings character is intended to acknowledge elements said to be recognised within Kingaroy itself (refer to the ‘Black Ink Architecture Design Statement’).</p>
<p>(4) The town centre of Wondai is strengthened through the encouragement of recreational, commercial and community-based activities in the former rail corridor to the east of Scott Street, subject to resolution of tenure.</p>	<p>3.6.1.1.4 – Not applicable.</p>
<p>(5) The re-use of former public buildings for commercial activities in the centre of Wondai and Murgon is encouraged.</p>	<p>3.6.1.1.5 – Not applicable.</p>
<p>(6) Commercial activities in Proston are concentrated at the intersection of Rodney and Blake Streets.</p>	<p>3.6.1.1.6 – Not applicable.</p>
<p>(7) The proliferation of roadside advertising devices on the main approaches to the Region’s towns is contained, though the incidence in different communities may vary depending on levels of acceptance in the local community.</p>	<p>3.6.1.1.7 – Not applicable.</p>
<p>(8) New development does not result in isolated or poorly serviced communities.</p>	<p>3.6.1.1.8 – the proposed development will include a suite of uses intended to deliver improved services to the South Burnett Region and broader regional context.</p>
<p>(9) Existing communities have enhanced access to community services that is commensurate with anticipated demand.</p>	<p>3.6.1.1.9 – it is understood that the premise of this development is to provide a level of community service that is currently not available. The applicant’s AEC Economic and Demand Report Assessment clearly outlines that there is a need for the uses proposed within this development. ⁽¹¹⁾ ¹¹ The development application was assessed by Town Planners and Engineers who are not qualified to determine the appropriateness/accuracy of an Economic and Demand Report. Council’s planning assessment could not establish a direct link to height via the AEC Economic and Demand Report. This matter was raised with the applicant in a meeting (early December 2023). The applicant advised that the AEC Economic and Demand Report does justify the height proposed.</p>
<p>(10) Larger lot developments with suitable access occur within seven kilometres of the</p>	<p>3.6.1.1.10 – Not applicable.</p>

<p>urban zoned town perimeter and their associated services. The provision of recreational and open space facilities provides increased opportunities for social interaction.</p>	
<p>(11) New development should be suitably integrated with existing development in relation to road, public and active transport networks, open space linkages and access to community facilities and employment opportunities.</p>	<p>3.6.1.1.11 – the development proposes vast improvements to public realm and pedestrian access at the ground level (along Markwell & Glendon Streets).</p>
<p>(12) Residential neighbourhoods comprise a variety of lot sizes that support a diverse range of housing options in keeping with desired neighbourhood character.</p>	<p>3.6.1.1.12 – Not applicable.</p>
<p>(13) Housing choice that includes traditional detached houses, small-lot houses, townhouses, duplexes, residential care facilities and community residences is facilitated provided the character resulting from the dominance of traditional detached houses is not compromised.</p>	<p>3.6.1.1.13 – a substantial portion of this development is Residential care facility (the 4 uppermost levels). If traditional detached houses are to be the predominant form of housing in the South Burnett Region (inclusive of Kingaroy), then it stands to reason that an equivalent yield of unconsolidated Residential care facility development (across multiple lots in prescribed residential zones) may challenge the planning scheme’s preference for a dominance of detached houses within Kingaroy itself which is not intended to expand into existing Rural zoned land. ⁽¹²⁾ (12) Council’s information request and subsequent November and December 2023 meetings (with the applicant) strongly suggested that further land use studies be undertaken to determine the extent of land ‘realistically’ available (within Kingaroy) where attempting to balance envisaged broad regional centre functions vs physical limitations imposed by natural hazards. The application may retain stronger grounds to justify height in instances where consideration of natural hazards are included in a broad land assessment of Kingaroy’s Principal Centre.</p>
<p>(14) The cultural heritage of all sectors of the community is protected by the recognition of features that contribute to community identity.</p>	<p>3.6.1.1.14 – it is understood that the Community Hospital’s historical significance will be retained and incorporated into the development. The Black Ink Architectural Statement (section 2) refers to the Community Hospital’s association with the late Lady Bjelke-Petersen who was a highly valued community member and influential person across the state of Queensland.</p>
<p>(15) Places of local heritage significance may be identified, registered and provided with protection in the form of development control. The adaptive reuse of places of local cultural heritage is supported where the significance of the place and surrounding amenity is retained.</p>	<p>3.6.1.1.15 – Not applicable.</p>

(17) Development of areas adjoining places of local heritage significance maintain and enhance the heritage values of the nominated site.	3.6.1.1.17 – Not applicable.
(18) Streetscape character that is created by groups of residential and commercial buildings, their setting and landscaping is retained.	3.6.1.1.18 – Not applicable.
(19) Special Industry land uses are adequately separated from sensitive land use (as defined in the Regulation) to avoid the occurrence of environmental harm or environmental nuisance	3.6.1.1.19 – Not applicable.
(20) Sites that are contaminated or pose a health risk from previous hazardous uses are remediated prior to being developed for sensitive land use (as defined in the Regulation).	3.6.1.1.20 – Not applicable.
(21) Extractive industry sites are rehabilitated once the resource has been exhausted.	3.6.1.1.21 – Not applicable.
3.7 Infrastructure & servicing	
It was determined that the Infrastructure & Servicing Strategic Framework is not affected by this development proposal.	

4.1.2 COMMUNITY FACILITIES ZONE CODE

Purpose	Response
(1) The purpose of the community facilities zone code is to provide for community-related uses, activities and facilities, whether publicly or privately owned, including, for example– (a) Educational establishments; and (b) Hospitals; and (c) Transport and telecommunication networks; and (d) Utility installations.	(1) a significant part of the development’s function involves re-development and enhancement of the existing Lady Bjelke-Petersen Community Hospital.
(2) The overall outcomes sought for the zone code are as follows: (a) Retain and reserve appropriate land throughout the Council area to accommodate activities which have a specific public function that are essential for the wellbeing of the community. (b) Provide for the location of those public infrastructure services and facilities which have significant amenity impacts on adjoining land and the protection of such uses from intrusion by incompatible uses. (c) Ensure that the built form and operation of community facilities are compatible with their neighbourhoods. (d) Where possible, encourage the co-location of community facilities.	2(a) The proposed development intends to retain the existing community hospital. Improved health care facilities at ground level is commonly understood to assist with the maintenance of community wellbeing. 2(b) Not applicable – the proposed hospital function and other medical oriented functions proposed can be ‘conceivably’ located within a Principal Centre Zone (note height assessment is a different issue). 2(c) The proposal is not located within a neighbourhood as it is traditionally understood (i.e. residential environment). The development site is set amongst the Principal Centre Zone which typically accommodates larger built form outcomes. 2(d) The proposed development is located close to other community facilities such as Services Australia

<p>(e) The location of development is appropriate for the intended use and is consistent with the nature of surrounding development.</p> <p>(f) The Kingaroy and Nanango airports are preserved for the exclusive use of air service and industries or businesses with a direct association with the provision of air service.</p> <p>(g) Existing community uses are intended to continue and intensify if necessary having regard to road and other infrastructure capacity and the amenity of surrounding areas.</p> <p>(h) The form of the development is specific to the facility in recognition of particular operational, functional, and locational benchmarks of government functions.</p> <p>(i) Physical infrastructure that has an overbearing nature that cannot be mitigated through design or screening is not located in visually prominent locations.</p> <p>(j) The viability of essential community infrastructure is protected by requiring on-site buffering and separation of new development on adjoining sites that could limit the on-going operation of existing special uses or prejudice appropriate new activities.</p> <p>(k) Social facilities and service establishments are supported by the necessary infrastructure and located in highly accessible locations that promote safe and efficient public transport use, walking and cycling.</p> <p>(l) Development will be provided with a level of infrastructure that is appropriate to the use.</p> <p>(m) Community uses and works are located, designed and managed to maintain safety to people and minimise impacts on adjacent land.</p> <p>(n) Adverse impacts on natural features and processes, both on-site and from adjoining areas, are avoided and any unavoidable impacts are minimised through location, design, operation and management of development.</p> <p>(o) Should land in this zone cease to be used for community purposes at some future time, redevelopment of the site to a use compatible with the intent of the surrounding zones is encouraged.</p> <p>(p) Development is reflective of and responsive to the environmental</p>	<p>2(e) Retention and improvement of the hospital is appropriate for the Community Use Zone. Medical Centre/Health Care is not, however significant portions of the site are zoned as Principal Centre Zone. On balance therefore, co-location of the two is acceptable given the zoning.</p> <p>2(f) Not applicable.</p> <p>2(g) The proposed development intends to retain an existing Community Hospital and incorporate it into a larger development that shares a nexus with medical/health care uses.</p> <p>2(h) The form of the proposed development is reflective of building classifications typically encountered in the Principal Centre Zone.</p> <p>2(i) The existence of physical infrastructure associated with the proposed development is not evident within respective view catchments.</p> <p>2(j) Activity associated with the proposed development is contained internally therefore '2(j)' is not considered relevant in this instance.</p> <p>2(k) The proposed development is within a highly accessible location in terms of patronage and infrastructure.</p> <p>2(l) Conditions are recommended requiring the proposed development to connect to and/or provide relevant infrastructure.</p> <p>2(m) The development (and its uses) will retain appropriate operational impacts within the Principal Centre (as reasonably expected).</p> <p>2(n) Not applicable.</p> <p>2(o) The proposed development includes uses that are consistent with that reasonably expected in the Principal Centre zone.</p> <p>2(p) Not applicable.</p> <p>2(q) Not applicable.</p> <p>2(r) Not applicable.</p>
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<p>constraints of the land and the impacts of natural hazards are avoided or safely managed.</p> <p>(q) Sites that are contaminated or pose a health risk from prior activities are remediated prior to being developed for sensitive land use (as defined in the Regulation).</p> <p>(r) Residential or other sensitive uses are not intensified in the identified separation area around the Swickers Kingaroy Bacon Factory on Overlay Map 11.</p>		
Performance outcomes	Requirements for accepted development and assessment benchmarks	Response
Section 1 General		
<p>PO1 Buildings and structures must complement the scale of nearby development.</p>	<p>AO1.1 Structures are a maximum height of:</p> <p>(a) For an educational establishment more than 20m from the Residential zone - 3 storeys and 10m.</p> <p>(b) In all other circumstances - 2 storeys or 8.5m</p> <p>and</p> <p>AO1.2 Buildings are set back not less than:</p> <p>(a) 10m from the frontage to a State-controlled or arterial road;</p> <p>(b) 6m from the principal road frontage of any other road;</p> <p>(c) 4m from any other road frontage; and</p> <p>(d) 1.5m from any other boundary except where compliance with AO2.1 is required.</p> <p>and</p> <p>AO1.3 Cumulative site cover does not exceed 40%.</p> <p>and</p>	<p>PO1 – proposed development does not comply with the Community Facilities Zone The matter of height is further discussed in the relevant matters section of this report.</p> <p>PO1 – development does not comply with AO1.1, AO1.2 or AO1.3. The scale of the development as it relates to setbacks/building bulk is similar to the shopping centre adjacent to the site (across Markwell Street). In terms of PO1 the following is noted:</p> <p>a) Existing (larger) nearby development includes high walls close to respective road boundaries (typically found in a principal centre).</p> <p>b) Notwithstanding proximity to road boundaries, existing (larger) nearby developments retain a combination of landscape features and finer scaled building elements that assist with managing bulk and</p>

	<p>AO1.4 The main entrance to the building is visible from, and directly accessible from the street.</p>	<p>softening of hard surfaces. The Community Use zoned Lot 4 SP146001 is surrounded by Principal Centre zoned land. Adjoining development' will consist of larger development forms and intensive centre uses in this location. Given the circumstance it is considered reasonable that the subject lot be utilised in similar ways as expected in the Kingaroy Principal centre.</p> <p>AO1.4 – The main entrance will be visible from the Glendon Street/Markwell Street corner (main Health care service entry is visible from Glendon Street).</p>
<p>PO2 Development does not adversely impact on the amenity or privacy of the surrounding residential uses.</p>	<p>AO2.1 Buildings are setback from an adjoining residential premises a minimum of 10m. and AO2.2 Active outdoor use areas, site access and car parking, servicing or outdoor storage areas are set back from any boundary adjoining a residential premises a minimum of 4.5m. and AO2.3 New building plant or air-conditioning equipment is located central to the building and screened from view of South Burnett Regional Council Planning Scheme Effective from 4 January 2021 (Version 1.4) 154 Performance outcomes Requirements for accepted development and assessment benchmarks the street or adjoining residential uses. and</p>	<p>PO2 – The proposed development proposes a 4m boundary clearance to the adjoining residential use (west of the site). While this is less than the prescribed 10m boundary clearance:</p> <ul style="list-style-type: none"> a) Shadow casting analysis by Black Ink Architecture shows reasonable access to light remains to habitable areas and private open space of the residential use (despite the proposed height). b) Notwithstanding the residential nature of the adjoining use, a Dwelling House is not expressed as a preferred use in the Kingaroy Principal Centre. It is therefore not unreasonable to prioritise built forms that effectively align with outcomes required in the Principal Centre Zone.

	<p>AO2.4 Noise generated by any use in the zone does not exceed the background noise levels as follows:</p> <ul style="list-style-type: none"> (a) 6am – 10pm plus 10db(A); (b) 10pm – 6am plus 3db(A), measured as the adjusted maximum sound pressure level at the property boundary. <p>and</p> <p>AO2.5 Where buildings, car parking, servicing or storage areas are proposed within 10m of any boundary adjoining a residential premises a minimum 1.8m high solid timber, brick or masonry fence is provided.</p> <p>and</p> <p>AO2.6 Outdoor lighting is designed, installed and maintained in accordance with AS4282 – Control of the Obtrusive Effects of Outdoor Lighting.</p> <p>and</p> <p>AO2.7 Community activities adjoining or opposite residential uses are limited to the hours between 6am and 10pm.</p>	<p>PO2 – Most carparking bays exceed the required 4.5m boundary clearance (except 21 spaces that will be 1.5m from the shared western boundary with a motel and dwelling house. Assessment has determined that:</p> <ul style="list-style-type: none"> a) parking bays are not in proximity to the nearest dwelling house. b) parking bays will be close to the motel which is not a residential use per se. c) solid acoustic fencing can be conditioned to manage noise and potential light spill. <p>AO2.5 – Acoustic fencing is conditioned as stated above.</p> <p>AO2.6 – Outdoor lighting can be conditioned in accordance with Planning Scheme requirements.</p> <p>AO2.7 – Activities are wholly contained within the building and are not expected to produce undue impacts associated with the Principal Centre Zone.</p>
<p>PO3 Refuse storage areas are located for convenient collection, screened from public view and provided with facilities for self-contained cleaning.</p>	<p>AO3.1 The refuse storage area is located near the front of the site and allows the collection vehicle to enter and exit in a forward gear. The use of staff car parking areas to accommodate internal manoeuvring is permissible.</p> <p>and</p> <p>AO3.2 The refuse storage area is provided in a building or other enclosed structure screened to a minimum height of 0.2m</p>	<p>PO3 – Refuse storage areas (Stages 1 & 2) are located centrally within the development and:</p> <ul style="list-style-type: none"> a) are easily accessed via internal vehicle circulation areas. b) allow for waste collection vehicles to exit the site in a forward motion. c) are screened from public view and enclosed within a corral.

	<p>above the height of the refuse receptacles.</p> <p>and</p> <p>A03.3 Refuse storage areas are provided with an impervious base that is drained to an approved waste disposal system and provided within a dedicated hose cock.</p>	
<p>PO4 Development is located and designed to ensure that land uses are not exposed to:</p> <p>(a) Areas that pose a health risk from previous activities; and</p> <p>(b) Unacceptable levels of contaminants.</p>	<p>A04.1 Development does not occur:</p> <p>(a) In areas that pose a health risk from previous activities; and</p> <p>(b) On sites listed on the Contaminated Land Register or Environmental Management Register.</p> <p>or</p> <p>A04.2 Areas that pose a health risk from previous activities and contaminated soils which are subject to development are remediated prior to plan sealing, operational works permit, or issuing of building works permit.</p>	<p>A04.1 & A04.2 – Applicant undertook necessary contaminated land searches and has confirmed that the site is not on the Contaminated Land Register.</p>
<p>PO5 The proposal does not introduce non-residential traffic into local streets and allows vehicles entering and leaving the site to do so safely and without adversely affecting the efficient functioning of adjacent roads.</p>	<p>A05.1 Where available, access is provided to a Sub-Arterial Road or higher category road in preference to a local street.</p> <p>and</p> <p>A05.2 The proposal provides convenient and safe pedestrian access from existing and proposed public transport infrastructure and other public areas.</p> <p>and</p> <p>A05.3 New vehicle crossovers are separated from any other vehicle crossover by a distance not less than 10m.</p>	<p>A05.1 – Complies – SARA through their assessment determined and conditioned access, parking and set down areas.</p> <p>A05.2 – Pedestrian access will include improved pavements (in the verge), and awnings.</p> <p>A05.3 – Crossovers are separated from existing crossovers by 10 metres.</p>

<p>PO6 Development must be provided with an acceptable standard of infrastructure.</p>	<p>AO6.1 Where available, development is to be connected to reticulated water supply and sewerage.</p> <p>and</p> <p>AO6.2 Development is provided with a service line connection to the electricity supply and telecommunications networks.</p> <p>and</p> <p>AO6.3 Stormwater discharge must be to a lawful point of discharge or to downstream properties but only with the consent of the affected landowners.</p>	<p>AO6.1– Complies refer to recommended engineering conditions.</p> <p>AO6.2 - Complies refer to recommended engineering conditions.</p> <p>AO6.3 - Complies refer to recommended engineering conditions.</p>
<p>PO7 The site is landscaped so that it makes a positive contribution to the streetscape and to the area generally.</p>	<p>AO7.1 At least 10% of the site is landscaped, including a landscaped strip with a minimum width of 1m along each street frontage.</p> <p>and</p> <p>AO7.2 Where adjoining or opposite residential areas, a 2m wide buffer along the interface boundary of the site is landscaped.</p>	<p>PO7 – Proposed landscape design aligns with that expected for Centre development and makes provision for structures built to the road boundary.</p>
<p>PO8 Development responds to the slope of steep land in the siting, design and form of buildings and structures, to minimise risk associated with unstable ground.</p>	<p>AO8.1 The development area has a gradient less than 15%.</p> <p>and</p> <p>AO8.2 Building design utilises ‘post and pier’ type foundations and appear as a series of separate blocks that step down the slope.</p> <p>and</p> <p>AO8.3 The height of benching, cut and fill and the construction of retaining walls does not exceed 1m.</p> <p>and</p>	<p>AO8/PO8 – Not applicable as the site is flat.</p>

	A08.4 Any voids between the floor of the building and ground level are screened from view by using lattice/batten screening and/or landscaping.	
Section 2 Caretaker’s accommodation – Caretakers accommodation not proposed (removed intentionally from this report)		
Section 3 For development affected by one or more overlays Refer to the responses at Kingaroy Principal Centre Zone (removed intentionally from this report).		

4.1.3 PRINCIPAL CENTRE ZONE CODE

Principal centre zone code	
Purpose	
<p>(1) The purpose of the principal centre zone code is to provide for a large variety of uses and activities (including, for example, administrative, business, community, cultural, entertainment, professional, residential or retail activities) to–</p> <p>(a) Form the core of an urban area; and</p> <p>(b) Service the local government area.</p>	<p>1(a) – The proposed development provides a community service within the Kingaroy Principal Centre which is the core urban area for South Burnett Region.</p> <p>1(b) – The proposed development is intended to service the immediate South Burnett Region other nearby local government regions). The AEC Economic and Demand Report submits there is a current overriding need to justify the uses.</p>
<p>(2) The overall outcomes sought for the zone code are as follows:</p> <p>(a) The amount of zoned land is more than enough to accommodate Kingaroy’s commercial needs over the life of this Planning Scheme and, as such, no expansion of the zone is envisaged.</p> <p>(b) Shops, offices and cinemas and other people oriented activities are concentrated into the Retail core precinct so that this area becomes a vibrant, active place and a focus for civic projects.</p> <p>(c) The Frame precinct accommodates commercial activities which, due to their scale or nature – or because the goods they sell are too large to be transported to a car on foot – could disrupt the smooth passage of pedestrians along town centre streets. Examples include retail showrooms, offices, building supplies and sales or hire yards.</p> <p>(d) Development scale and intensity is to be the highest in the Region, but nevertheless generally no higher than 2-3 storeys, so as to maintain scale consistent with expectations of a major regional town. Taller buildings may be contemplated in the Retail core precinct where for mixed commercial</p>	<p>2(a) – Material submitted in support of the proposed development identified that further expansion of Kingaroy (outward) may be difficult in terms of managing core economic/agricultural values that surround Kingaroy’s urban centre (high quality agricultural mapping expressed in Planning Scheme Overlay & and State Policy Mapping). The applicant’s information request response seeks to resolve the matter of expansion through ‘consolidation’ of built form (i.e. increased building height). The AEC Economic and Demand Report focuses on:</p> <ul style="list-style-type: none"> • The quantum of need identified (for each use proposed) • The need to provide ancillary uses (to minimise risk of key staffing shortages) • Maximising the efficiency of resources by vertically integrating uses that share a medical/health care nexus. <p>Current major planning scheme amendments have determined that consolidation of development within the Principal Centre is a necessity particularly where it relates to medical/health care related uses. The height proposed is however, greater than that expressed (in the draft major amendment currently out for consultation).</p> <p>- The AEC Economic and Demand Report provides justifications to account for</p>

<p>and residential activities that exhibit outstanding design characteristics that bolster Kingaroy’s regional centre role and so transcend the preferred rural town character form.</p> <p>(e) Residential development, short-term accommodation and tourist accommodation is provided at an appropriate scale and integrates with and enhances the fabric of the centre. Residential development in the Retail core precinct is enabled above ground storeys.</p> <p>(f) Development encourages active and safe pedestrian links within the Retail core precinct.</p> <p>(g) Where appropriate service industry uses may be located in the zone.</p> <p>(h) Development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and public/active transport use.</p> <p>(i) Sites that are contaminated or pose a health risk from prior activities are remediated prior to being developed for sensitive land use (as defined in the Regulation).</p>	<p>additional height (as a departure from the scheme).</p> <p>- Further detailed land supply assessment should ideally be undertaken to understand if the Principal Centre can meet envisaged regional and local service requirements based on existing and draft height limitations.</p> <p>2(b & c) - notwithstanding the absence of a detailed land use study and the planning assessments to specifically confirm that the AEC Economic and Demand Report has demonstrated sufficient grounds, this planning assessment attempted to identify what is specifically envisaged within the Kingaroy Principal Centre.</p> <p>Where considering the Principal Centre’s competing interests and constraints in the absence of a Land availability study, the following observations have been identified:</p> <ul style="list-style-type: none"> • The Strategic Framework (Part 3 – 3.2) refers to the need to retain areas of the Kingaroy Principal Centre for the purposes of large format retail trading areas. • The Strategic Framework (Part 3 – 3.2 – 3.2.1.1(3)) refers to the necessity to place an off-street public parking facility within Kingaroy. If this is to be realised, Principal Centre Zoned land would have to be utilised. • The Strategic Framework (Part 3 – 3.2 – 3.2.1.1(14)) makes specific mention of the preference to retain detached housing as the predominant form of residential use in Kingaroy. This strategic outcome could be considered to reasonably prejudice other forms of residential accommodation thereby, forcing it into areas where such building classifications are accepted (i.e. medium density, or Principal Centre). • Zone Precincts (Centre Retail Core) areas are specifically set aside for retail uses only. • Zone Precincts (Frame) though not specifically mapped, is relevant and applicable to streets adjacent to the Retail Core Precinct where such uses are and/or could be reasonably undertaken in the future. • Large parts of Kingaroy’s Centre are mapped as flood affected. Vulnerable uses such as those proposed by the development should be placed in areas that are flood free (with access to road systems that are also flood free).
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	<ul style="list-style-type: none"> • Larger buildings in terms of height should be centrally located within the principal Centre so as not to negatively impact on lower built forms in lower order zones (ie. Low density residential). <p>2(d) - The development proposes a height of 7 storeys which is a departure from the current height limits in the Principal Centre Zone. The applicant’s justification for height is based on the AEC Economic and Demand Report which (according to the applicant) provides sufficient grounds in terms of scope of uses and the height proposed.</p> <p>2(e) - Not applicable – the development is not located within the Retail Core.</p> <p>2(f) - Not applicable – the development is not located within the Retail Core.</p> <p>2(g) - Not applicable.</p> <p>2(h) - The Architectural Statement (by Black Ink Architecture) has outlined relevant sustainability elements.</p> <p>2(i) - The development site is not on the Contaminated Land Register.</p>	
Performance Outcome	Requirements for accepted development and assessment benchmarks	Response
Section 1 General		
<p>PO1 The scale, bulk and design of buildings provides a safe and welcoming built environment that reflects the intended streetscape character and is consistent with the scale and form of buildings in the Kingaroy town centre and routinely found in larger regional towns.</p>	<p>AO1.1 Buildings are a maximum of 3 storeys above ground level.</p> <p>and</p> <p>AO1.2 Buildings are built to the street alignment.</p> <p>and</p> <p>AO1.3 Building entrances are clearly visible from the street.</p> <p>and</p> <p>AO1.4 Development incorporates an all-weather awning built to a line 0.5m short of all carriageways with at least 3m vertical clearance.</p> <p>and</p> <p>AO1.5 The maximum building length in one plane is less than 30m, with</p>	<p>PO1 –</p> <ul style="list-style-type: none"> • The bulk and scale of the building is considered safe and welcoming, and significantly improves streetscape character (consistent with the northern retail precinct). • The proposed height is a matter dealt with pursuant to s45(5b) of the <i>Planning Act 2016</i>. <p>AO1.2 – buildings are built to the street alignment.</p> <p>AO1.3 - all building entrances are visible from the street.</p> <p>AO1.4 – plans indicate that the proposed awning will be 0.5m from the kerb (on road pavement),</p> <p>AO1.5 & AO1.6 – elevations and 3D renders indicate</p>

	<p>variations at least 0.5m deep and 3m wide between continuing facades.</p> <p>and</p> <p>AO1.6 Upper levels incorporate horizontal and vertical variations such balconies, windows, shading devices and parapets.</p> <p>and</p> <p>AO1.7 Buildings incorporate:</p> <ul style="list-style-type: none"> a) Elements distinguishing different levels; and b) Variations in roof shape, recesses or projections, shade devices and detailing <p>and</p> <p>AO1.8 In the Retail core precinct, parking areas and parking structures are behind or under buildings.</p> <p>and</p> <p>AO1.9 Plant and service equipment (air conditioning, exhaust fans, lift motor rooms, refuse bins, telecommunications devices etc) are integrated into buildings.</p>	<p>sufficient variation on all facades via use of building modulation, and/or use of finer scale elements. Stage 1 is conditioned for additional drawings demonstrating appropriate treatments of blank facades.</p> <p>AO1.7 – elements distinguish different levels via the use of finer scale elements. Roof shape upper levels are varied at opportune locations. In terms of shade the development provides:</p> <ul style="list-style-type: none"> • awnings at street level • window hoods and building projections at key locations. <p>AO1.8 – Not applicable.</p> <p>AO1.9 – Complies and conditions are recommended.</p>
<p>PO2 Development Reflects the amenity and intended urban form adjoining non-commercial sites.</p>	<p>AO2.1 Where adjoining residential Zoned land, development provides:</p> <ul style="list-style-type: none"> a) 1.8m high fencing to all side and rear boundaries, and b) Minimum 5m side and rear boundary setbacks; and c) Minimum 3m boundary setback to street frontages. 	<p>AO2.1 – Not applicable.</p> <p>NOTE – The site is adjoined by a dwelling house. While it is reasonable to ensure preservation of amenity, it is also reasonable to ensure that development (such as that proposed) is not unduly prejudiced in terms of the ability to exercise due enjoyment expected within a Principal Centre Zone where highest forms of development are to occur. Stage 1 conditions has acoustic fencing along Markwell Street to adjacent Motel complex (western side) and southern most</p>

		side, an acoustic fence from Glendon Street for the full length of the property boundary.
PO3 Buildings maximise shop front exposure to streets in the retail core.	AO3 (refers to design outcomes in the Retail Core)	AO3 – Not applicable (the development site is not located within the Retail Core).
PO4 Development provides a safe and secure environment.	<p>AO4.1 Development provides:</p> <ul style="list-style-type: none"> a) Opportunities for casual surveillance and sightlines to and from open spaces, streets and adjacent development; b) Activity areas adjacent to pedestrian pathways; c) Pathways, underpasses and other spaces that minimise sudden changes of grade and blind corners; d) Lighting of external areas; e) Increased visibility of high risk areas such as carparks stairwells and the like; f) Entrances to buildings that are oriented to face open or active spaces; and g) Clear sight lines from within the building at the entry point <p>AO4.2 Parking areas with more than 20 parking spaces provide dedicated, obvious and direct pedestrian paths linking spaces with public streets and/or entry points to on-site commercial premises.</p> <p>and</p> <p>AO4.3 Pedestrian movement areas involve minimal vehicle conflict points and facilitate equitable access.</p> <p>AO4.4 The ground level of buildings facing the primary</p>	<p>AO4.1 – development design and location are highly visible with all activity addressing the Markwell Street and Glendon Street road reserves. The development either directly complies with or can be conditioned to meet AO4.1.</p> <p>AO4.2 – the development provides an appropriate level of pedestrian access from the roads and internally from parking areas.</p> <p>AO4.3 – the building retains multiple entry points via Markwell Street and Glendon Street.</p>

	frontage comprises windows and active space.	
PO5 Development is adequately Serviced.	<p>AO5.1 Development is connected to reticulated water supply and sewerage.</p> <p>and</p> <p>AO5.2 Stormwater is discharged to a lawful point of discharge.</p> <p>and</p> <p>AO5.3 Where involving an increase in gross floor area of more than 5,000m², development provides bus and taxi loading areas within 100m of the main entrance.</p>	AO5 (1, 2 & 3) – Conditions are recommended to require connection to all required utilities and services.
PO6 Pedestrian safety is enhanced by appropriate access arrangements.	<p>AO6.1 Where an alternative exists, no direct vehicular access is provided from Glendon Street.</p> <p>and</p> <p>AO6.2 Driveways providing access to less than 20 parking spaces are no more than 3.0m wide where they cross the footpath.</p> <p>and</p> <p>AO6.3 No new driveways are established within 30m of an existing one (shared driveways may need to be used).</p>	PO6 – access and egress arrangements have been assessed and are considered to be well separated through appropriate sight lines to maximise pedestrian safety.
PO7 Refuse Storage areas are located for convenient collection, screened from public view and provided with facilities for self-contained cleaning.	<p>AO7.1 Refuse storage areas allow the appropriately-sized collection vehicle to enter and exit in a forward gear. The use of staff car parking areas to accommodate internal manoeuvring is permissible.</p> <p>and</p> <p>AO7.2 The refuse storage area is provided in a building or other enclosed structure screened to a minimum height of 0.2m above the</p>	AO7 – The proposed waste storage and collection meets acceptable outcomes (for Stages 1 & 2).

	<p>height of the refuse receptacles.</p> <p>and</p> <p>AO7.3 Refuse storage areas are provided with an impervious base that is drained to an approved waste disposal system and provided within a dedicated hose cock.</p>	
<p>PO8 Development is located and designed to ensure that land uses are not exposed to:</p> <ul style="list-style-type: none"> a) Areas that pose a health risk from previous activities; and b) Unacceptable levels of contaminants. 	<p>AO8.1 Development does not occur:</p> <ul style="list-style-type: none"> (a) In areas that pose a health risk from previous activities; and (b) on sites listed on the Contaminated Land Register or Environmental Management Register. <p>or</p> <p>AO8.2 Areas that pose a health risk from previous activities and contaminated soils which are subject to development are remediated prior to plan sealing, operational works permit, or issuing of building works permit.</p>	<p>AO8.1 – the site is not on the Contaminated Land Register.</p>
<p>Section 2 for development affected by one or more overlays</p>		
<p>Airport environ overlays (Wildlife Hazard subareas)</p>		
<p>PO9 Development does not significantly increase risk of wildlife hazard particularly flying vertebrates, such as birds and bats, intruding within an airport operational air space.</p>	<p>No Outcome specified</p>	<p>PO9 – storage of putrescible waste is contained within the building’s service areas and is conditioned accordingly.</p>

SERVICES AND WORKS CODE

Performance outcomes	Assessment benchmarks	
<p>Section 1 General</p>		
<p>PO1 The development is planned and designed considering the land use constraints of the site for achieving stormwater design objectives.</p>	<p>AO1.1 A stormwater quality management plan provides for achievable stormwater quality treatment measures that meet the design objectives identified in Table 9.4.4.</p>	<p>Stormwater quality will be addressed through best management practices. Conditions are recommended to ensure stormwater quantity management complies with the stormwater management</p>

		report prepared by RMA Engineers.
PO2 Development does not discharge wastewater to a Waterway or off-site unless demonstrated to be best practice environmental management for that site.	<p>AO2.1 A wastewater management plan prepared by a suitably qualified person and addresses:</p> <ul style="list-style-type: none"> (a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best-practice environmental management; <p>and</p> <p>AO2.2 Wastewater is managed in accordance with a waste management hierarchy that:</p> <ul style="list-style-type: none"> (a) avoids wastewater discharge to waterways; or (b) minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater. 	The development does not discharge wastewater to a waterway.
PO3 Construction activities avoid or minimise adverse impacts on stormwater quality.	AO3.1 An erosion and sediment control plan addresses the design objectives for the construction phase in Table 9.4.4.	Conditions are recommended to address erosion and sediment control.
PO4 Operational activities avoid or minimise changes to waterway hydrology from adverse impacts of altered stormwater quality and flow	AO4.1 Development incorporates stormwater flow control measures to achieve the design objectives for the postconstruction phase in Table 9.4.4.	The development will manage stormwater via detention and retention systems, that are not expected to materially affect peak discharge from the site, or cause nuisance to adjacent or downstream properties.
Section 2 Infrastructure		
PO5 Development is provided with infrastructure which: <ul style="list-style-type: none"> (a) conforms with industry standards for quality; (b) is reliable and service failures are minimised; and (c) is functional and readily augmented. 	<p>AO5.1 Except in the Rural zone, all development occurs on a site with frontage to a sealed road.</p> <p>and</p> <p>AO5.2 Infrastructure is designed and constructed in accordance with the standards contained in</p>	All infrastructure associated with the development will be designed and constructed in accordance with the PSP1 – Design and Construction Standards. Detailed design would be approved via an Operational Works application.

	PSP1 – Design and Construction Standards.	
Section 3 Vehicle parking		
PO6 Vehicle parking and access is provided to meet the needs of occupants, employees, visitors and other users.	<p>A06.1 Vehicle parking spaces are provided on-site in accordance with Table 9.4.5.</p> <p>and</p> <p>A06.2 A service bay is provided on-site for the service vehicle nominated in Table 9.4.5.</p> <p>and</p> <p>A06.3 Driveway crossings are provided to the standard contained in PSP1 – Design and construction Standards.</p> <p>and</p> <p>A06.4 Vehicle parking and manoeuvring areas are provided in accordance with the standards contained in PSP1 – Design and Construction Standards.</p>	<p>Refer to proposal details further above in the main report.</p> <p>Drop off areas for users, taxis, and buses have been provided along Glendon Street, and also internal to the site.</p> <p>Loading zones are provided internally to accommodate the service vehicle which is a SRV, a 25 seat bus, and a waste collection vehicle.</p> <p>Conditions are recommended to ensure driveway crossings comply with the standards in PSP1 – Design and construction Standards.</p> <p>Vehicle parking and manoeuvring areas are provided in accordance with the standards contained in PSP1 – Design and Construction Standards, including PWD and DDA requirements.</p>
Section 4 Landscaping		
PO7 Landscaping is appropriate to the setting and enhances local character and amenity.	<p>A07.1 Landscaping is provided in accordance with the relevant zone code provisions.</p> <p>and</p> <p>A07.2 Where shade tree planting is required in vehicle parking areas each planting bed has a minimum area of 2m² and is unsealed and permeable.</p> <p>and</p> <p>A07.3 Plantings along frontages or boundaries are in the form of defined gardens with three tier planting comprised of groundcovers, shrubs (understorey), and trees (canopy) and provided with a drip irrigation system,</p>	<p>The submitted landscaping plan forms part of the recommended conditions package.</p>

	mulching and border barriers.	
PO8 Plant species avoid adverse impacts on the natural and built environment, infrastructure and the safety of road networks	<p>AO8.1 Landscaping utilises plant species that are appropriate for the location and intended purpose of the landscaping.</p> <p>and</p> <p>AO8.2 Species selection avoids non-invasive plants. Editor’s Note. Guidance on plant selection is provided in Branching Out - Your Handy Guide to tree Planting in the South Burnett available from Council.</p>	An advice note is recommended requiring compliance against Council’s Branching Out Guide be submitted for Council review and endorsement prior to landscape works commencing in accordance with the proposed staging. Species selection will be assessed as part of the review.
Section 5 Filling and excavation		
PO9 Development results in ground levels that retain: (a) access to natural light; (b) aesthetic amenity; (c) privacy; and (d) safety.	<p>AO9.1 The depth of: (a) fill is less than 2m above ground level; or (b) excavation is less than 2m below ground level. and AO9.2 The toe of the fill, or top of the excavation is not less than 0.5m inside the site property boundary.</p> <p>and</p> <p>AO9.3 Works do not occur on slopes over 15% in grade.</p> <p>and</p> <p>AO9.4 Retaining walls over 1m in height are terraced 1.5m for every 1m in height and landscaped.</p> <p>and</p> <p>AO9.5 Batter slopes are not steeper than 25% and are grassed and terraced 1.5m for every 1m in height.</p> <p>and</p> <p>AO9.6 Filling or excavation for the purpose or retention of water: (a) is certified by an RPEQ engineer to safely</p>	Earthworks on site will be subject to an Operational Work application. The plans in the application will be required to be RPEQ certified.

	<p>withstand the hydraulic loading;</p> <p>(b) directs overflow such that no scour damage or nuisance occurs on adjoining lots.</p>	
<p>PO10 Filling or excavation does not cause damage to public utilities.</p>	<p>AO10.1 Filling or excavation does not occur within 2m horizontally of any part of an underground water supply, sewerage, stormwater, electricity or telecommunications system.</p>	<p>Filling and excavation are likely to occur in proximity to services. The recommended conditions package stipulates that filling and excavation comply with the QDC MP1.4, and are RPEQ certified.</p>
<p>PO11 Filling and excavation avoids water ponding on the premises or nearby premises that will adversely impact on the health of the community.</p>	<p>AO11.1 Following filling or excavation:</p> <p>(a) the premises:</p> <p>(i) are self-draining; and,</p> <p>(ii) has a minimum slope of 0.25%; and,</p> <p>(b) surface water flow is:</p> <p>(i) directed away from neighbouring properties; or</p> <p>(ii) discharged into a stormwater drainage system designed and constructed in accordance with AS3500 section 3.2.</p>	<p>Earthworks on site will be subject to an Operational Works application. The plans in the application will be required to be RPEQ certified.</p>
<p>Section 6 All operational work subject to an overlay</p>		
<p>No operational work forms part of the development application and are therefore not applicable in the assessment of the application.</p>		

Other Relevant Matters

The consideration of other relevant matters applies to the assessment and decision-making process for this impact assessable development application. The below summarises the matters considered.

<p>Assessment considerations of merits</p>	<p>Impact assessment under the [Planning Act] is an ‘unbounded’ assessment, meaning relevant matters other than those prescribed can also be considered, and weighing and balancing ‘inside the box’ as well as with factors ‘outside the box’ can take place in reaching a decision.’</p> <p>The below outlines the planning assessment of the merits of the application presented.</p>
<p>Economic Demand Report – AEC Group Ltd</p> <p>The well-known challenge of health and aged care in regional Australia are exemplified within the South Burnett Community and the broader Darling Downs area. The South Burnett Regional Council (SBRC), which was</p>	<p>Response</p> <ul style="list-style-type: none"> Regional towns such as those within the South Burnett region would benefit from provision of additional Health care services (non-emergent care needs).

<p>previously the Kingaroy, Nanango, Murgon, and Wondai Shires, have undertaken an initiative to lift healthcare service levels within the region.</p> <p>This Project presents a timely opportunity to develop and reframe the debate on regional service and infrastructure access and deliver a significant health and aged care precinct in Kingaroy capable of addressing the social gap through purpose-built infrastructure and a sustainable service and training platform. Developed by Ethos Medical Group (EMG) in conjunction with its consortium partners, the SBRC, QEI, Sullivan & Nicolaides, South Burnett Radiology, Ochre Health and the South Burnett Hospital Foundation, the project aims to replace the existing ageing infrastructure with new fit for purpose hospital, radiology, pathology, and general practice infrastructure.</p> <p>The purpose of the community hospital is to service the non-emergent care needs of the region, reliving pressure on the public system and reducing the need for the community to travel extensively for the care they need outside of the region.</p> <p>Additionally, the hospital will provide healthcare services to the aged care and NDIS residents of the precinct.</p>	<ul style="list-style-type: none"> • Refurbishment/improvement of the existing Lady Bjelke-Petersen Community Hospital is consistent with expectations of those parts of the site zoned as Community Use. Relocation of healthcare oriented components of the development are consistent with expectations of those parts of the site zoned as Principal Centre. • Provision of aged care and NDIS accommodation is claimed to be in need (based on detailed figures provided by AEC). <p>While AEC’s report is comprehensive and well presented, a planning assessment is unable to determine provision (or lack thereof) unless the AEC Economic and Demand Report is subjected to and endorsed by an appropriately qualified peer.</p> <p>The AEC report ‘could’ be viewed as demonstrating economic need for the proposed development.</p>
<p>Draft Major Planning Scheme Amendment</p>	<p>Response</p>
<p>The proposed development (as presented) includes justifications that, in part rely on the draft Major Planning Scheme Amendment which affects the subject site in the following way:</p> <ol style="list-style-type: none"> 1) Increases height from 3 to 4 storeys. 2) Envisages uses generally proposed in this application. 	<p>The Major Planning Scheme amendment recognises a need for development consolidation by supporting increased height of development. The proposed development consolidates multiple uses within one development, albeit at a greater height than that anticipated by the Major Planning Scheme amendment. It could be argued that the Major Planning Scheme amendment did not contemplate a development of the type proposed.</p> <p>It is important to note that the Draft Major Planning Scheme Amendment is still within its statutory consultation period hence weighting as a future expression of Planning Scheme.</p>
<p>Other Considerations</p>	<p>Response</p>
<ol style="list-style-type: none"> 1) Land Use Study (Supply of Principal Centre Zoned Land). 2) Height comparisons made to other regional Community Hospitals. 	<ol style="list-style-type: none"> 1) It was suggested the applicant undertake a broad land use study to determine extent of actual land available within Kingaroy’s Principal Centre to meet its local and regional obligations (as a Major Regional Centre).

	<p>The applicant correctly identified a significant constraint in that Kingaroy cannot currently expand (outward) without compromising valuable agricultural land. Accordingly, planning concepts involving consolidation (increased height) may be necessary.</p> <p>An internal review was undertaken summarising the availability of Principal Centre Zoned land in Kingaroy. It was determined that there are indeed multiple sets of interests competing for land availability (within Kingaroy’s Principal Centre).</p> <p>2) The applicant’s initial town planning report (page 10, ‘Built Form and Height’) cites several regional towns that contain ‘larger <u>Community Hospitals</u>’ 5 to 7 storeys in height in locations such as Gympie, Toowoomba, and Maryborough.</p> <p>The applicant relies on the building height of other regional hospitals which as a planning scheme definition, precludes other uses such as <i>Health care services, Food & Drink Outlet, Child care centre, and Residential care facility</i>.</p> <p>This development proposes a number of uses to which a ‘hospital’ is a component.</p>
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Conclusion (Relevant Matters) –

- The AEC Economic and Demand Report Assessment may serve as the relevant justification for the height and proposed mixed of uses in this development.
- Further detailed land studies may highlight the need for additional height within the Kingaroy Principal Centre.
- Regional hospitals per the Planning scheme definition are often multi-storey.

5. CONSULTATION

Referral Agencies

State Assessment and Referral Agency	Refer to attachment D for their response which conditions revised carparking, internal layout and pedestrian crossings should the development application be approved
Other	N/A

Council Referrals

<i>INTERNAL REFERRAL SPECIALIST</i>	<i>REFERRAL / RESPONSE</i>
Development Engineer	The development engineer provided standing engineering conditions relating to access, stormwater management, infrastructure networks, parking, pedestrian safety, earthworks, erosion control.

<p>Infrastructure Charges Unit</p>	<p>Council adopted the LGIP on 14 June 2019 which commenced on 1 July 2019.</p> <p>The types of developments that may trigger the issuing of an infrastructure charges notice are:</p> <ul style="list-style-type: none"> • Reconfiguring a lot; • Making a material change of use; • Carrying out building work. <p>Refer to Attachment B for the Infrastructure Charges Notices.</p>
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Public Notification

Date Notification Commenced	7 December 2023
Date Notification Completed	17 December 2023
Date notice of compliance received	19 January 2024
Submissions	Nil received

6. CONCLUSION

Application is for a Material Change of Use – Development Permit for a Staged Mixed-Use Development – Residential Care Facility, Health Care Services, Hospital, Child care centre and Food & Drink Outlet/Shop.

The application was assessed against the following Assessment Benchmarks:

1. Wide Bay Burnett Regional Plan 2023 – it was determined that the application meets the Objectives and Policies cited as relevant to this development proposal.
2. South Burnett Regional Planning Scheme 2017 v1.4 –
 - a. Part 3 ‘Strategic Framework’ –
 - i. Proposed uses are considered appropriate and reinforce the planning schemes preference to maintain Kingaroy predominance for placement of services and infrastructure.
 - ii. Proposed development assist with delivery of key services, infrastructure, and accommodation options in an appropriate location.
 - iii. Proposed built form acknowledges a potential need to further consider urban consolidation as a balance between delivery of service, effective use of available urban land and the need to retain regionally significant agricultural land.
 - b. Part 6 Community Use Zone Code – Proposed Hospital component (of the development) is consistent with the uses anticipated for the Zone. Built form and intensity of uses were determined to be in accordance with the predominant Principal Centre Zoning (surrounding the Community Use Zone).
 - c. Part 6 Principal Centre Code – Proposed Health Care, Childcare Facility, and Residential Care Facility are consistent with uses envisaged within the zone.
 - d. Part 8 Services and Works Code – the development was found to either comply with or could be conditions to comply with the Services and Works Code in terms of:
 - Stormwater.
 - Access, Onsite Parking, Servicing, Waste Servicing.
 - Water and Sewer.
 - Landscaping.
 - Filling and Excavation.
3. Relevant Matters (s45(5)(b) *Planning Act 2016* –
 - The development was supported by an Economic and Demand Report which provided arguments relating to planning need.
 - Matters relating to the need for consolidation of urban land and subsequent built form were considered by the applicant, and in this assessment. It was determined that changes to overall built form in Kingaroy’s Principal Centre is a possibility subject to further detailed studies.
 - The proposed development’s built form was compared to other regional ‘hospitals’, which were confirmed to be of similar scale.

ATTACHMENTS

1. **Attachment A - Statement of Reasons**
2. **Attachment B - Stage 1 - Infrastructure Charges Notice**
3. **Attachment B - Stage 2 - Infrastructure Charges Notice**
4. **Attachment B - Stage 3 - Infrastructure Charges Notice**
5. **Attachment C - Approved Plans**
6. **Attachment D - Referral Agency Response**
7. **Attachment D - Referral Agency Response**
8. **Attachment D - Referral Agency Response**

NOTICE ABOUT DECISION – STATEMENT OF REASONS

The following information is provided in accordance with Section 63(4) & (5) of the Planning Act 2016

SITE DETAILS – MCU23/0024	
Applicant:	Ethos Health Care Pty Ltd (A.C.N. 661 843 992) & C 59 Pty Ltd (A.C.N. 600 809 970) C/- Isaac Consulting Pty Ltd
Proposal:	Material Change of Use – Development Permit for a Staged Mixed-Use Development – Residential care facility, Health care service, Hospital, Child care centre and Food & Drink Outlets/Shop
Properly Made Date:	13 October 2023
Street Address:	25 & 31 Markwell Street & 7 Glendon Street Kingaroy QLD 4610
RP Description:	Lot 1 on RP42037 Lot 1 on RP57027 Lots 4 & 5 on SP146001 Lots 2 & 3 on RP7925
Assessment Type:	Impact Assessment
Number of Submissions:	No Submissions
ISSUE	Refer to item 2 below
Decision:	Approved with conditions
Decision Date:	24 January 2024

1. Assessment Benchmarks

The following are the benchmarks apply to this development:

Wide Bay Burnett Regional Plan

- Objective 1.2 *Plan for our Future* – Policies 1.2.1, 1.2.2, 1,2,3 & 1.2.11.
- Objective 1.3 *'Make place we're proud of'* – Policy 1.3.6.
- Objective 2.3 *'Create employment pathways for all'* – Policies 2.3.1 & 2.3.2

South Burnett Regional Council Planning Scheme 2017 v1.4

- Strategic Framework;
- Principal Centre Zone;
- Community Facility Zone;
- Services & Works Code.

2. Reasons for the Decision

The reasons for this decision are:

- The proposed scale of the development broadly responds to statutory requirements set out under the Wide Bay Burnett Regional Plan
- The proposal is consistent with the South Burnett Regional Planning Scheme 2017 v1.4 Strategic Framework regarding the provision of key infrastructure and services within Kingaroy (as the main South Burnett Regional Centre).
- The proposed uses are consistent with uses envisaged within the South Burnett Regional Planning Scheme's Principal Centre Zone Code & Community Facilities Zone Code.
- The proposal was assessed against and found to comply with the following broad planning criteria (considered as relevant matters in the impact assessment)
 - State Planning Policy 2017 (Liveable Communities).
 - State Planning Policy 2017 (Economic Growth).
 - State Planning Policy 2017 (Safety and Resilience to Hazards)
 - State Planning Policy 2017 (Infrastructure)

- It was determined that sufficient consultation and engagement to inform the community was undertaken via media releases, and statutory notification.
- Reasonable and relevant conditions of approval can be imposed to ensure compliance with the South Burnett Planning Scheme 2017 v1.4 requirements.

3. Compliance with Benchmarks

The development was assessed against all the assessment benchmarks listed above and complies with all of these or can be conditioned to comply.

Note: Each application submitted to Council is assessed individually on its own merit.

INFRASTRUCTURE CHARGES NOTICE

(Section 119 of the Planning Act 2016)

APPLICANT: Ethos Health Care Pty Ltd
C/- Isaac Consulting Pty Ltd
2/47 Warner Street
FORTITUDE VALLEY QLD 4006

APPLICATION: **STAGE 1**
MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT
- RESIDENTIAL CARE FACILITY (GENERAL CARE UNITS, NDIS UNITS, PALLIATIVE CARE UNITS AND DEMENTIA CARE UNITS)
- HEALTH CARE SERVICES
- HOSPITAL (PLUS 42 X ANCILLARY SHORT TERM STAFF ACCOMMODATION, CAFE/FLOREST)
- CHILD CARE CENTRE (50 ENROLMENTS)

DATE: 24/01/2024

FILE REFERENCE: MCU23/0024

AMOUNT OF THE LEVIED CHARGE: **\$1,342,200.00** **Total**
(Details of how these charges were calculated are shown overleaf)

	\$657,678.00	Water Supply Network
	\$362,394.00	Sewerage Network
	\$322,128.00	Transport Network
	\$0.00	Parks and Land for Community Facilities Network
	\$0.00	Stormwater Network

AUTOMATIC INCREASE OF LEVIED CHARGE: The amount of the levied charge is subject to an automatic increase. Refer to the Information Notice attached to this notice for more information on how the increase is worked out.

LAND TO WHICH CHARGE APPLIES: Lots 4 & 5 on SP146001, Lot 1 on RP57027, Lots 2 & 3 on RP7925 & Lot 1 on RP42037

SITE ADDRESS: 25 & 31 Markwell Street & 7 Glendon Street, Kingaroy

PAYABLE TO: **South Burnett Regional Council**

WHEN PAYABLE: Material Change of Use – When the change happens.
(In accordance with the timing stated in Section 122 of the Planning Act 2016)

OFFSET OR REFUND: Not Applicable.

This charge is made in accordance with South Burnett Regional Council's **Charges Resolution (No. 3) 2019**

DETAILS OF CALCULATION

Water Supply

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	16,879	m ² GFA	49.00	CR Table 2.2	\$827,071.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	3,457	m ² GFA	\$49.00	CR Table 2.2	\$169,393.00

Sewerage

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	16,879	m ² GFA	27.00	CR Table 2.2	\$455,733.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	3,457	m ² GFA	\$27.00	CR Table 2.2	\$93,339.00

Transport

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	16,879	m ² GFA	24.00	CR Table 2.2	\$405,096.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	3,457	m ² GFA	\$24.00	CR Table 2.2	\$82,968.00

Parks and Land for Community Facilities

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	16,879	m ² GFA	0.00	CR Table 2.2	\$0.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	3,457	m ² GFA	\$0.00	CR Table 2.2	\$0.00

Stormwater

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	6,073	m ² Impervious	2.00	CR Table 2.2	\$12,146.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	6,350	m ² Impervious	2.00	CR Table 2.2	\$12,700.00

Levied Charges

Development Description	Water Supply	Sewerage	Transport	Parks & Land for Community Facilities	Stormwater	Total
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	\$657,678.00	\$362,394.00	\$322,128.00	\$0.00	\$0.00	\$1,342,200.00
Total	\$657,678.00	\$362,394.00	\$322,128.00	\$0.00	\$0.00	\$1,342,200.00

** In accordance with Section 3.3 of the Charges Resolution, the discount may not exceed the adopted charge. Any surplus discounts will not be refunded, except at South Burnett Regional Council's discretion.*

INFORMATION NOTICE

Authority and Reasons for Charge	This Infrastructure Charges Notice has been given in accordance with section 119 of the <i>Planning Act 2016</i> to support the Local government's long-term infrastructure planning and financial sustainability.
Appeals	Pursuant to section 229 and Schedule 1 of the <i>Planning Act 2016</i> a person may appeal an Infrastructure Charges Notice. Attached is an extract from the <i>Planning Act 2016</i> that details your appeal rights.
Automatic Increase Provision of charge rate (\$)	<p>An infrastructure charge levied by South Burnett Regional Council is to be increased by the difference between the Producer Price Index (PPI) applicable at the time the infrastructure charge was levied, and PPI applicable at the time of payment of the levied charge, adjusted by reference to the 3-yearly PPI average¹. If the levied charge is increased using the method described above, the charge payable is the amount equal to the sum of the charge as levied and the amount of the increase.</p> <p>However, the sum of the charge as levied and the amount of the increase is not to exceed the maximum adopted charge the Authority could have levied for the development at the time the charge is paid.</p>
GST	The Federal Government has determined that contributions made by developers to Government for infrastructure and services under the <i>Planning Act 2016</i> are GST exempt.
Making a Payment	<p>This Infrastructure Charges Notice cannot be used to pay your infrastructure charges.</p> <p>To pay the levied charge, you must request an Itemised Breakdown showing the total levied charge payable at the time of payment. An Itemised Breakdown must be presented at the time of payment.</p> <p>An Itemised Breakdown may be requested by emailing info@southburnett.qld.gov.au</p> <p>Payment can be made at any of the following South Burnett Regional Council Offices:</p>

¹ 3-yearly PPI average is defined in section 114 of the *Planning Act 2016* and means the PPI adjusted according to the 3-year moving average quarterly percentage change between financial quarters. PPI Index is the producer price index for construction 6427.0 (ABS PPI) index number 3101 – Road and Bridge construction index for Queensland published by the Australian Bureau of Statistics.

- 69 Hart Street, Blackbutt, 4314;
- 45 Glendon Street, Kingaroy, 4610;
- 42 Stephens Street West, Murgon, 4605;
- 48 Drayton Street, Nanango, 4615;
- McKenzie Street, Wondai, 4606; or
- via other methods identified on the Itemised Breakdown.

Enquiries

Enquiries regarding this Infrastructure Charges Notice should be directed to the SOUTH BURNETT REGIONAL COUNCIL, Department of Planning and Land Management, during office hours, Monday to Friday by phoning (07) 4189 9100 or email at info@southburnett.qld.gov.au

INFRASTRUCTURE CHARGES NOTICE

(Section 119 of the Planning Act 2016)

APPLICANT: Ethos Health Care Pty Ltd
C/- Isaac Consulting Pty Ltd
2/47 Warner Street
FORTITUDE VALLEY QLD 4006

APPLICATION: **STAGE 2**
MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT
- RESIDENTIAL CARE FACILITY (GENERAL CARE UNITS, NDIS UNITS, PALLIATIVE CARE UNITS AND DEMENTIA CARE UNITS)
- HEALTH CARE SERVICES
- HOSPITAL (PLUS 42 X ANCILLARY SHORT TERM STAFF ACCOMMODATION, CAFE/FLORIST)
- CHILD CARE CENTRE (50 ENROLMENTS)

DATE: 24/01/2024

FILE REFERENCE: MCU23/0024

AMOUNT OF THE LEVIED CHARGE: **\$1,430,640.00** **Total**
(Details of how these charges were calculated are shown overleaf)

	\$700,273.00	Water Supply Network
	\$385,919.00	Sewerage Network
	\$343,018.00	Transport Network
	\$0.00	Parks and Land for Community Facilities Network
	\$1,430.00	Stormwater Network

AUTOMATIC INCREASE OF LEVIED CHARGE: The amount of the levied charge is subject to an automatic increase. Refer to the Information Notice attached to this notice for more information on how the increase is worked out.

LAND TO WHICH CHARGE APPLIES: Lots 4 & 5 on SP146001, Lot 1 on RP57027, Lots 2 & 3 on RP7925 & Lot 1 on RP42037

SITE ADDRESS: 25 & 31 Markwell St & 7 Glendon St, Kingaroy

PAYABLE TO: **South Burnett Regional Council**

WHEN PAYABLE: Material Change of Use – When the change happens.
(In accordance with the timing stated in Section 122 of the Planning Act 2016)

OFFSET OR REFUND: Not Applicable.

This charge is made in accordance with South Burnett Regional Council's **Charges Resolution (No. 3) 2019**

DETAILS OF CALCULATION

Water Supply

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	13,697	m ² GFA	49.00	CR Table 2.2	\$671,153.00
Educational Facility (Childcare)	350	m ² GFA	49.00	CR Table 2.2	\$17,150.00
Retail (commercial Retail)	190	m ² GFA	63.00	CR Table 2.2	\$11,970.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$49.00	CR Table 2.2	\$0.00

Sewerage

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	13,697	m ² GFA	27.00	CR Table 2.2	\$369,819.00
Educational Facility (Childcare)	350	m ² GFA	27.00	CR Table 2.2	\$9,450.00
Retail (commercial Retail)	190	m ² GFA	35.00	CR Table 2.2	\$6,650.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$27.00	CR Table 2.2	\$0.00

Transport

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	13,697	m ² GFA	24.00	CR Table 2.2	\$328,728.00
Educational Facility (Childcare)	350	m ² GFA	24.00	CR Table 2.2	\$8,400.00
Retail (commercial Retail)	190	m ² GFA	31.00	CR Table 2.2	\$5,890.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$24.00	CR Table 2.2	\$0.00

Parks and Land for Community Facilities

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	13,697	m ² GFA	0.00	CR Table 2.2	\$0.00
Educational Facility (Childcare)	350	m ² GFA	0.00	CR Table 2.2	\$0.00
Retail (commercial Retail)	190	m ² GFA	0.00	CR Table 2.2	\$0.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$0.00	CR Table 2.2	\$0.00

Stormwater

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space, Educational Facility, Commercial Retail)	992	m ² Impervious	2.00	CR Table 2.2	\$1,984.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	277	m ² Impervious	2.00	CR Table 2.2	\$554.00

Levied Charges

Development Description	Water Supply	Sewerage	Transport	Parks & Land for Community Facilities	Stormwater	Total
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space), & Educational Facility (Childcare), & Retail (Commercial Retail)	\$700,273.00	\$385,919.00	\$343,018.00	\$0.00	\$1,430.00	\$1,430,640.00
Total	\$700,273.00	\$385,919.00	\$343,018.00	\$0.00	\$1,430.00	\$1,430,640.00

** In accordance with Section 3.3 of the Charges Resolution, the discount may not exceed the adopted charge. Any surplus discounts will not be refunded, except at South Burnett Regional Council's discretion.*

INFORMATION NOTICE

Authority and Reasons for Charge	This Infrastructure Charges Notice has been given in accordance with section 119 of the <i>Planning Act 2016</i> to support the Local government's long-term infrastructure planning and financial sustainability.
Appeals	Pursuant to section 229 and Schedule 1 of the <i>Planning Act 2016</i> a person may appeal an Infrastructure Charges Notice. Attached is an extract from the <i>Planning Act 2016</i> that details your appeal rights.
Automatic Increase Provision of charge rate (\$)	<p>An infrastructure charge levied by South Burnett Regional Council is to be increased by the difference between the Producer Price Index (PPI) applicable at the time the infrastructure charge was levied, and PPI applicable at the time of payment of the levied charge, adjusted by reference to the 3-yearly PPI average¹. If the levied charge is increased using the method described above, the charge payable is the amount equal to the sum of the charge as levied and the amount of the increase.</p> <p>However, the sum of the charge as levied and the amount of the increase is not to exceed the maximum adopted charge the Authority could have levied for the development at the time the charge is paid.</p>
GST	The Federal Government has determined that contributions made by developers to Government for infrastructure and services under the <i>Planning Act 2016</i> are GST exempt.
Making a Payment	<p>This Infrastructure Charges Notice cannot be used to pay your infrastructure charges.</p> <p>To pay the levied charge, you must request an Itemised Breakdown showing the total levied charge payable at the time of payment. An Itemised Breakdown must be presented at the time of payment.</p> <p>An Itemised Breakdown may be requested by emailing info@southburnett.qld.gov.au</p> <p>Payment can be made at any of the following South Burnett Regional Council Offices:</p>

¹ 3-yearly PPI average is defined in section 114 of the *Planning Act 2016* and means the PPI adjusted according to the 3-year moving average quarterly percentage change between financial quarters. PPI Index is the producer price index for construction 6427.0 (ABS PPI) index number 3101 – Road and Bridge construction index for Queensland published by the Australian Bureau of Statistics.

- 69 Hart Street, Blackbutt, 4314;
- 45 Glendon Street, Kingaroy, 4610;
- 42 Stephens Street West, Murgon, 4605;
- 48 Drayton Street, Nanango, 4615;
- McKenzie Street, Wondai, 4606; or
- via other methods identified on the Itemised Breakdown.

Enquiries

Enquiries regarding this Infrastructure Charges Notice should be directed to the SOUTH BURNETT REGIONAL COUNCIL, Department of Planning and Land Management, during office hours, Monday to Friday by phoning (07) 4189 9100 or email at info@southburnett.qld.gov.au

INFRASTRUCTURE CHARGES NOTICE

(Section 119 of the Planning Act 2016)

APPLICANT: Ethos Health Care Pty Ltd
C/- Isaac Consulting Pty Ltd
2/47 Warner Street
FORTITUDE VALLEY QLD 4006

APPLICATION: **STAGE 3**
MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT
- RESIDENTIAL CARE FACILITY (GENERAL CARE UNITS, NDIS UNITS, PALLIATIVE CARE UNITS AND DEMENTIA CARE UNITS)
- HEALTH CARE SERVICES
- HOSPITAL (PLUS 42 X ANCILLARY SHORT TERM STAFF ACCOMMODATION, CAFE/FLORIST)
- CHILD CARE CENTRE (50 ENROLMENTS)

DATE: 24/01/2024

FILE REFERENCE: MCU23/0024

AMOUNT OF THE LEVIED CHARGE: **\$563,154.00** **Total**
(Details of how these charges were calculated are shown overleaf)

	\$274,106.00	Water Supply Network
	\$151,038.00	Sewerage Network
	\$134,256.00	Transport Network
	\$0.00	Parks and Land for Community Facilities Network
	\$3,754.00	Stormwater Network

AUTOMATIC INCREASE OF LEVIED CHARGE: The amount of the levied charge is subject to an automatic increase. Refer to the Information Notice attached to this notice for more information on how the increase is worked out.

LAND TO WHICH CHARGE APPLIES: Lots 4 & 5 on SP146001, Lot 1 on RP57027, Lots 2 & 3 on RP7925 & Lot 1 on RP42037

SITE ADDRESS: 25 & 31 Markwell St & 7 Glendon St, Kingaroy

PAYABLE TO: **South Burnett Regional Council**

WHEN PAYABLE: Material Change of Use – When the change happens.
(In accordance with the timing stated in Section 122 of the Planning Act 2016)

OFFSET OR REFUND: Not Applicable.

This charge is made in accordance with South Burnett Regional Council's **Charges Resolution (No. 3) 2019**

DETAILS OF CALCULATION

Water Supply

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Residential Care)	5,594	m ² GFA	49.00	CR Table 2.2	\$274,106.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$49.00	CR Table 2.2	\$0.00

Sewerage

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Residential Care)	5,594	m ² GFA	27.00	CR Table 2.2	\$151,038.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$27.00	CR Table 2.2	\$0.00

Transport

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Residential Care)	5,594	m ² GFA	24.00	CR Table 2.2	\$134,256.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$24.00	CR Table 2.2	\$0.00

Parks and Land for Community Facilities

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Residential Care)	5,594	m ² GFA	0.00	CR Table 2.2	\$0.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$0.00	CR Table 2.2	\$0.00

Stormwater

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Residential Care)	1,877	m ² Impervious	2.00	CR Table 2.2	\$3,754.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² Impervious	2.00	CR Table 2.2	\$0.00

Levied Charges

Development Description	Water Supply	Sewerage	Transport	Parks & Land for Community Facilities	Stormwater	Total
Essential Services (Residential Care)	\$274,106.00	\$151,038.00	\$134,256.00	\$0.00	\$3,754.00	\$563,154.00
Total	\$274,106.00	\$151,038.00	\$134,256.00	\$0.00	\$3,754.00	\$563,154.00

** In accordance with Section 3.3 of the Charges Resolution, the discount may not exceed the adopted charge. Any surplus discounts will not be refunded, except at South Burnett Regional Council's discretion.*

INFORMATION NOTICE

Authority and Reasons for Charge	This Infrastructure Charges Notice has been given in accordance with section 119 of the <i>Planning Act 2016</i> to support the Local government's long-term infrastructure planning and financial sustainability.
Appeals	Pursuant to section 229 and Schedule 1 of the <i>Planning Act 2016</i> a person may appeal an Infrastructure Charges Notice. Attached is an extract from the <i>Planning Act 2016</i> that details your appeal rights.
Automatic Increase Provision of charge rate (\$)	<p>An infrastructure charge levied by South Burnett Regional Council is to be increased by the difference between the Producer Price Index (PPI) applicable at the time the infrastructure charge was levied, and PPI applicable at the time of payment of the levied charge, adjusted by reference to the 3-yearly PPI average¹. If the levied charge is increased using the method described above, the charge payable is the amount equal to the sum of the charge as levied and the amount of the increase.</p> <p>However, the sum of the charge as levied and the amount of the increase is not to exceed the maximum adopted charge the Authority could have levied for the development at the time the charge is paid.</p>
GST	The Federal Government has determined that contributions made by developers to Government for infrastructure and services under the <i>Planning Act 2016</i> are GST exempt.
Making a Payment	<p>This Infrastructure Charges Notice cannot be used to pay your infrastructure charges.</p> <p>To pay the levied charge, you must request an Itemised Breakdown showing the total levied charge payable at the time of payment. An Itemised Breakdown must be presented at the time of payment.</p> <p>An Itemised Breakdown may be requested by emailing info@southburnett.qld.gov.au</p> <p>Payment can be made at any of the following South Burnett Regional Council Offices:</p>

¹ 3-yearly PPI average is defined in section 114 of the *Planning Act 2016* and means the PPI adjusted according to the 3-year moving average quarterly percentage change between financial quarters. PPI Index is the producer price index for construction 6427.0 (ABS PPI) index number 3101 – Road and Bridge construction index for Queensland published by the Australian Bureau of Statistics.

- 69 Hart Street, Blackbutt, 4314;
- 45 Glendon Street, Kingaroy, 4610;
- 42 Stephens Street West, Murgon, 4605;
- 48 Drayton Street, Nanango, 4615;
- McKenzie Street, Wondai, 4606; or
- via other methods identified on the Itemised Breakdown.

Enquiries

Enquiries regarding this Infrastructure Charges Notice should be directed to the SOUTH BURNETT REGIONAL COUNCIL, Department of Planning and Land Management, during office hours, Monday to Friday by phoning (07) 4189 9100 or email at info@southburnett.qld.gov.au

PROPOSED HEALTH PRECINCT REDEVELOPMENT

CNR MARKWELL & GLENDON STREETS
KINGARROY QUEENSLAND 4610

FOR ETHOS HEALTH CARE



KINGARROY HEALTH PRECINCT PROJECT INFORMATION		
SITE AREA (TOTAL)	9,477 m ²	
LAND PARCELS	LOT 1 RP42037 / LOT 2 RP1925 / LOT 3 RP1925 / LOT 4 SP148001 / LOT 1 RP57027 / LOT 5 SP148001	
LOCAL AUTHORITY	SOUTH BURNETT REGIONAL COUNCIL	
SBRC PLANNING OVERLAYS / REGULATIONS	- COMMUNITY FACILITIES (EXISTING LAND PARCELS) - PRINCIPAL CENTRE (ADDITIONAL LAND PARCELS) - 3 + 8KM AIRPORT ENVYRONS - REGIONAL INFRASTRUCTURE	
EXISTING USE BREAKDOWN (GFA)	3,546.48m ² (37.42%)	
PROPOSED USE BREAKDOWN (GFA) -	Calculations based on SBRC town plan documents	
	STAGE 1	HOSPITAL 4,356.3m ² MEDICAL FACILITIES 1,236.3m ² RESIDENTIAL CARE 8,147.8m ² NDIS ACCOMMODATION 1,750.6m ² COMMUNAL SPACE 360.0m ² 16,850.6m²
	STAGE 2	HOSPITAL/ANCIUARY 1,437.0m ² CHILD CARE 350.0m ² RETAIL 190.0m ² STAFF (SHORT TERM) 4,311.5m ² RESIDENTIAL CARE 5,083.8m ² NDIS ACCOMMODATION 2,058.2m ² COMMUNAL SPACE 206.7m ² 14,237.2m²
	STAGE 3	RESIDENTIAL CARE 5,594.5m ² 5,594.5m²
	TOTAL GFA	36,723m²
SITE COVER	TOTAL SITE COVER	8,007.48m ² (84%)
OCCUPANCY	STAGE 1	RESIDENTIAL CARE 106 ROOMS PALLIATIVE CARE 11 NDIS 22 (2 CARER) SHORT TERM / STAFF 3 UNITS
	STAGE 2	RESIDENTIAL CARE 66 ROOMS PALLIATIVE CARE 13 DEMENTIA 10 NDIS 22 (2 CARER) SHORT TERM / STAFF 39 UNITS
	STAGE 3	RESIDENTIAL CARE 69 ROOMS
TOTAL OCCUPANCY		RESIDENTIAL CARE 231 ROOMS PALLIATIVE CARE 13 DEMENTIA 10 NDIS 44 (4 CARER) SHORT TERM 42 UNITS TOTAL UNITS RESIDENTIAL CARE 314 OTHER 88
CAR PARKING PROVISIONS	SEE ATTACHED CALCULATIONS	
BUILDING HEIGHT	7 STOREYS (6 LEVELS + TRAFFICABLE ROOF)	

KINGARROY HEALTH PRECINCT - CARPARKING REQUIREMENTS

STAGE ONE	
	AREA (GFA) m ²
HOSPITAL	2,800m ²
HEALTH SERVICES	
• RADIOLOGY	600m ²
• MEDICAL CTR	500m ²
• PATHOLOGY	100m ²
RESIDENTIAL CARE	
• GENERAL ROOMS	106 ROOMS
• PALLIATIVE ROOMS	11 ROOMS
• NDIS ACCOMMODATION	22 SUITES
SHORT TERM STAFF ACCOMMODATION	3 UNITS
CARS PROVIDED (STAGE 1)	70
TEMPORARY CARSPACES PROVIDED ON COMPLETION OF STAGE 1	43
NETT CARS PROVIDED (STAGE 1)	113

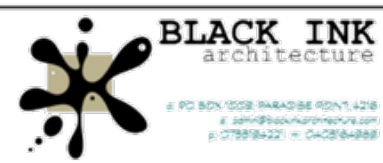
STAGE TWO	
	AREA (GFA) m ²
HEALTH SERVICES	
• ALLIED HEALTH	120m ²
• ONCOLOGY	
RESIDENTIAL CARE	
• GENERAL ROOMS	93 ROOMS
• PALLIATIVE ROOMS	2 ROOMS
• DEMENTIA ROOMS	10 ROOMS
• NDIS ACCOMMODATION	22 SUITES
SHORT TERM STAFF ACCOMMODATION	39 UNITS
CHILDCARE CENTRE 50 CHILDREN	1,000m ²
CARS PROVIDED (STAGE 2)	54

STAGE THREE	
	AREA (GFA) m ²
RESIDENTIAL CARE	
• GENERAL ROOMS	69 ROOMS
CARS PROVIDED (STAGE 3)	109
LESS TEMPORARY CARSPACES	73
NETT CARS PROVIDED (STAGE 3)	36

STAGES ONE TO THREE	
	CARS REQD
TOTAL CARS PROVIDED	203
	(163 CARSPACES ON SITE +20 KERBSIDE PARKS) + 3 AMBULANCE BAYS



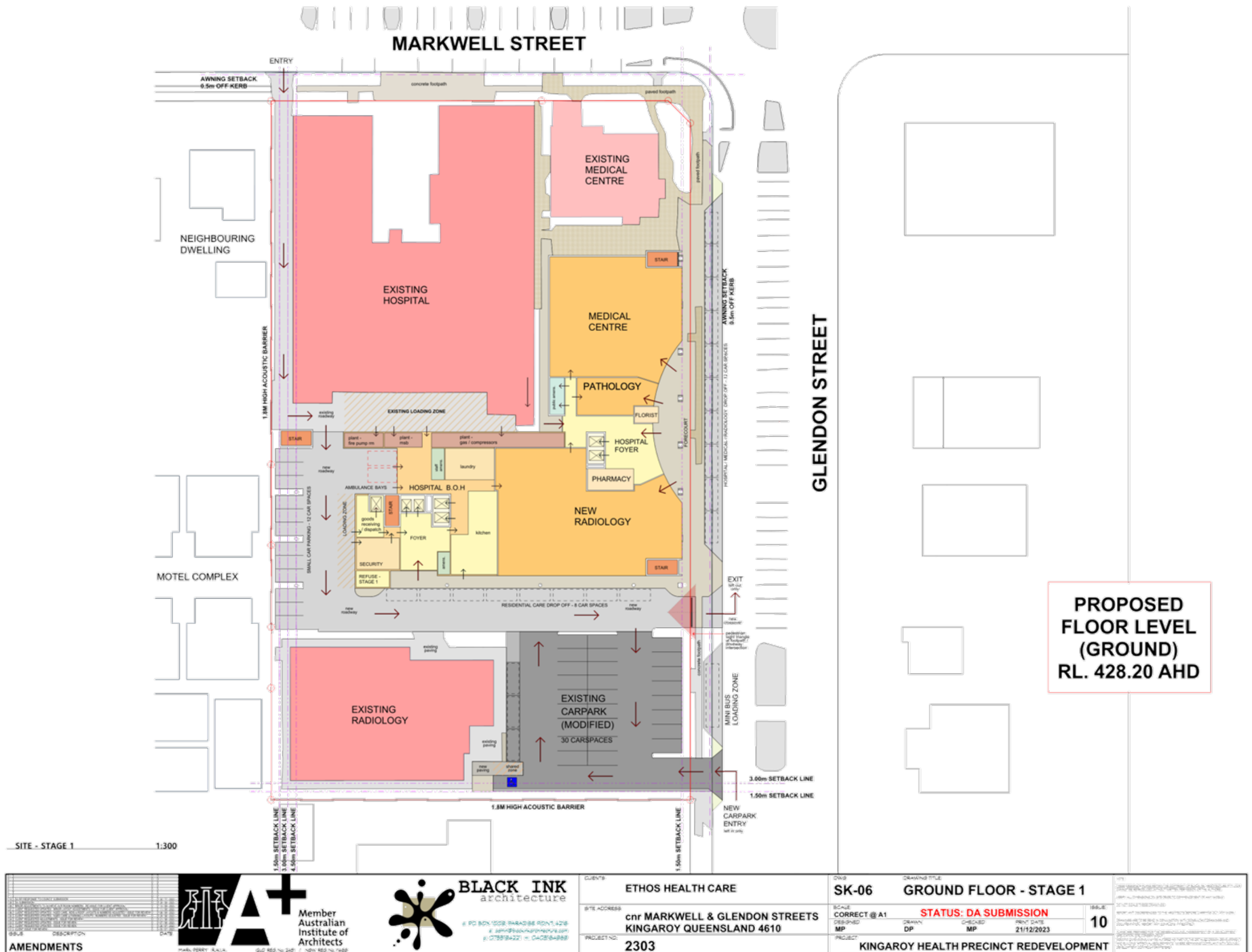
NO.	DESCRIPTION	DATE
1	AMENDMENTS	



CLIENTS	ETHOS HEALTH CARE
SITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGARROY QUEENSLAND 4610
PROJECT NO.	2303

DWG	SK-01	COVER SHEET
SCALE	CORRECT @ A1	STATUS: DA SUBMISSION
DESIGNED	MP	CHECKED
DRAWN	DP	PRINT DATE
		15/01/2024
PROJECT	KINGARROY HEALTH PRECINCT REDEVELOPMENT	

ISSUE	10
15/01/2024 15/01/2024 15/01/2024	





ACCOMMODATION BREAKDOWN

LEVEL 1				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
PALLIATIVE CARE		13		13
RECOVERY BEDS	8			8
RECOVERY CHAIRS	12			12
INFUSION CHAIRS	16			16
STAFF	10			10
	(TK3 + IN2)			

PROPOSED FLOOR LEVEL (LEVEL 1) RL. 432.70 AHD

LEVEL 1 - STAGE 1 1:300



NO.	DESCRIPTION	DATE

AMENDMENTS



CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.	2303

DATE	30/11/2023
DRAWING TITLE	SK-07 LEVEL 1 PLAN - STAGE 1
SCALE	CORRECT @ A1
DESIGNED	MP
CHECKED	MP
PRINT DATE	30/11/2023
PROJECT	KINGAROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	10
STATUS	DA SUBMISSION



ACCOMMODATION BREAKDOWN

LEVEL 2				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	25	22	32	79
DEMEMENTIA CARE	10			10
PALLIATIVE CARE	10			10
STAFF				10
			(TK3 + 942)	

* NOTE - STAGE 1 PALLIATIVE CARE BEDS REVERT TO AGED CARE BEDS ON COMPLETION OF STAGE 2

PROPOSED FLOOR LEVEL (LEVEL 2) RL. 437.20 AHD

LEVEL 2 - STAGE 1 1:300



NO.	DESCRIPTION	DATE



CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGARROY QUEENSLAND 4610
PROJECT NO.	2303

DATE	30/11/2023
DRAWING TITLE	SK-08 LEVEL 2 PLAN - STAGE 1
SCALE	CORRECT @ A1
DESIGNED	MP
CHECKED	MP
STATUS	DA SUBMISSION
ISSUE	10
PROJECT	KINGARROY HEALTH PRECINCT REDEVELOPMENT

DATE	30/11/2023
ISSUE	10



ACCOMMODATION BREAKDOWN

LEVEL 3				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	41	22	30	93
STAFF		10		10
		(1x3 + 9x2)		

PROPOSED FLOOR LEVEL (LEVEL 3) RL. 441.70 AHD

LEVEL 3 - STAGE 1 1:300



NO.	DESCRIPTION	DATE

AMENDMENTS



CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.	2303

DATE	SK-09	DRAWING TITLE	LEVEL 3 PLAN - STAGE 1
SCALE	CORRECT @ A1	STATUS:	DA SUBMISSION
DESIGNED	MP	CHECKED	MP
DRAWN	DP	PRINT DATE	30/11/2023
PROJECT	KINGAROY HEALTH PRECINCT REDEVELOPMENT		

ISSUE	10
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ACCOMMODATION BREAKDOWN

LEVEL 4				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	41	49	30	120

PROPOSED FLOOR LEVEL (LEVEL 4) RL. 445.60 AHD

LEVEL 4 - STAGE 1 1:300



NO.	DESCRIPTION	DATE

AMENDMENTS



CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGARROY QUEENSLAND 4610
PROJECT NO.	2303

DATE	30/11/2023
DRAWING TITLE	SK-10 LEVEL 4 PLAN - STAGE 1
SCALE	CORRECT @ A1
DESIGNED	MP
DRAWN	DP
CHECKED	MP
STATUS:	DA SUBMISSION
PROJECT	KINGARROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	10
DATE	30/11/2023



NDIS CARER ROOM ALLOCATION

CARER #1	ROOMS	N01 - N07 N28 - N30
CARER #2	ROOMS	N08 - N17
CARER #3	ROOMS	N18 - N27
CARER #4	ROOMS	N31 - N40

ACCOMMODATION BREAKDOWN

LEVEL 5

TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
STAFF	3	9		12
NDS	20	20		40
NDIS CARER	2	2		4

TOTAL - ALL LEVELS

TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	107	93	92	292
DEMENTIA		10		10
PALLIATIVE CARE	10	+2 (NHS)		12
RECOVERY BEDS	8			8
RECOVERY CHAIRS	12			12
INFUSION CHAIRS		16		16
STAFF	3	39		42
NDS	20	20		40
NDIS CARER	2	2		4

PROPOSED FLOOR LEVEL (LEVEL 5) RL. 449.50 AHD

LEVEL 5 - STAGE 1 1:300



NO.	DESCRIPTION	DATE
1	ISSUED FOR TENDER	10/01/2023
2	ISSUED FOR DA SUBMISSION	30/11/2023
3	ISSUED FOR DA SUBMISSION	30/11/2023

AMENDMENTS



CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.	2303

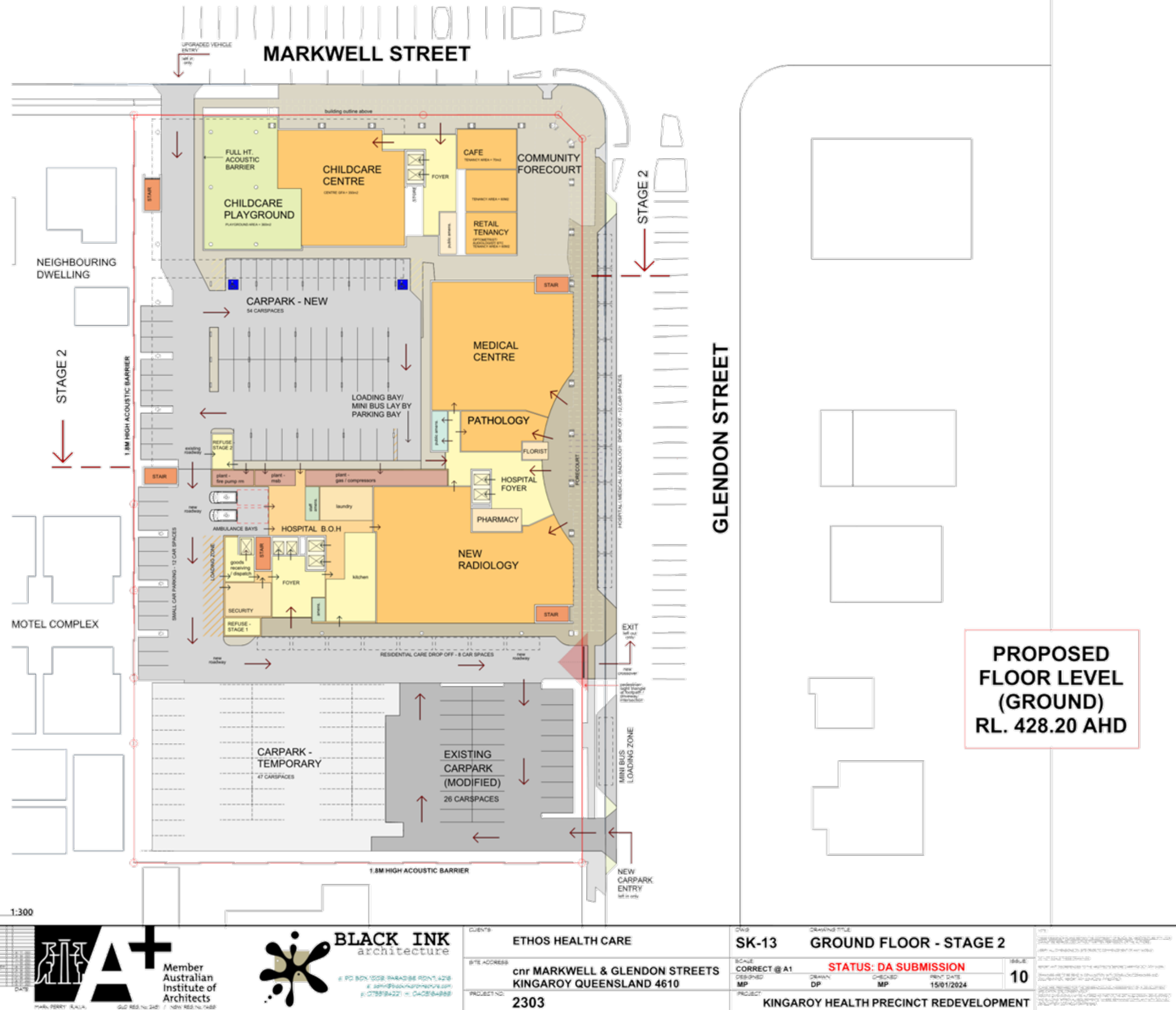
DATE	30/11/2023
DRAWING TITLE	SK-11 LEVEL 5 PLAN - STAGE 1
SCALE	CORRECT @ A1
DESIGNED	MP
DRAWN	DP
CHECKED	MP
PRINT DATE	30/11/2023
PROJECT	KINGAROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	10
DATE	30/11/2023
BY	MP
CHECKED	DP
DATE	30/11/2023



**PROPOSED
FLOOR LEVEL
(LEVEL 6)
RL. 453.40 AHD**

<p>ROOF - STAGE 1 1:300</p> 						<p>CLIENT: ETHOS HEALTH CARE</p> <p>BITE ADDRESS: cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610</p> <p>PROJECT NO: 2303</p>		<p>DWG: SK-12</p> <p>DRAWING TITLE: ROOF PLAN - STAGE 1</p> <p>SCALE: CORRECT @ A1</p> <p>DESIGNED: MP</p> <p>DRAWN: DP</p> <p>CHECKED: MP</p> <p>PRINT DATE: 30/11/2023</p> <p>PROJECT: KINGAROY HEALTH PRECINCT REDEVELOPMENT</p>		<p>STATUS: DA SUBMISSION</p> <p>ISSUE: 10</p>					
<p>AMENDMENTS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DESCRIPTION	DATE				<p>MAN, PERRY, KALKA</p> <p>GLO REG. NO. 2402 / NSW REG. NO. 7488</p>		<p># PO BOX 1008 PARADISE RD N1 4218</p> <p># 2810@blackinkarchitecture.com.au</p> <p># 0755944221 # 040564888</p>		<p>DATE: 30/11/2023</p> <p>BY: MP</p> <p>SCALE: CORRECT @ A1</p> <p>PROJECT: KINGAROY HEALTH PRECINCT REDEVELOPMENT</p>		<p>DATE: 30/11/2023</p> <p>BY: MP</p> <p>SCALE: CORRECT @ A1</p> <p>PROJECT: KINGAROY HEALTH PRECINCT REDEVELOPMENT</p>	
NO.	DESCRIPTION	DATE													





ACCOMMODATION BREAKDOWN

LEVEL 1	STAGE 1	STAGE 2	STAGE 3	TOTAL
PALLIATIVE CARE		13		13
RECOVERY BEDS	8			8
RECOVERY CHAIRS	12			12
INFUSION CHAIRS	16			16
STAFF	10			10
		(TK3 + RN2)		

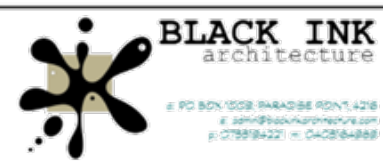
PROPOSED FLOOR LEVEL (LEVEL 1) RL. 432.70 AHD

LEVEL 1 - STAGE 2 1:300



NO.	DESCRIPTION	DATE

AMENDMENTS



CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.	2303

DATE	30/11/2023
DRAWING TITLE	SK-14 LEVEL 1 PLAN - STAGE 2
SCALE	CORRECT @ A1
DESIGNED	MP
DRAWN	DP
CHECKED	MP
STATUS:	DA SUBMISSION
PROJECT	KINGAROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	10
DATE	30/11/2023



ACCOMMODATION BREAKDOWN

LEVEL 2				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	25	22	32	79
DEMENTIA CARE	10			10
PALLIATIVE CARE	10			10
STAFF				10

* NOTE - STAGE 1 PALLIATIVE CARE BEDS REVERT TO AGED CARE BEDS ON COMPLETION OF STAGE 2

PROPOSED FLOOR LEVEL (LEVEL 2) RL. 437.20 AHD

LEVEL 2 - STAGE 2 1:300



NO.	DESCRIPTION	DATE

AMENDMENTS



CLIENT: **ETHOS HEALTH CARE**

BITE ADDRESS: **cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610**

PROJECT NO: **2303**

DWG: **SK-15** DRAWING TITLE: **LEVEL 2 PLAN - STAGE 2**

SCALE: **CORRECT @ A1** STATUS: **DA SUBMISSION**

DESIGNED: **MP** DRAWN: **DP** CHECKED: **MP** PRINT DATE: **30/11/2023**

PROJECT: **KINGAROY HEALTH PRECINCT REDEVELOPMENT**

NO.	DESCRIPTION	DATE

ISSUE: **10**



ACCOMMODATION BREAKDOWN

LEVEL 3				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	41	22	30	93
STAFF		10		10
		(1x3 + 9x2)		

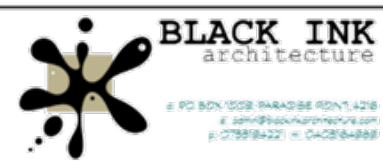
PROPOSED FLOOR LEVEL (LEVEL 3) RL. 441.70 AHD

LEVEL 3 - STAGE 2 1:300



NO.	DESCRIPTION	DATE

AMENDMENTS



CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.	2303

DATE	30/11/2023
DRAWING TITLE	SK-16 LEVEL 3 PLAN - STAGE 2
SCALE	CORRECT @ A1
DESIGNED	MP
DRAWN	DP
CHECKED	MP
STATUS	DA SUBMISSION
PROJECT	KINGAROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	10
DATE	30/11/2023



ACCOMMODATION BREAKDOWN

LEVEL 4				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	41	49	30	120

PROPOSED FLOOR LEVEL (LEVEL 4) RL. 445.60 AHD

LEVEL 4 - STAGE 2 1:300



NO.	DESCRIPTION	DATE

AMENDMENTS



CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGARROY QUEENSLAND 4610
PROJECT NO.	2303

DATE	30/11/2023
DRAWING TITLE	SK-17 LEVEL 4 PLAN - STAGE 2
SCALE	CORRECT @ A1
DESIGNED	MP
DRAWN	DP
CHECKED	MP
STATUS	DA SUBMISSION
PROJECT	KINGARROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	10
DATE	30/11/2023



NDIS CARER ROOM ALLOCATION

CARER #1	ROOMS	N01 - N07 N28 - N30
CARER #2	ROOMS	N08 - N17
CARER #3	ROOMS	N18 - N27
CARER #4	ROOMS	N31 - N40

ACCOMMODATION BREAKDOWN

LEVEL 5

TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
STAFF	3	9		12
NDIS	20	20		40
NDIS CARER	2	2		4

TOTAL - ALL LEVELS

TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	107	93	92	292
DEMENTIA		10		10
PALLIATIVE CARE	10	+2 (HW)		12
RECOVERY BEDS	8			8
RECOVERY CHAIRS	12			12
INFUSION CHAIRS		16		16
STAFF	3	39		42
NDIS	20	20		40
NDIS CARER	2	2		4

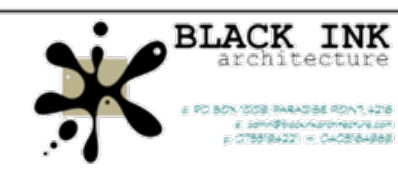
PROPOSED FLOOR LEVEL (LEVEL 5) RL. 449.50 AHD

LEVEL 5 - STAGE 2 1:300



NO.	DESCRIPTION	DATE

AMENDMENTS



CLIENT:	ETHOS HEALTH CARE
BITE ADDRESS:	cnr MARKWELL & GLENDON STREETS KINGAROO QUEENSLAND 4610
PROJECT NO.:	2303

DATE:	30/11/2023
DRAWING TITLE:	SK-18 LEVEL 5 PLAN - STAGE 2
SCALE:	CORRECT @ A1
DESIGNED:	MP
DRAWN:	DP
CHECKED:	MP
PROJECT:	KINGAROO HEALTH PRECINCT REDEVELOPMENT

ISSUE:	10
STATUS:	DA SUBMISSION



ROOF - STAGE 2 1:300



NO.	DESCRIPTION	DATE

Member
Australian
Institute of
Architects

MARK PERRY (AUSA) QLD REG. NO. 240 / NSW REG. NO. 7488

BLACK INK
architecture

PO BOX 1008 PARADISE RD/1.4218
3814@blackinkarchitecture.com.au
075594221 # 042064888

CLIENT:	ETHOS HEALTH CARE
BITE ADDRESS:	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.:	2303

DWG NO.:	SK-19	DRAWING TITLE:	LEVEL 6 (ROOF) - STAGE 2
SCALE:	CORRECT @ A1	STATUS:	DA SUBMISSION
DESIGNED:	MP	DRAWN:	DP
CHECKED:	MP	PRINT DATE:	30/11/2023
PROJECT:	KINGAROY HEALTH PRECINCT REDEVELOPMENT		

ISSUE	10
DATE	30/11/2023



SITE - STAGE 3 1:300



NO.	DESCRIPTION	DATE

Member
Australian
Institute of
Architects

PHAN, PERRY, KALKA, GLO. REG. NO. 242 / NSW REG. NO. 7488

BLACK INK
architecture

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CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.	2303

DATE	15/01/2024
DRAWING TITLE	SK-20 GROUND FLOOR - STAGE 3
SCALE	CORRECT @ A1
DESIGNED	MP
CHECKED	DP
PRINT DATE	15/01/2024
PROJECT	KINGAROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	10
STATUS	DA SUBMISSION

**PROPOSED
FLOOR LEVEL
(GROUND)
RL. 428.20 AHD**



ACCOMMODATION BREAKDOWN

LEVEL 1				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
PALLIATIVE CARE		13		13
RECOVERY BEDS	8			8
RECOVERY CHAIRS	12			12
INFUSION CHAIRS		16		16
STAFF		10		10
		(EX + 9x2)		

PROPOSED FLOOR LEVEL (LEVEL 1) RL. 432.70 AHD

LEVEL 1 - STAGE 3 1:300



NO.	DESCRIPTION	DATE



CLIENT: ETHOS HEALTH CARE
 BITE ADDRESS: cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
 PROJECT NO: 2303

DWG: SK-21
 DRAWING TITLE: LEVEL 1 PLAN - STAGE 3
 SCALE: CORRECT @ A1
 DESIGNED: MP
 DRAWN: DP
 CHECKED: MP
 PRINT DATE: 30/11/2023
 PROJECT: KINGAROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	NO.	DATE	DESCRIPTION



ACCOMMODATION BREAKDOWN

LEVEL 2				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	25	22	32	79
DEMENTIA CARE	10			10
PALLIATIVE CARE	10			SEE NOTE
STAFF		10		10
		(1x3 + 9x2)		

* NOTE - STAGE 1 PALLIATIVE CARE BEDS REVERT TO AGED CARE BEDS ON COMPLETION OF STAGE 2

PROPOSED FLOOR LEVEL (LEVEL 2) RL. 437.20 AHD

LEVEL 2 - STAGE 3 1:300



NO.	DESCRIPTION	DATE



CLIENT: **ETHOS HEALTH CARE**
 SITE ADDRESS: **cnr MARKWELL & GLENDON STREETS KINGARROY QUEENSLAND 4610**
 PROJECT NO: **2303**

CLIENT: **ETHOS HEALTH CARE**
 DRAWING TITLE: **SK-22 LEVEL 2 PLAN - STAGE 3**
 SCALE: **CORRECT @ A1**
 DESIGNED: **MP** DRAWN: **DP** CHECKED: **MP** PRINT DATE: **30/11/2023**
 PROJECT: **KINGARROY HEALTH PRECINCT REDEVELOPMENT**

DATE	DESCRIPTION	BY



ACCOMMODATION BREAKDOWN

LEVEL 3				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	41	22	30	93
STAFF		10		10
		(1x3 + 9x2)		

**PROPOSED FLOOR LEVEL (LEVEL 3)
RL. 441.70 AHD**

LEVEL 3 - STAGE 3 1:300



NO.	DESCRIPTION	DATE



CLIENT: **ETHOS HEALTH CARE**
 SITE ADDRESS: **cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610**
 PROJECT NO: **2303**

DWG: **SK-23** DRAWING TITLE: **LEVEL 3 PLAN - STAGE 3**
 SCALE: **CORRECT @ A1** STATUS: **DA SUBMISSION**
 DESIGNED: **MP** DRAWN: **DP** CHECKED: **MP** PRINT DATE: **30/11/2023**
 PROJECT: **KINGAROY HEALTH PRECINCT REDEVELOPMENT**

ISSUE	NO.	DESCRIPTION	DATE



ACCOMMODATION BREAKDOWN

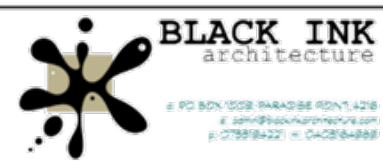
LEVEL 4				
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	41	49	30	120

**PROPOSED FLOOR LEVEL (LEVEL 4)
RL. 445.60 AHD**

LEVEL 4 - STAGE 3 1:300



NO.	DESCRIPTION	DATE



CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.	2303

DATE	30/11/2023
DRAWING TITLE	SK-24 LEVEL 4 PLAN - STAGE 3
SCALE	CORRECT @ A1
DESIGNED	MP
DRAWN	DP
CHECKED	MP
STATUS	DA SUBMISSION
PROJECT	KINGAROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	10
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NDIS CARER ROOM ALLOCATION

CARER #1	ROOMS	N01 - N07 N28 - N30
CARER #2	ROOMS	N08 - N17
CARER #3	ROOMS	N18 - N27
CARER #4	ROOMS	N31 - N40

ACCOMMODATION BREAKDOWN

LEVEL 5

TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
STAFF	3	9		12
NDIS	20	20		40
NDIS CARER	2	2		4

TOTAL - ALL LEVELS

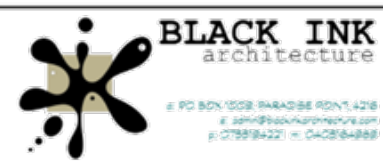
TYPE	STAGE 1	STAGE 2	STAGE 3	TOTAL
RESIDENTIAL CARE	107	93	92	292
DEMENTIA		10		10
PALLIATIVE CARE	10	+2 (NHS)		12
RECOVERY BEDS	8			8
RECOVERY CHAIRS	12			12
INFUSION CHAIRS		16		16
STAFF	3	39		42
NDIS	20	20		40
NDIS CARER	2	2		4

PROPOSED FLOOR LEVEL (LEVEL 5) RL. 449.50 AHD

LEVEL 5 - STAGE 3 1:300



NO.	DESCRIPTION	DATE



CLIENT: ETHOS HEALTH CARE
 SITE ADDRESS: cnr MARKWELL & GLENDON STREETS KINGARROY QUEENSLAND 4610
 PROJECT NO: 2303

DWG: SK-25
 DRAWING TITLE: LEVEL 5 PLAN - STAGE 3
 SCALE: CORRECT @ A1
 DESIGNED: MP
 DRAWN: DP
 CHECKED: MP
 PRINT DATE: 30/11/2023
 PROJECT: KINGARROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	10
DATE	30/11/2023



ROOF - STAGE 3 1:300



NO.	DESCRIPTION	DATE
AMENDMENTS		

Member
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 Institute of
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PHIL PERCY (AUSA) QLD REG. NO. 240 / NSW REG. NO. 7468

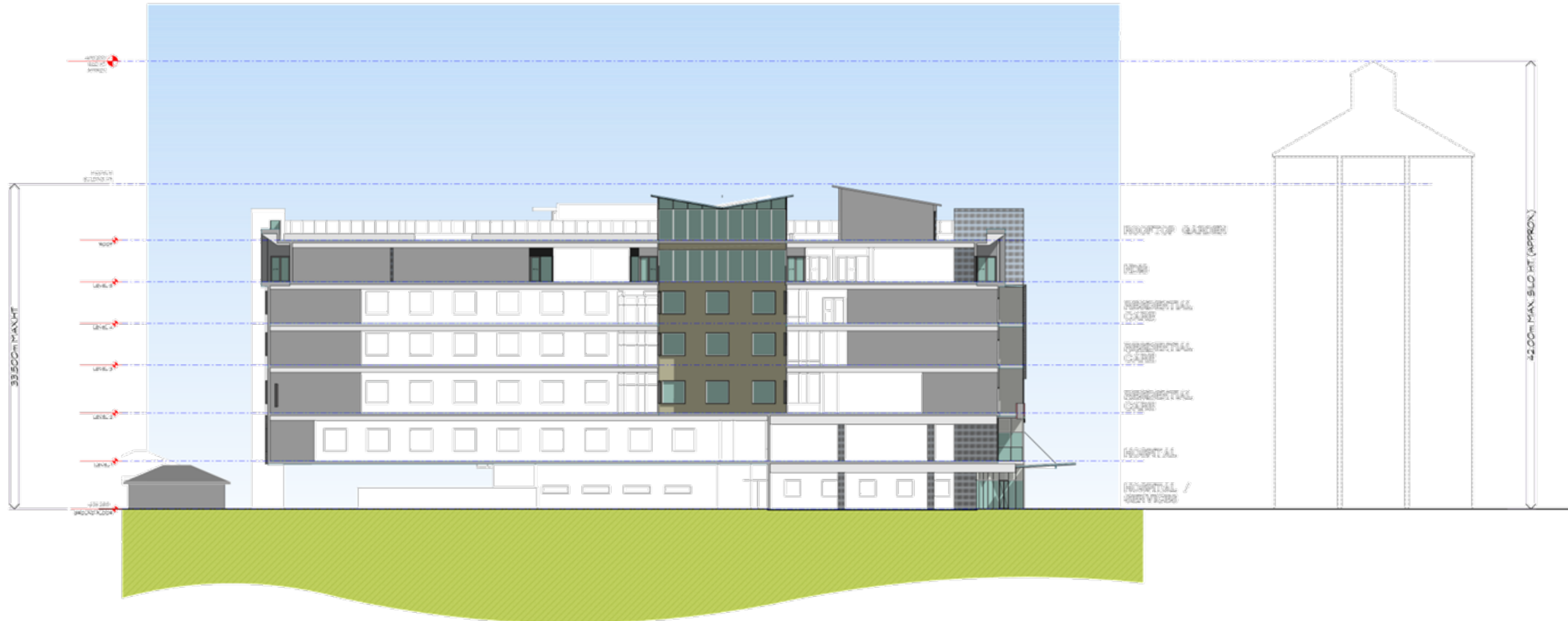
BLACK INK
 architecture

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CLIENT: ETHOS HEALTH CARE
BITE ADDRESS: cnr MARKWELL & GLENDON STREETS
 KINGARROY QUEENSLAND 4610
PROJECT NO.: 2303

DATE: SK-26 **DRAWING TITLE:** ROOF PLAN - STAGE 3
SCALE: CORRECT @ A1 **STATUS:** DA SUBMISSION
 DESIGNED: MP DRAWN: DP CHECKED: MP PRINT DATE: 30/11/2023
PROJECT: KINGARROY HEALTH PRECINCT REDEVELOPMENT

10	ISSUE
	10 ISSUE DESCRIPTION: THIS ISSUE CORRECTS THE DESIGN DRAWING TO REFLECT THE CLIENT'S REQUIREMENTS FOR THE SUBMISSION OF THE DA. THE FOLLOWING CHANGES HAVE BEEN MADE: (1) REVISION 1: CHANGES TO THE CHAPEL AND SERVICES ROOMS. (2) REVISION 2: CHANGES TO THE ROOFTOP GARDEN AREAS. (3) REVISION 3: CHANGES TO THE PLANT ROOMS AND STORES. (4) REVISION 4: CHANGES TO THE STAIRS AND LIFT LOBBIES. (5) REVISION 5: CHANGES TO THE SUNROOM AND MULTI-PURPOSE SPACE. (6) REVISION 6: CHANGES TO THE ROOFTOP GARDEN BELOW. (7) REVISION 7: CHANGES TO THE STAIRS AND LIFT LOBBIES. (8) REVISION 8: CHANGES TO THE STAIRS AND LIFT LOBBIES. (9) REVISION 9: CHANGES TO THE STAIRS AND LIFT LOBBIES. (10) REVISION 10: CHANGES TO THE STAIRS AND LIFT LOBBIES.



SECTION 01



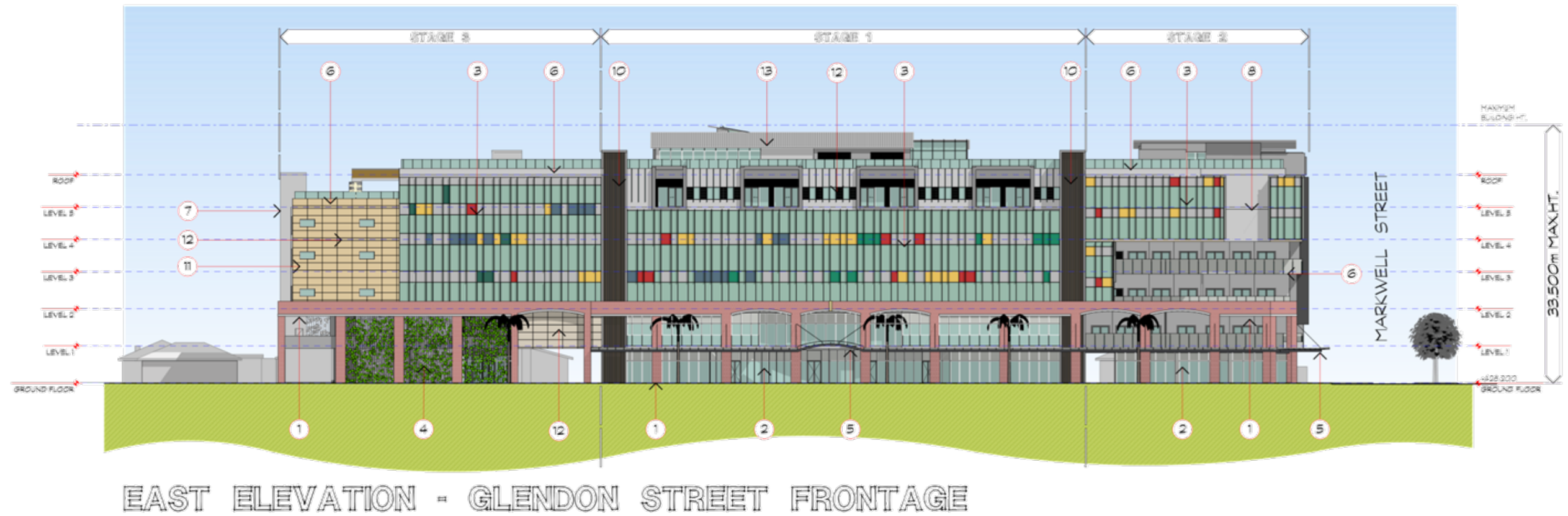
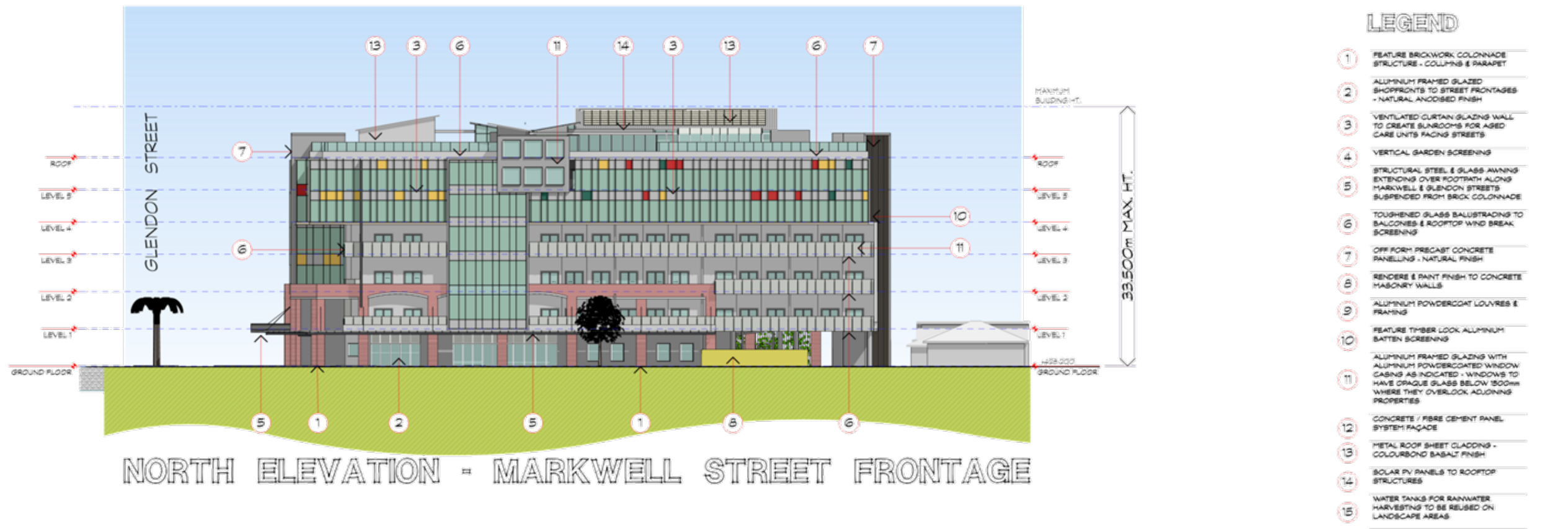
NO.	DESCRIPTION	DATE



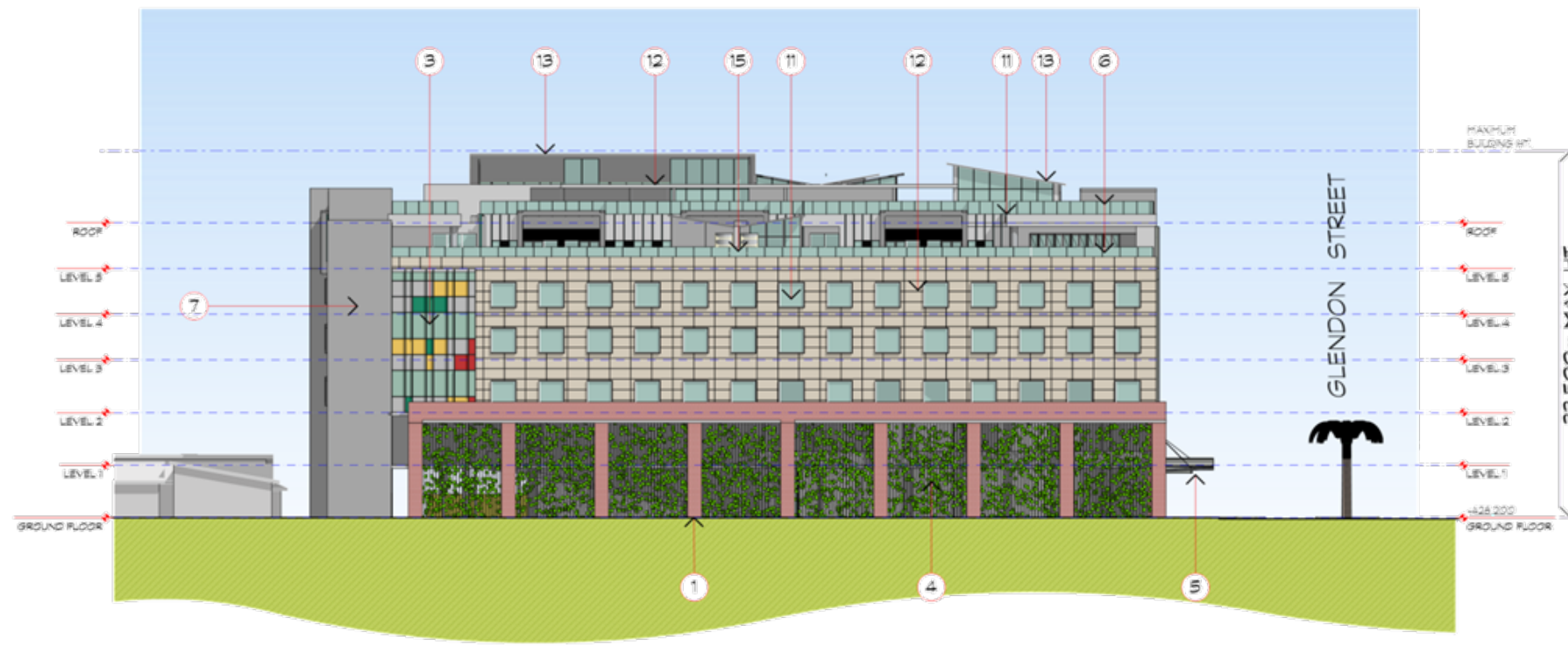
CLIENT:	ETHOS HEALTH CARE
SITE ADDRESS:	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.:	2303

DWG NO:	SK-29	DRAWING TITLE:	SECTION S01
SCALE:	CORRECT @ A1	STATUS:	DA SUBMISSION
DESIGNED:	MP	CHECKED:	MP
DRAWN:	DP	PRINT DATE:	5/10/2023
PROJECT:	KINGAROY HEALTH PRECINCT REDEVELOPMENT		

ISSUE:	09
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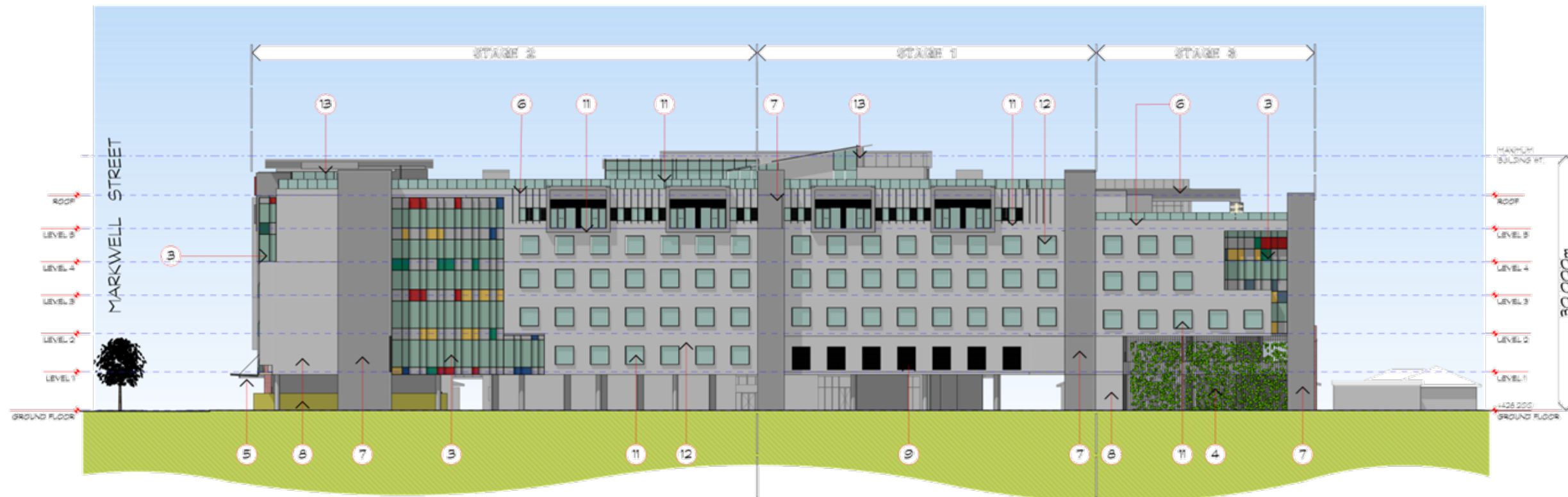
			CLIENTS	ETHOS HEALTH CARE	DWG	SK-30	DRAWING TITLE	ELEVATIONS 1	<small>THIS DRAWING IS THE PROPERTY OF BLACK INK ARCHITECTURE AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BLACK INK ARCHITECTURE. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED. ALL RIGHTS ARE RESERVED. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HERSELF. THE ARCHITECT DOES NOT ACCEPT LIABILITY FOR ANY CONSEQUENTIAL DAMAGES OR LOSS OF PROFITS OR BUSINESS INTERRUPTIONS. THE ARCHITECT'S SERVICES ARE PROVIDED ON AN 'AS IS' BASIS AND WITHOUT WARRANTY, EXPRESS OR IMPLIED. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HERSELF. THE ARCHITECT DOES NOT ACCEPT LIABILITY FOR ANY CONSEQUENTIAL DAMAGES OR LOSS OF PROFITS OR BUSINESS INTERRUPTIONS.</small>
			SITE ADDRESS cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610 PROJECT NO: 2303	SCALE CORRECT @ A1 DESIGNED MP PROJECT	STATUS: DA SUBMISSION DRAWN DP CHECKED MP PRINT DATE 5/10/2023	ISSUE 09			



SOUTH ELEVATION

LEGEND

- 1 FEATURE BRICKWORK COLONNADE STRUCTURE - COLUMNS & PARAPET
- 2 ALUMINIUM FRAMED GLAZED SHOPFRONTS TO STREET FRONTAGES - NATURAL ANODISED FINISH
- 3 VENTILATED CURTAIN GLAZING WALL TO CREATE SUNROOMS FOR AGED CARE UNITS FACING STREETS
- 4 VERTICAL GARDEN SCREENING
- 5 STRUCTURAL STEEL & GLASS AWNING EXTENDING OVER FOOTPATH ALONG MARKWELL & GLENDON STREETS SUSPENDED FROM BRICK COLONNADE
- 6 TOUGHENED GLASS BALUSTRADES TO BALCONIES & ROOFTOP WIND BREAK SCREENINGS
- 7 OFF FORM PRECAST CONCRETE PANELLING - NATURAL FINISH
- 8 RENDER & PAINT FINISH TO CONCRETE MASONRY WALLS
- 9 ALUMINIUM POWDERCOAT LOUVRES & FRAMING
- 10 FEATURE TIMBER LOOK ALUMINIUM BATTEN SCREENINGS
- 11 ALUMINIUM FRAMED GLAZING WITH ALUMINIUM POWDERCOATED WINDOW CASINGS AS INDICATED - WINDOWS TO HAVE CRAGLE GLASS BELOW 1500mm WHERE THEY OVERLOOK ADJOINING PROPERTIES
- 12 CONCRETE / FIBRE CEMENT PANEL SYSTEM FACADE
- 13 METAL ROOF SHEET GLAZING - COLOURBOND BASALT FINISH
- 14 SOLAR PV PANELS TO ROOFTOP STRUCTURES
- 15 WATER TANKS FOR RAINWATER HARVESTING TO BE REUSED ON LANDSCAPE AREAS



WEST ELEVATION



NO.	DESCRIPTION	DATE
001	AMENDMENTS	



CLIENTS	ETHOS HEALTH CARE
BITE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.	2303

DATE	5/10/2023
DRAWING TITLE	SK-31 ELEVATIONS 2
SCALE	CORRECT @ A1
DESIGNED	MP
CHECKED	DP
PRINT DATE	5/10/2023
PROJECT	KINGAROY HEALTH PRECINCT REDEVELOPMENT

ISSUE	09
DATE	5/10/2023
BY	MP
CHECKED	DP
PROJECT	KINGAROY HEALTH PRECINCT REDEVELOPMENT

GROUND FLOOR LANDSCAPE CONCEPT PLAN



LANDSCAPE INTENT AND DESIGN OBJECTIVES

- 1 STREETScape INCLUDING COMMUNITY FORECOURT**
 Objective is to reinvigorate footpaths and public space to the Markwell and Glendon Street corner along with street lighting to contribute to a vibrant town centre and as described in the Kingaroy Centre Retail Design Guide by South Burnett Regional Council (SBRC). Provide new street trees to the road reserves adjacent to the subject site so as to improve the streetscape amenity including visual and climatic amenity, as well as provide primary shade over the road reserve of the proposed development. Proposed street trees are to be drought hardy and frost tolerant and as recommended in SBRC's Branching Out - Guide to tree Planting in the South Burnett; Refer Proposed Planting Schedule (ie: Cupaniopsis parvifolia, Stenocarpus sinuatus, Tristaniopsis laurina)
 - 2 COLUMNAR SCREEN TREES TO BOUNDARIES**
 Objective of these columnar dense screen trees to boundaries is to provide climatic amenity (where relevant) from western sun, to provide visual amenity and softening of the proposed building when viewed from neighbouring residential properties as well as maintain privacy for adjacent residences. Proposed columnar trees to be low maintenance, require little pruning given the limited space, and be species not known for their invasive root systems; Refer to Proposed Planting Schedule (ie: Elaeocarpus eumundii, Tristaniopsis laurina Luscolous)
 - 3 COLUMNAR SCREEN PLANTING**
 Objective of the dense screen planting of columnar nature to boundaries is to provide visual amenity for the neighbouring residential uses, and to soften the proposed building as well as maintain privacy for adjacent residences. Further, such planting is to soften the visual impact of the proposed acoustic barrier and provide increased amenity to the carpark. Ensure irrigation of these areas; Refer Proposed Planting Schedule (ie: Michelia figo, Syzygium australe Straight and Narrow)
 - 4 UNDERCROFT CLIMBERS TO WIRE TRELLIS**
 Objective of this is to have significant vegetated screening to the carpark undercroft so as to provide visual amenity for the users of the carpark. The proposed climber species must be low maintenance yet vigorous to cover the nominated area, and should be the appropriate species to accommodate low light levels on the southern side of the proposed building, as well as the hot sun on the western side of the proposed building. Allow for irrigation of these climbers so as to ensure longevity and mature heights are achieved. Proposed trellis structure to be stainless steel cabling structure; Refer Proposed Planting Schedule (ie: Cissus antarctica, Trachelospermum jasminoides)
 - 5 GROUND FLOOR MASS PLANTING**
 Objective of this planting is to provide dense and layered mass planting to ground floor planting areas including species capable of tolerating low light levels, so as to provide visual interest and amenity. Ensure feature planting through to provide interest and visual points of references. Plant choices to be shade tolerant and resilient. Supply plants with irrigation and fertigation; Refer Proposed Planting Schedule
- PROPOSED SCREEN / ACOUSTIC FENCE
 To future detail
 - EXISTING TREES - RETAINED
 Refer Existing Tree Schedule
 - EXISTING TREES - REMOVED
 Refer Existing Tree Schedule

ANDREW GOLD LANDSCAPE ARCHITECTURE
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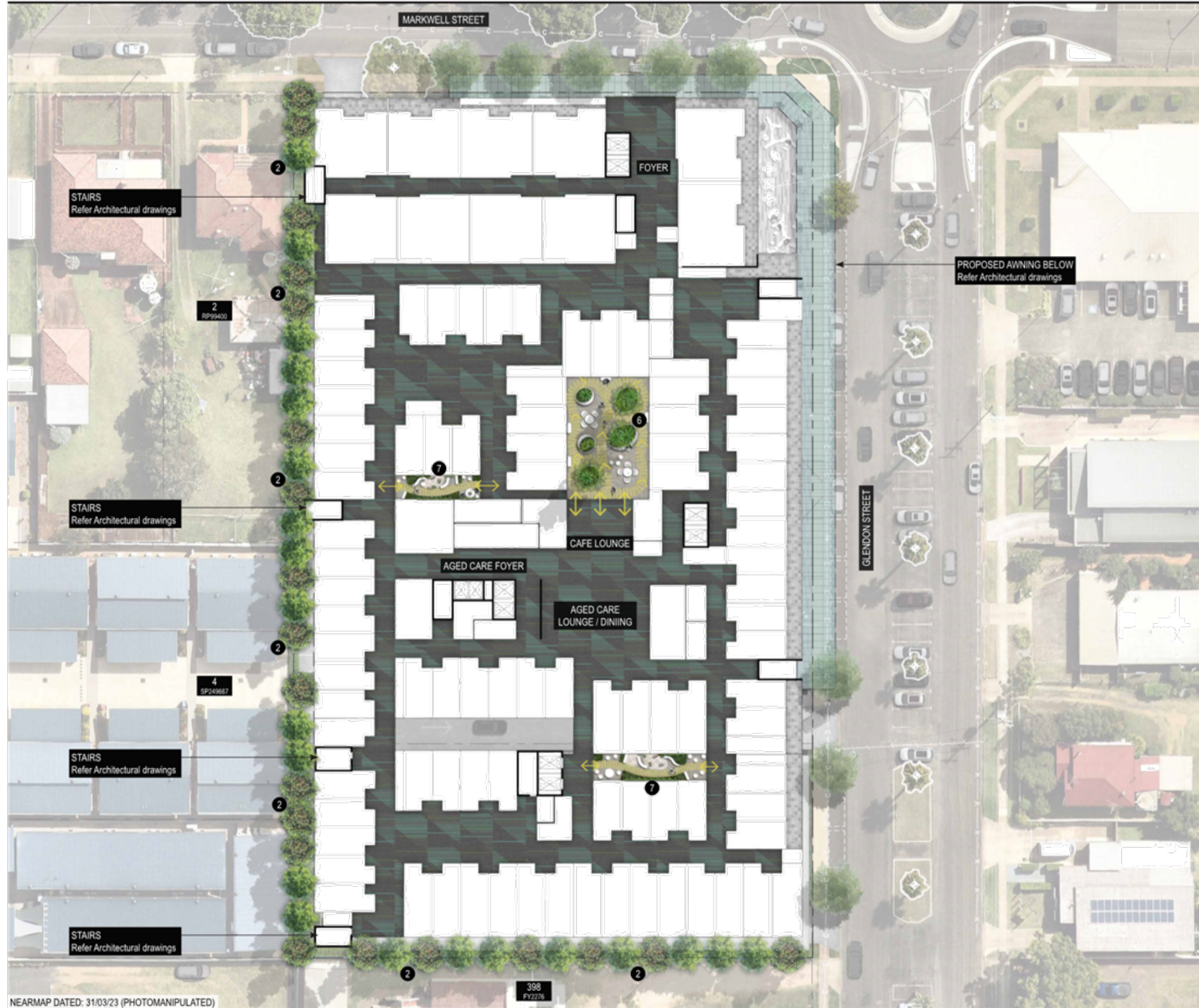
PROPOSED KINGAROY HEALTH PRECINCT REDEVELOPMENT
 CNR MARKWELL & GLENDON ST,
 KINGAROY

JOB NUMBER 23.223 SHEET NO. 2 ISSUE B DATE 11/10/23 DRAWN BY AG / HF

1:600@A3
 0 2 4 6 8 20 30m



LEVEL 2 LANDSCAPE CONCEPT PLAN



LANDSCAPE INTENT AND DESIGN OBJECTIVES

- 6 MAIN LIGHT WELL DESIGN OBJECTIVES**
Objective of this space is to create a visually pleasing green space so as to be an internal park/break out space for movement and light physical exercise, have access to fresh air, walk, and sit with visiting family and friends.
 - Spatial demand to maximise area for occupants over large planting areas
 - Users will be sitting in wheelchairs, walkers or external non-fixed seating for flexibility
 - Priority on a walking circuit/s with rest stops and passive opportunities throughout
 - Clearance for pathways to be minimum 1.5m wide
 - Any fixed seating will be considered and located so as to minimise impacts on physically challenged users
 - All planting is contained in podium planters
 - Plant height including small trees should not exceed 5m (ie. max of one floor above planter location) at full maturation
 - Podium planters for small trees must be minimum of 6m² and podium height to be 1200mm
 - All other podium planters to be 600mm for small shrubs and groundcovers, and 800mm for large shrubs
 - All podium planters to be drained to stormwater and/or recycled irrigation water reuse
 - Plant choices to be shade tolerant, resilient, and supplied with irrigation and fertigation

- 7 SECONDARY LIGHT WELL DESIGN OBJECTIVES**
Objective of this space is to create a visually pleasing secondary green spaces to the main light well, appropriate for an additional break out space and passive recreational opportunities with other residence users, visiting family and friends.
 - Japanese garden type planting concepts that enable small private sitting/table spaces for outdoor chess etc.
 - To be visually pleasing when viewed from within and from above
 - Clearance for pathways to be minimum 1.5m wide
 - Consideration should be given to controlled green wall planting opportunities as an alternative to large plants. Provision of greenwalls through self-contained vertical grow pods on walls to add to visual amenity, similar to non-soil based pods/orchard grow systems proposed elsewhere within the building
 - All podium planters to be 600mm for small shrubs and groundcovers, and 800mm for large shrubs
 - All podium planters to be drained to stormwater and/or recycled irrigation water reuse
 - Plant choices to be shade tolerant, resilient, and supplied with irrigation and fertigation



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PROPOSED KINGAROY HEALTH PRECINCT REDEVELOPMENT
CNR MARKWELL & GLENDON ST,
KINGAROY

JOB NUMBER 23.223 SHEET NO. 4 ISSUE B DATE 11/10/23 DRAWN BY AG / HF



LEVEL 5 LANDSCAPE CONCEPT PLAN



LANDSCAPE INTENT AND DESIGN OBJECTIVES

- 8
NDIS LEVEL 5 - ROOFTOP GARDEN AREA
 Large multi functional rooftop space to provide outdoor passive recreational opportunities for NDIS residents, staff, family and friends, and visitors within the climatic and maintenance limitations of such an appropriate space given the use. Site appropriate limited active recreational opportunities through exercise via walking circuit's.
 - Fully covered gazebo area to provide cover during inclement weather, and protection from sun
 - Wind/sound barriers are required to the edges
 - Given significant wind, climatic and maintenance issues along with leaf, seed and flower drop posing a risk for NDIS residents, no trees are proposed
 - Temperature control can be enhanced by including garden misters in planter areas that can be circulated using natural airflow to reduce ambient temperatures
 - Priority on a walking circuit's with rest stops and passive opportunities throughout
 - Seating areas to provide breakout, outdoor passive recreational opportunities. Users will be sitting in wheelchairs, walkers or external non-fixed seating for flexibility
 - Use of umbrellas to create removable sun protection in seating areas
 - Pathways for NDIS residents need to accommodate any physical limitations or equipment, minimum 2m wide
 - Seating and tables and walking paths need to be accessible by residents in wheelchairs and other assistance tools (ie: Walkers)
 - Provision of greenwalls through self-contained vertical grow pods on walls to add to visual amenity, similar to non-soil based pods/orchard grow systems proposed elsewhere within the building
 - All podium planters to be drained to stormwater and/or recycled irrigation water reuse
 - All podium planters to be 600mm for small shrubs and groundcovers, and 800mm for large shrubs
 - Plant choices to be shade tolerant, resilient, and supplied with irrigation and fertigation

↔ PEDESTRIAN ENTRY / EXIT POINTS

▨ PEDESTRIAN CIRCULATION

NEARMAP DATED: 31/03/23 (PHOTOMANIPULATED)

398
FY2278

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PROPOSED KINGAROY HEALTH PRECINCT REDEVELOPMENT
CNR MARKWELL & GLENDON ST,
KINGAROY

JOB NUMBER 23.223 SHEET NO. 6 ISSUE B DATE 11/10/23 DRAWN BY AG / HF



ROOFTOP LANDSCAPE CONCEPT PLAN



LANDSCAPE INTENT AND DESIGN OBJECTIVES

- 9 MAIN ROOFTOP GARDEN LEVEL**
 Very large multi functional rooftop space to provide outdoor passive recreational opportunities for residents, staff, family and friends visitors within the climatic and maintenance limitations of such an appropriate space given the use. Site appropriate limited active recreational opportunities through exercise via walking circuit/s
 - Clearance for pathways to be minimum 1.5m wide
 - Priority on a walking circuit/s with rest stops and passive opportunities throughout
 - Seating areas to provide breakout, outdoor passive recreational opportunities. Users will be sitting in wheelchairs, walkers or external non-fixed seating for flexibility
 - Use of umbrellas to create removable sun protection in seating areas
 - Seating and tables and walking paths need to be accessible by residents in wheelchairs and other assistance tools (ie: Walkers)
 - Given significant wind, climatic and maintenance issues along with leaf, seed and flower drop posing a risk for NDIS residents, no trees are proposed
 - Temperature control can be enhanced by including garden misters in planter areas that can be circulated using natural airflow to reduce ambient temperatures
 - All podium planters to be 600mm for small shrubs and groundcovers, and 800mm for large shrubs
 - All podium planters to be drained to stormwater and/or recycled irrigation water reuse
 - Plant choices to be shade tolerant, resilient, and supplied with irrigation and fertigation

↔ PEDESTRIAN ENTRY / EXIT POINTS

▨ PEDESTRIAN CIRCULATION

NEARMAP DATED: 31/03/23 (PHOTOMANIPULATED)

ANDREW GOLD LANDSCAPE ARCHITECTURE
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PROPOSED KINGAROY HEALTH PRECINCT REDEVELOPMENT
 CNR MARKWELL & GLENDON ST,
 KINGAROY

JOB NUMBER 23.223 SHEET NO. 8 ISSUE B DATE 11/10/23 DRAWN BY AG / HF

1:600@A3
 0 2 4 6 8 20 30m



LANDSCAPE SECTION

SECTION - A
SCALE 1:150 @ A3



LANDSCAPE INTENT AND DESIGN OBJECTIVES

- 2** COLUMNAR SCREEN TREES TO BOUNDARIES
Objective of these columnar dense screen trees to boundaries is to provide climatic amenity (where relevant) from western sun, to provide visual amenity and softening of the proposed building when viewed from neighbouring residential properties as well as maintain privacy for adjacent residences. Proposed columnar trees to be low maintenance, require little pruning given the limited space, and be species not known for their invasive root systems; Refer to Proposed Planting Schedule (ie: *Elaeocarpus eumundii*, *Tristaniopsis laurina* *Luscious*)
- 3** COLUMNAR SCREEN PLANTING
Objective of the dense-screen planting of columnar nature to boundaries is to provide visual amenity for the neighbouring residential uses, and to soften the proposed building as well as maintain privacy for adjacent residences. Further, such planting is to soften the visual impact of the proposed acoustic barrier and provide increased amenity to the carpark. Ensure irrigation of these areas; Refer Proposed Planting Schedule (ie: *Michelia figo*, *Syzygium australe* *Straight and Narrow*)
- 4** UNDERCROFT CLIMBERS TO WIRE TRELLIS
Objective of this is to have significant vegetated screening to the carpark undercroft so as to provide visual amenity for the users of the carpark. The proposed climber species must be low maintenance yet vigorous to cover the nominated area, and should be the appropriate species to accommodate low light levels on the southern side of the proposed building, as well as the hot sun on the western side of the proposed building. Allow for irrigation of these climbers so as to ensure longevity and mature heights are achieved. Proposed trellis structure to be stainless steel cabling structure; Refer Proposed Planting Schedule (ie: *Cissus antarctica*, *Trachelospermum jasminoides*)
- 5** GROUND FLOOR MASS PLANTING
Objective of this planting is to provide dense and layered mass planting to ground floor planting areas including species capable of tolerating low light levels, so as to provide visual interest and amenity. Ensure feature planting through to provide interest and visual points of references. Plant choices to be shade tolerant and resilient. Supply plants with irrigation and fertigation; Refer Proposed Planting Schedule

ANDREW GOLD LANDSCAPE ARCHITECTURE
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PROPOSED KINGAROY HEALTH PRECINCT REDEVELOPMENT
CNR MARKWELL & GLENDON ST,
KINGAROY

JOB NUMBER 23.223 SHEET NO. 9 ISSUE B DATE 11/10/23 DRAWN BY AG / HF

1:150@A3
0 1 2 3 4 5 7.5m



LANDSCAPE ELEVATIONS

SOUTH ELEVATION

SCALE 1:500 @ A3



PROPOSED SCREEN / ACOUSTIC FENCE
To future detail

LANDSCAPE INTENT AND DESIGN OBJECTIVES

- 1** STREETScape INCLUDING COMMUNITY FORECOURT
Objective is to reinvigorate footpaths and public space to the Markwell and Glendon Street corner along with street lighting to contribute to a vibrant town centre and as described in the Kingaroy Centre Retail Design Guide by South Burnett Regional Council (SBRC). Provide new street trees to the road reserves adjacent to the subject site so as to improve the streetscape amenity including visual and climatic amenity, as well as provide primary shade over the road reserve of the proposed development. Proposed street trees are to be drought hardy and frost tolerant and as recommended in SBRC's Branching Out - Guide to tree Planting in the South Burnett; Refer Proposed Planting Schedule (ie: *Cupaniopsis parvifolia*, *Stenocarpus sinuatus*, *Tristaniopsis laurina*)
- 2** COLUMNAR SCREEN TREES TO BOUNDARIES
Objective of these columnar dense screen trees to boundaries is to provide climatic amenity (where relevant) from western sun, to provide visual amenity and softening of the proposed building when viewed from neighbouring residential properties as well as maintain privacy for adjacent residences. Proposed columnar trees to be low maintenance, require little pruning given the limited space, and be species not known for their invasive root systems; Refer to Proposed Planting Schedule (ie: *Elaeocarpus eumundii*, *Tristaniopsis laurina* Luscious)
- 3** COLUMNAR SCREEN PLANTING
Objective of the dense screen planting of columnar nature to boundaries is to provide visual amenity for the neighbouring residential uses, and to soften the proposed building as well as maintain privacy for adjacent residences. Further, such planting is to soften the visual impact of the proposed acoustic barrier and provide increased amenity to the carpark. Ensure irrigation of these areas; Refer Proposed Planting Schedule (ie: *Michelia figo*, *Syzygium australe* Straight and Narrow)

ANDREW GOLD LANDSCAPE ARCHITECTURE
PO BOX 5220, MT GRAVATT EAST QLD 4122
T 07 3420 0006 M 0405 389 243 E andrew@agla.com.au

PROPOSED KINGAROY HEALTH PRECINCT REDEVELOPMENT
CNR MARKWELL & GLENDON ST,
KINGAROY

JOB NUMBER 23.223 SHEET NO. 10 ISSUE B DATE 11/10/23 DRAWN BY AG / HF

1:150@A3
0 1 2 3 4 5 7.5m



LANDSCAPE ELEVATIONS

WEST ELEVATION

SCALE 1:500 @A3



PROPOSED SCREEN / ACOUSTIC FENCE
To future detail

LANDSCAPE INTENT AND DESIGN OBJECTIVES

- 1 **STREETSCAPE INCLUDING COMMUNITY FORECOURT**
Objective is to reinvigorate footpaths and public space to the Markwell and Glendon Street corner along with street lighting to contribute to a vibrant town centre and as described in the Kingaroy Centre Retail Design Guide by South Burnett Regional Council (SBRC). Provide new street trees to the road reserves adjacent to the subject site so as to improve the streetscape amenity including visual and climatic amenity, as well as provide primary shade over the road reserve of the proposed development. Proposed street trees are to be drought hardy and frost tolerant and as recommended in SBRC's Branching Out - Guide to tree Planting in the South Burnett; Refer Proposed Planting Schedule (ie: *Cupaniopsis parvifolia*, *Stenocarpus sinuatus*, *Tristaniopsis laurina*)
- 2 **COLUMNAR SCREEN TREES TO BOUNDARIES**
Objective of these columnar dense screen trees to boundaries is to provide climatic amenity (where relevant) from western sun, to provide visual amenity and softening of the proposed building when viewed from neighbouring residential properties as well as maintain privacy for adjacent residences. Proposed columnar trees to be low maintenance, require little pruning given the limited space, and be species not known for their invasive root systems; Refer to Proposed Planting Schedule (ie: *Elaeocarpus eumundii*, *Tristaniopsis laurina* Luscious)
- 3 **COLUMNAR SCREEN PLANTING**
Objective of the dense screen planting of columnar nature to boundaries is to provide visual amenity for the neighbouring residential uses, and to soften the proposed building as well as maintain privacy for adjacent residences. Further, such planting is to soften the visual impact of the proposed acoustic barrier and provide increased amenity to the carpark. Ensure irrigation of these areas; Refer Proposed Planting Schedule (ie: *Michelia figo*, *Syzygium australe* Straight and Narrow)

ANDREW GOLD LANDSCAPE ARCHITECTURE
PO BOX 5220, MT GRAVATT EAST QLD 4122
T 07 3420 0006 M 0405 389 243 E andrew@agla.com.au

PROPOSED KINGAROY HEALTH PRECINCT REDEVELOPMENT
CNR MARKWELL & GLENDON ST,
KINGAROY

JOB NUMBER 23.223 SHEET NO. 12 ISSUE B DATE 11/10/23 DRAWN BY AG / HF

1:150@A3
0 1 2 3 4 5 7.5m



RA6-N



SARA reference: 2310-37472 SRA
Council reference: MCU23/0024

12 January 2024

Chief Executive Officer
South Burnett Regional Council
PO Box 336
KINGAROY QLD 4610
info@southburnett.qld.gov.au

Attention: Ms Sam Dunstan

Dear Ms Dunstan

SARA referral agency response—7, 9 11 & 15 Glendon Street and 25 & 31 Markwell Street, KINGAROY (Lot 1 on RP42037, Lots 2 & 3 on RP7925, Lots 4 & 5 on SP146001 and Lot 1 on RP57027)

(Referral agency response given under Section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 31 October 2023.

Response

Outcome:	Referral agency response – with conditions
Date of response:	12 January 2024
Conditions:	The conditions in Attachment 1 must be attached to any development approval
Advice:	Advice to the applicant is in Attachment 2
Reasons:	The reasons for the referral agency response are in Attachment 3

Development details

Description:	Development Permit	Material Change of Use
		<ul style="list-style-type: none"> - Child care centre (50 enrolments) - Hospital (plus 42 x ancillary short-term staff accommodation, café and florist) - Residential care facility (general care units, NDIS units, palliative care units and dementia care units) - Health care service (> 500m²)
SARA role:	Referral agency	
SARA triggers:	Schedule 10, Part 9, Division 4, Subdivision 1, Table 1, Item 1 (Planning Regulation 2017) – Development impacting on State transport infrastructure and thresholds	
	Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1 (Planning Regulation 2017) – Material change of use of premises near a State transport corridor	
SARA reference:	2310-37472 SRA	
Assessment manager:	South Burnett Regional Council	
Street address:	7, 9 11 & 15 Glendon Street and 25 & 31 Markwell Street, Kingaroy	
Real property description:	Lot 1 on RP42037, Lots 2 & 3 on RP7925, Lots 4 & 5 on SP146001 and Lot 1 on RP57027	
Applicant name:	Isaac Consulting Pty Ltd	
Applicant contact details:	2/47 Warner Street FORTITUDE VALLEY QLD 4005 james@isaacconsulting.com.au	
<i>Human Rights Act 2019</i> considerations:	A consideration of the 23 fundamental human rights protected under the <i>Human Rights Act 2019</i> has been undertaken as part of this decision. It has been determined that this decision does not limit human rights.	

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules). Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Peter Mulcahy, Principal Planning Officer, on (07) 3307 6152 or via email WBBSARA@dildgp.qld.gov.au who will be pleased to assist.

2310-37472 SRA

Yours sincerely



Alyssa Cameron
Executive Director, Planning and Development Services

- cc Isaac Consulting Pty Ltd
james@isaacconsulting.com.au
- enc Attachment 1 - Referral agency conditions
Attachment 2 - Advice to the applicant
Attachment 3 - Reasons for referral agency response
Attachment 4 - Representations about a referral agency response provisions
Attachment 5 - Documents referenced in conditions

Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (Copies of the documents referenced below are found at Attachment 5)

No.	Conditions	Condition timing							
<p>Development Permit for Material Change of Use – Child care centre (50 enrolments), Hospital (plus 42 x ancillary short-term staff accommodation, café and florist), Residential care facility (general care units, NDIS units, palliative care units and dementia care units) and Health care service (> 500m²)</p>									
<p>Schedule 10, Part 9, Division 4, Subdivision 1, Table 1, Item 1 and Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1—The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following conditions:</p>									
<p>1.</p>	<p>Noise attenuation measures to achieve the following noise criteria must be provided for each applicable use:</p> <table border="1" data-bbox="359 806 1077 1086"> <thead> <tr> <th data-bbox="359 806 718 840">Applicable use</th> <th data-bbox="718 806 1077 840">Noise Criteria</th> </tr> </thead> <tbody> <tr> <td data-bbox="359 840 718 896">Short term accommodation units, staff accommodation.</td> <td data-bbox="718 840 1077 929" rowspan="4">less than or equal to 35 dB (A)Leq (1 hour) (maximum hour over 24 hours)</td> </tr> <tr> <td data-bbox="359 896 718 974">Indoor education areas and indoor play areas in the childcare centre.</td> </tr> <tr> <td data-bbox="359 974 718 1030">Sleeping rooms in the childcare centre.</td> </tr> <tr> <td data-bbox="359 1030 718 1086">Patient care areas in the hospital.</td> </tr> </tbody> </table>	Applicable use	Noise Criteria	Short term accommodation units, staff accommodation.	less than or equal to 35 dB (A)Leq (1 hour) (maximum hour over 24 hours)	Indoor education areas and indoor play areas in the childcare centre.	Sleeping rooms in the childcare centre.	Patient care areas in the hospital.	<p>Prior to commencement of the use for the relevant stage and to be maintained at all times.</p>
Applicable use	Noise Criteria								
Short term accommodation units, staff accommodation.	less than or equal to 35 dB (A)Leq (1 hour) (maximum hour over 24 hours)								
Indoor education areas and indoor play areas in the childcare centre.									
Sleeping rooms in the childcare centre.									
Patient care areas in the hospital.									
<p>2.</p>	<p>Balconies, podiums and roof decks must include:</p> <ul style="list-style-type: none"> (a) a continuous solid gap free structure or balustrade (excluding gaps required for drainage purposes to comply with the Building Code of Australia); (b) highly acoustically absorbent material treatment for the total area of the soffit above balconies, podiums and roof decks. 	<p>Prior to commencement of the use for the relevant stage and to be maintained at all times.</p>							
<p>3.</p>	<ul style="list-style-type: none"> (a) Provide dedicated passenger loading zones and part of hours parking parallel to the kerb at the locations shown on the following drawings: <ul style="list-style-type: none"> • <i>Ground Floor – Stage 1</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-06, Issue 10 (as amended in red by SARA on 12 January 2024); • <i>Ground Floor – Stage 2</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-13, Issue 10 (as amended in red by SARA on 12 January 2024) and • <i>Ground Floor – Stage 3</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-20, Issue 10 (as amended in red by SARA on 12 January 2024). (b) Each passenger loading zone and parking allocation in part (a) of this condition, must be designed and constructed to include the following: <ul style="list-style-type: none"> (i) Part of hours parking zones and passenger loading zones, with the following minimum vehicle capacities: 	<ul style="list-style-type: none"> (a) Prior to the commencement and, where on the site, to be maintained at all times for Stages 1 to 3. (b) Prior to the commencement and, where on the site, to be maintained at all times for Stages 							

No.	Conditions	Condition timing
	<ul style="list-style-type: none"> • the parking of 1 x 25 seater mini-bus of 7.7m in length and 1 x wheelchair accessible taxi, parallel to kerb, with entry and exit tapers adjacent to the on-site foyer, north of the internal roadway; • the parking of 1 x 25 seater mini-bus of 7.7m in length parallel to kerb, with entry and exit tapers adjacent to the on-site foyer, south of the internal roadway; • the parking of 4 x B99 standard vehicles in total, parallel to kerb, in one continuous zone with entry and exit tapers adjacent to the new radiology on the northern side of the internal roadway; • the parking of 7 x B99 standard vehicles and 1 x wheelchair accessible taxi in total, parallel to kerb, in demarcated parking bays except for P 2 minute passenger loading zones which should be continuous, with entry and exit tapers, as required, adjacent to the Glendon Street frontage of the hospital; <p>(ii) the wheelchair accessible parking bays in part b(i) designated by signage and pavement marking in accordance with:</p> <ul style="list-style-type: none"> • AS1428.1 – Design for access and mobility; • AS2890.6 – Parking Facilities, Part 6: Off-street parking for people with disabilities; • Chapter 7 – Taxi Facilities of the <i>Public Transport Infrastructure Manual 2015</i>; and • the Disability Standards for Accessible Public Transport 2002 – subsection 31(1) of the <i>Disability Discrimination Act 1992</i>; • the disability only user limitation requirements in Section 3.3.4 of AS1742.11 – Manual of uniform traffic control devices, Part 11: Parking controls; <p>(iii) passenger loading zone signs – R5-23 (passengers – 2 minute or 10 minute for the 3 x demarcated parking bays north of the hospital foyer), placed at either end of the zone, and line marking in accordance with AS1742.11 – Manual of uniform traffic control devices, Part 11: Parking controls and the Queensland Manual of Uniform Traffic Control Devices, Part 11: Traffic Controls, namely Figure C2.2;</p> <p>(iv) Part of hours parking signs – R5-15 (¼P), placed at either end of each wheelchair accessible parking bay and each setdown facility with capacity for a 25-seater mini-bus and line marking in accordance with AS1742.11 – Manual of uniform traffic control devices, Part 11: Parking controls;</p> <p>(v) lighting in accordance with AS/NZS 1158.3.1 – Lighting for Roads and Public Spaces, Part 3.1: Pedestrian Area (Category P) Lighting – Performance and Design Requirements; and</p>	<p>1 to 3.</p>

No.	Conditions	Condition timing
	<p>(vi) access and hardstand, and shelter with seats, for waiting and boarding/alighting passengers.</p> <p>(c) Provide Registered Professional Engineer of Queensland (RPEQ) certification, with supporting documentation, to the Program Delivery and Operations Unit, Wide Bay Burnett Region within the Department of Transport and Main Roads (Wide.Bay.Burnett.IDAS@tmr.qld.gov.au) confirming that the development has been designed and constructed in accordance with parts (a) and (b) of this condition.</p>	<p>(c) Prior to the commencement of use for Stages 1 to 3.</p>
4.	<p>(a) Provide a dedicated taxi rank parallel to the kerb at the locations shown on the following drawings:</p> <ul style="list-style-type: none"> • <i>Ground Floor – Stage 1</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-06, Issue 10 (as amended in red by SARA on 12 January 2024); • <i>Ground Floor – Stage 2</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-13, Issue 10 (as amended in red by SARA on 12 January 2024); and • <i>Ground Floor – Stage 3</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-20, Issue 10 (as amended in red by SARA on 12 January 2024). <p>(b) The dedicated taxi rank in part (a) of this condition must be designed and constructed to include the following:</p> <ul style="list-style-type: none"> (i) a minimum zone capacity for the parking of two taxis (1 x standard taxi and 1 x wheelchair accessible taxi) in total; (ii) at least one wheelchair accessible taxi parking bay designated by signage and pavement marking at the front of the queue in accordance with: <ul style="list-style-type: none"> • AS2890.5 – Parking facilities, Part 5: On-street parking; • AS1428.1 – Design for access and mobility; • AS2890.6 – Parking Facilities, Part 6: Off-street parking for people with disabilities; • Chapter 7 – Taxi Facilities of the <i>Public Transport Infrastructure Manual 2015</i>; and • the Disability Standards for Accessible Public Transport 2002 – subsection 31(1) of the <i>Disability Discrimination Act 1992</i>; (iii) two taxi zone signs R5-21, placed at either end of the rank, and taxi zone line marking in accordance with AS1742.11 – Manual of uniform traffic control devices, Part 11: Parking controls; (iv) lighting in accordance with AS/NZS 1158.3.1 – Lighting for Roads and Public Spaces, Part 3.1: Pedestrian Area (Category P) Lighting – Performance and Design Requirements; (vii) access and hardstand, and shelter with seats, for waiting and boarding/alighting passengers. <p>(c) Provide RPEQ certification, with supporting documentation, to</p>	<p>(a) Prior to the commencement for Stages 1 to 3.</p> <p>(b) Prior to the commencement for Stages 1 to 3.</p> <p>(c) Prior to the</p>

No.	Conditions	Condition timing
	<p>the Program Delivery and Operations Unit, Wide Bay Burnett Region within the Department of Transport and Main Roads (Wide.Bay.Burnett.IDAS@tmr.qld.gov.au) confirming that the development has been designed and constructed in accordance with parts (a) to (c) of this condition.</p>	<p>commencement for Stages 1 to 3.</p>
5.	<p>(a) Provide a vehicle loading zone that can be used for the lay-by parking of a 25-seater mini-bus of 7.7m in length generally in accordance with <i>Ground Floor – Stage 1</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-06, Issue 10 (as amended in red by SARA on 12 January 2024).</p> <p>(b) Provide a perpendicular lay-by parking bay for a 25-seater mini-bus of 7.7 metres in length generally in accordance with the following:</p> <ul style="list-style-type: none"> • <i>Ground Floor – Stage 2</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-13, Issue 10 (as amended in red by SARA on 12 January 2024); and • <i>Ground Floor – Stage 3</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-20, Issue 10 (as amended in red by SARA on 12 January 2024). <p>(c) Install bus zone signs R5-20 (left and right) on the mini-bus lay-by parking bay in part (b) of this condition in accordance with AS1742.11 – <i>Manual of Uniform Traffic Control Devices, Part 11: Parking controls</i> or provide the equivalent private signage.</p>	<p>(a) Prior to the commencement of use and to be maintained at all times for Stage 1.</p> <p>(b) Prior to the commencement of use and to be maintained at all times for Stages 2 to 3.</p> <p>(c) Prior to the commencement of use and to be maintained at all times for Stages 2 to 3.</p>
6.	<p>(a) Prepare a Servicing Management Plan, prepared by a suitably qualified and experience professional to manage conflict between commercial vehicle loading and mini-bus lay-by parking in the loading dock shown on <i>Ground Floor – Stage 1</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-06, Issue 10 (as amended in red by SARA on 12 January 2024).</p> <p>(b) Carry out the operation of the development in accordance with the Servicing Management Plan.</p>	<p>(a) Prior to the commencement of Stage 1.</p> <p>(b) At all times during the operation of the development for Stage 1.</p>
7.	<p>(a) Provide a zebra crossing between the on-site passenger loading zones at the location shown on the following drawings in accordance with AS1742:10 – <i>Manual of Uniform Traffic Control Devices, Part 10: Pedestrian control and protection</i>:</p> <ul style="list-style-type: none"> • <i>Ground Floor – Stage 1</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-06, Issue 10 (as amended in red by SARA on 12 January 2024); • <i>Ground Floor – Stage 2</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-13, Issue 10 (as amended in red by SARA on 12 January 2024); and • <i>Ground Floor – Stage 3</i>, prepared by Black Inc 	<p>(a) Prior to the commencement of use and to be maintained at all times for Stages 1 to 3.</p>

2310-37472 SRA

No.	Conditions	Condition timing
	<p>Architecture, dated 30/11/2023, Drawing No. SK-20, Issue 10 (as amended in red by SARA on 12 January 2024).</p>	
	<p>(b) Provide the pedestrian pathways shown on <i>Ground Floor – Stage 2</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-13, Issue 10 (as amended in red by SARA on 12 January 2024).</p>	<p>(b) Prior to the commencement of use and to be maintained at all times for Stage 2.</p>
	<p>(c) Provide a disability accessible compliant pathway for the extent of the southernmost setdown facility and between this facility and the lift foyer at the location shown on <i>Ground Floor – Stage 3</i>, prepared by Black Inc Architecture, dated 30/11/2023, Drawing No. SK-20, Issue 10 (as amended in red by SARA on 12 January 2024).</p>	<p>(c) Prior to the commencement of use and to be maintained at all times.</p>

Attachment 2—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> , its regulation or the State Development Assessment Provisions (SDAP) (version 3.0). If a word remains undefined it has its ordinary meaning.
Noise Report revision recommendation	
2.	It is recommended that the report is updated to address Conditions 1 and 2 in Attachment 1, based on the final architectural plans.

Attachment 3—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for the SARA's decision are:

- the proposed development is considered to achieve compliance with State Code 1: Development in a state-controlled road environment, provides for community amenity from significant adverse impacts of environmental emissions generated from state-controlled roads and is not considered to have an adverse impact on the safety or efficiency of both the Youngman Street/Markwell Street intersection and Kingaroy Street/Markwell Street intersection.
- the proposed development is considered to achieve compliance with State Code 6: Protection of state transport networks, provides for connection to passenger transport services and incorporates pedestrian transport infrastructure commensurate with the scale of the project and individual land use components.

Material used in the assessment of the application:

- the development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- the SDAP (version 3.0), as published by SARA
- the Development Assessment Rules
- SARA DA Mapping system
- SARA State Planning Policy (SPP) Mapping system
- Section 58 of the *Human Rights Act 2019*.

2310-37472 SRA

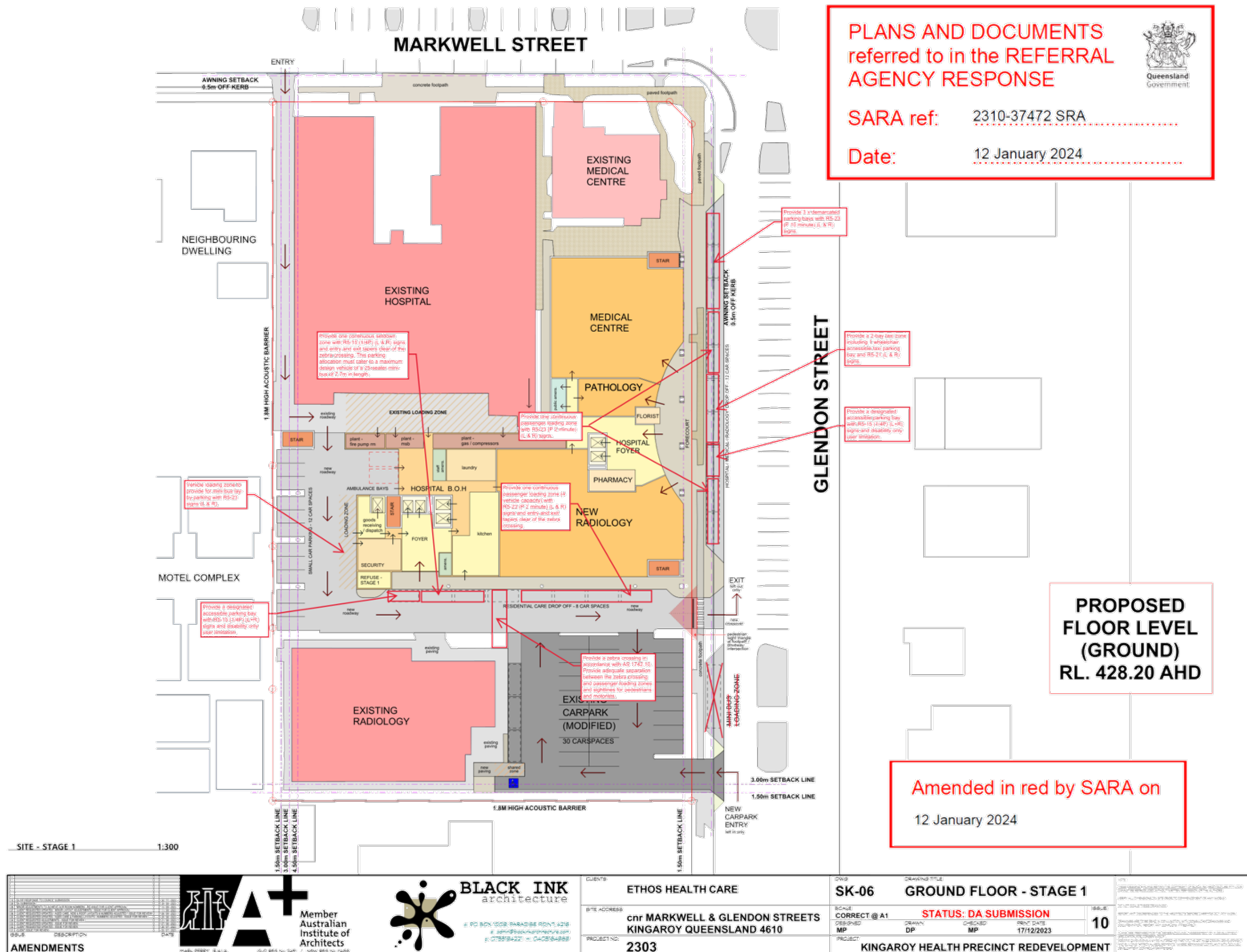
Attachment 4—Representations about a referral agency response provisions

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2310-37472 SRA

Attachment 5—Documents referenced in conditions

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PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 2310-37472 SRA

Date: 12 January 2024



PROPOSED FLOOR LEVEL (GROUND) RL. 428.20 AHD

Amended in red by SARA on 12 January 2024

SITE - STAGE 1 1:300



NO.	DESCRIPTION	DATE
1	ISSUED FOR TENDERS	17/12/2023
2	AMENDMENTS	17/12/2023

BLACK INK architecture

Member Australian Institute of Architects

PHIL FERRY (AUSA) GLO REG. NO. 242 / NEW REG. NO. 7488

BLACK INK architecture

PO BOX 1008 PARADISE RD N1 4218
 PH: 0755944221 | FAX: 0755944888

CLIENT: **ETHOS HEALTH CARE**

SITE ADDRESS: **cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610**

PROJECT NO: **2303**

DWG: **SK-06**

DRAWING TITLE: **GROUND FLOOR - STAGE 1**

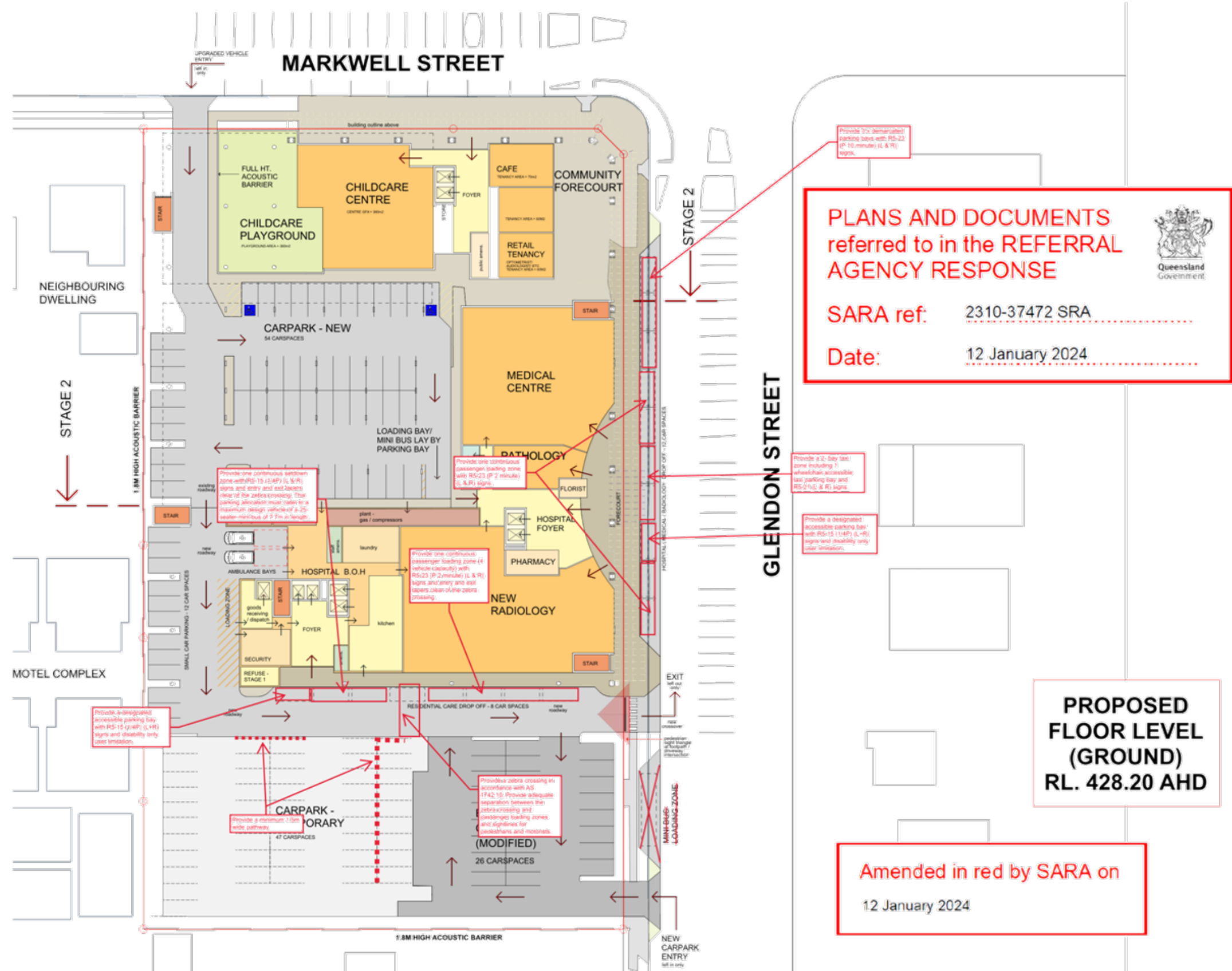
SCALE: **CORRECT @ A1**

STATUS: **DA SUBMISSION**

DESIGNED: **MP** | DRAWN: **DP** | CHECKED: **MP** | PRINT DATE: **17/12/2023**

PROJECT: **KINGAROY HEALTH PRECINCT REDEVELOPMENT**

NO.	DESCRIPTION	DATE
1	ISSUED FOR TENDERS	17/12/2023
2	AMENDMENTS	17/12/2023



PLANS AND DOCUMENTS referred to in the REFERRAL AGENCY RESPONSE

SARA ref: 2310-37472 SRA

Date: 12 January 2024



PROPOSED FLOOR LEVEL (GROUND) RL. 428.20 AHD

Amended in red by SARA on 12 January 2024

SITE - STAGE 2 1:300

NO.	DESCRIPTION	DATE
1	AMENDMENTS	



CLIENT: ETHOS HEALTH CARE

BITE ADDRESS: cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610

PROJECT NO: 2303

DWG: SK-13

DRAWING TITLE: GROUND FLOOR - STAGE 2

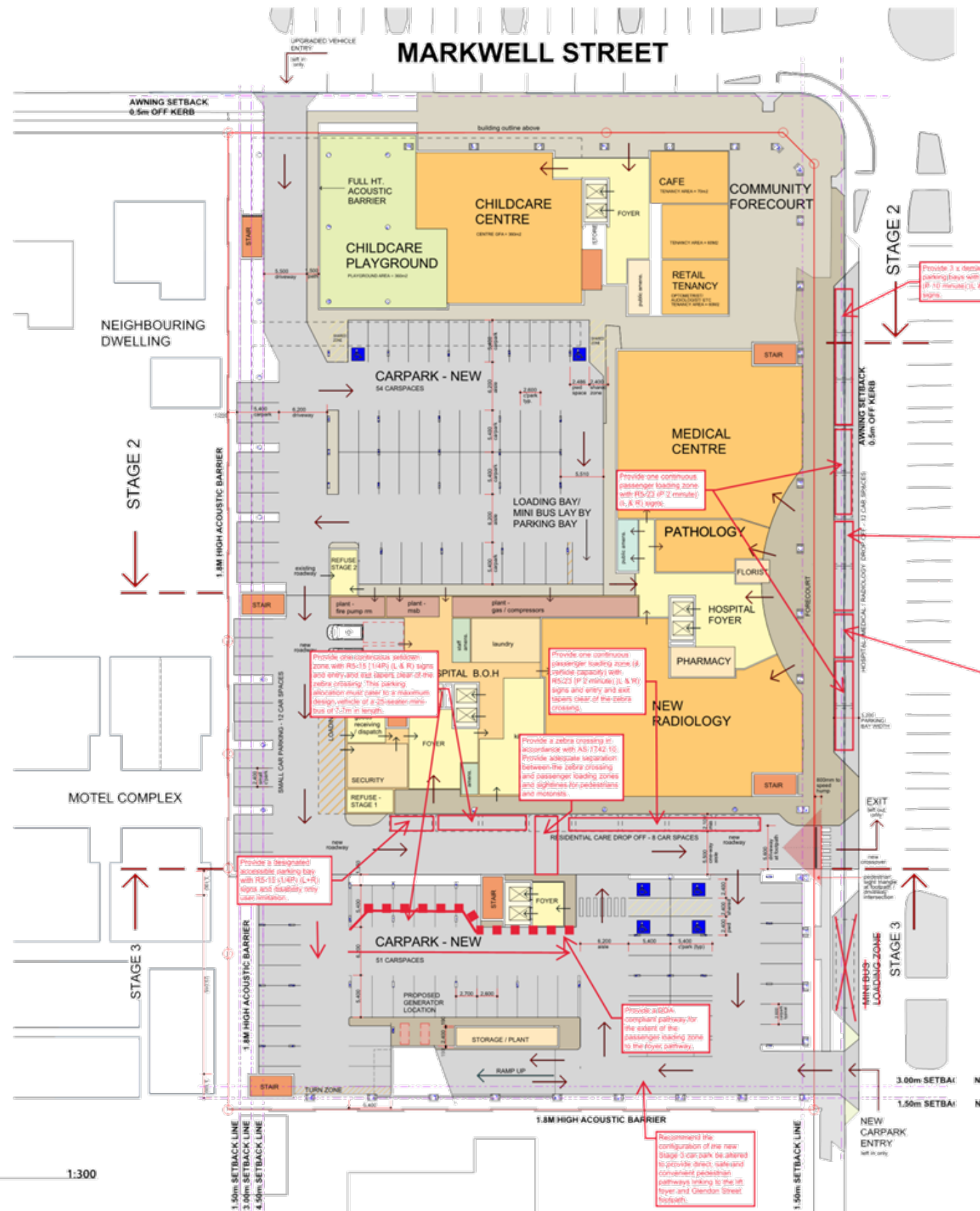
SCALE: CORRECT @ A1

STATUS: DA SUBMISSION

ISSUE: 10

PROJECT: KINGAROY HEALTH PRECINCT REDEVELOPMENT

DATE	17/12/2023
DESIGNED	MP
CHECKED	MP
PRINT DATE	17/12/2023



PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE

SARA ref: 2310-37472 SRA

Date: 12 January 2024



Provide 2 (2-bay) zone with 1 wheelchair accessible bay (parking) bay and RS-21 (L & R) signs.

Provide a designated accessible parking bay with RS-15 (L&R) (L+R) signs and disability only zone limitation.

PROPOSED FLOOR LEVEL (GROUND)
RL. 428.20 AHD

Amended in red by SARA on
12 January 2024

SITE - STAGE 3 1:300



NO.	DESCRIPTION	DATE



CLIENTS	ETHOS HEALTH CARE
BTE ADDRESS	cnr MARKWELL & GLENDON STREETS KINGAROY QUEENSLAND 4610
PROJECT NO.	2303

CLIENTS	SK-20	DRAWING TITLE	GROUND FLOOR - STAGE 3
SCALE	CORRECT @ A1	STATUS:	DA SUBMISSION
DESIGNED	MP	CHECKED	MP
PROJECT	KINGAROY HEALTH PRECINCT REDEVELOPMENT		

ISSUE	10
DATE	17/12/2023

Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

30 Representations about a referral agency response

- 30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.