



walkway constructed of a post-and-sapling frame with a corrugated iron roof, with access to the galvanised iron-clad utilities area attached..... 20

Figure 14. *Left:* The French doors from the main bedroom onto the rear verandah, noting the infilled fanlight. *Right:* View along the rear enclosed verandah area to the south-west. 20

Figure 15. *Left:* The French doors on front verandah showing the reconstructed timber walls. *Centre:* View from front verandah to the north to the enclosed verandah sleeping area. *Right:* View along rear verandah to back of the fireplace. 21

Figure 16. *Left:* Detail of the half round gutters surviving at the north wall of the kitchen. *Right:* Detail of a surviving bespoke metal gutter support at the junction of the kitchen and rear verandah..... 21

Figure 17. The underside of a section of the front verandah roof, showing the early timber shingles. 21

Figure 18. *Left:* Detail of reconstructed timber window awnings fitted to window openings on the north-west elevation. *Right:* View of the rear of the detached kitchen showing the roof, fireplace, and galvanised metal-clad chimney..... 22

Figure 19. A floor plan of the main homestead building. *Source:* Extract from drawing 21602EX A200, Issue P1, prepared by Gibson Architects (2021). 23

Figure 20. *Top Left, Top Right, and Bottom:* The dining room interior, illustrating the timber joinery. 24

Figure 21. *Left and Right:* Interior views of the nursery area. 25

Figure 22. An interior view of Bedroom 1 showing some of the painted elements..... 25

Figure 23. *Left and Right:* Interior views of Bedroom 2, noting water penetration affecting the ceiling, canvas linings are falling away, and movement at wall and ceiling junction. 26

Figure 24. An example of the exposed single skin construction in the northern Bedroom 3 located at the enclosed verandah. 26

Figure 25. The ceiling of the detached kitchen, lined with unpainted, horizontally fixed beaded boards..... 27

List of tables

Table 1. Proposal response to Table 14.2.2 from *Guideline: State Development Assessment Provisions State Code 14: Queensland Heritage*, prepared by the former DEHP (2017) (now the Department of Environment and Science) 32

Table 2. Proposal response to the relevant performance outcomes set out in Part 8.4.3 of the SBRC Planning Scheme 34



1. Introduction

1.1 Background

Extent Heritage Pty Ltd has been engaged by South Burnett Regional Council (SBRC) to prepare a heritage impact statement (HIS) for proposed minor repairs and restoration works to the main homestead building of the Boondooma Homestead complex, which is located at 8262 Mundubbera-Durong Rd, Boondooma, Queensland.

The Boondooma Homestead complex is identified as a place of state cultural heritage significance, and is entered in the Queensland Heritage Register (QHR) (ID 600967). The QHR boundary corresponds to the extent of the former Lot 1 on SP 156286, and captures the principal surviving buildings dating c.1850–70s (including the main timber homestead), as well as various ancillary structures. The single-storey timber homestead is one of the principal surviving buildings (c.1850s–70s) and is situated in the north-eastern aspect of the complex.

To address the requirements of the *Queensland Heritage Act 1992*, this report:

- investigates the context and setting of the main homestead building, and its contribution to the heritage significance of the Boondooma Homestead complex; and
- describes the proposed conservation, restoration, and repair works to the main homestead building, and demonstrates that these works are of little, if any, detrimental impact to the cultural heritage significance of the place.

1.2 Methodology

This HIS will review the relevant statutory heritage controls, assess the impact of the proposal on the subject property, and make recommendations as to the level of impact.

The main homestead building was inspected and photographed by the author(s) of this report in February 2021. The inspection was undertaken as a visual study only, and did not include an inspection of the building's roof spaces, wall cavities, and underfloor areas.

The methodology used in the preparation of this HIS accords with the principals and definitions set out in *The Australian ICOMOS Charter for Conservation of Places of Cultural Significance (Burra Charter)* (Australian ICOMOS 2013) and the principles and definitions set out in 'Preparing a Heritage Impact Statement' in *Guideline: State Development Assessment Provisions State Code 14: Queensland Heritage*, prepared by the former Department of Environment and Heritage Protection (DEHP 2017) (now the Department of Environment and Science).

This report also addresses the relevant statutory planning controls and requirements for heritage places as outlined in the Queensland Heritage Act and the *South Burnett Regional Council Planning Scheme 2017*.



1.3 Limitations

This report relies on the historical research contained in the following documents, supplemented with additional research where necessary:

- a measured drawing set prepared by Gibson Architects (2021) (see Appendix B);
- a conservation works drawing set prepared by Gibson Architects (2021) (see Appendix C);
- Buchanan, B. 1982. 'Restoration Strategy for Boondooma Homestead, Wondai Shire Queensland.' Unpublished report prepared in consultation with the National Trust of Australia (Queensland) for Wondai Shire Council;
- Converge. 2016. 'South Burnett Heritage Study. Final Report.' Report prepared for South Burnett Regional Council. <https://www.southburnett.qld.gov.au/downloads/file/3063/south-burnett-heritage-study-final-report-september-2016-revision-1pdf>; and
- SBRC (South Burnett Regional Council). 2016. *South Burnett Regional Council Register of Local Heritage Places—Place Cards*. South Burnett Regional Council (website). <https://www.southburnett.qld.gov.au/downloads/file/3064/local-heritage-placecards>;

No Conservation Management Plan currently exists for Boondooma Homestead, only the *Restoration Strategy for Boondooma Homestead* (Buchanan 1982), which is now outdated.

Extent Heritage has not been engaged to assess Indigenous cultural heritage places and values.

No community consultation was undertaken for this report. Therefore, observations made concerning the possible social significance of places are based on publicly accessible, published materials.

The historical overview below provides sufficient historical background to provide an understanding of the place in order to assess the significance and provide relevant recommendations; however, it is not intended as an exhaustive history of the site.

1.4 Authorship

The following staff members at Extent Heritage have prepared this report:

- Jacqueline Pearce, architect and senior associate,
- Jessica Heidrich, heritage advisor, and
- Patrick Thomas, research assistant.

This report has been reviewed by Will Cox, copyeditor, for quality assurance purposes.



1.5 Ownership

The Boondooma Homestead complex, including the main homestead building addressed in this report, is owned and managed by SBRC. The Boondooma Museum and Heritage Association Inc. assist with the day-to-day administration and maintenance of the site.

1.6 Terminology

The terminology in this CMP follows definitions presented in the *Burra Charter* (Australia ICOMOS 2013). Article 1 provides the following definitions:

Adaptation means changing a *place* to suit the existing *use* or a proposed use.

Compatible use means a *use* which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Conservation means all the processes of looking after a *place* so as to retain its *cultural significance*.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the *place* itself, its *fabric*, setting, *use*, *associations*, meanings, records, related places and related objects. Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including elements, fixtures, contents, and objects.

Maintenance means the continuous protective care of a *place* and its *setting*. Maintenance is to be distinguished from repair which involves *restoration* or *reconstruction*.

Place means a geographically defined area. It may include elements, objects, spaces and views. Place may have tangible and intangible dimensions.

Preservation means maintaining a *place* in its existing state and retarding deterioration.

Reconstruction means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material.

Related place means a *place* that contributes to the *cultural significance* of another place.

Restoration means returning a *place* to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.

Setting means the immediate and extended environment of a *place* that is part of or contributes to its *cultural significance* and distinctive character.

Use means the functions of a *place*, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.



2. Site

2.1 Location

The Boondooma Homestead complex is located at 8262 Mundubbera-Durong Road in the Parish of Boondooma, Queensland. It is legally defined as Lot 3 SP186442; however, as noted above, the QHR boundary corresponds to the extent of the former Lot 1 (SP156286).

The Boondooma Homestead complex is approximately 90 km west of the town of Wondai, and approximately 100 km north-west of the town of Kingaroy, and is situated wholly within the South Burnett Regional Council Local Government Area (LGA) (see Figure 1).



Figure 1. Aerial map indicating the approximate location of the Boondooma Homestead complex in relation to the townships of Wondai and Kingaroy. *Source:* Google Earth (2021).

2.2 Description

Figure 2 and Figure 3, below, illustrate the current configuration of the Boondooma Homestead complex and the relative location of the main homestead building.

The Boondooma Homestead complex is located near the junction of Boondooma Creek and the Boyne River, situated in a corridor of land between the two waterways. Its eastern boundary is situated on the Mundubbera-Durong Road. The surrounding area is distinctly rural, characterised by low undulating hills and flat plains, usually cleared of trees but with occasional clusters of shade trees retained for grazing cattle.

The subject of this report, the main timber homestead, is the main feature within the Boondooma Homestead complex, and is situated in the site’s north-eastern aspect in a formally laid-out garden. The building is well set back from Mundubbera-Durong Road and is not readily visible



from the road due to the intervening vegetation and topography. The homestead comprises the main house, a detached kitchen, a skillion-roofed structure appended to its south-eastern face, and a covered walkway attached at the western corner between another skillion-roofed extension.

Beyond its immediate garden setting, the homestead is surrounded by various ancillary buildings associated with the historical operation of the Boondooma pastoral station, such as the meat and cool sheds, a postal receiving office, and cow bails (formerly used as stables), which collectively form a heritage precinct within the site. The other principal surviving historic building is a stone store erected in the 1850s, located at the southern-most end of the property.

Several recent buildings and structures have also been constructed on or relocated to the Boondooma property to support its public events, and are arranged according to their functional relationship to one another. This includes the 'Big Top' entertainment area and extension; an ablution block, the archives, museum, and administration buildings; toilets; a camp kitchen; the caretaker's cottage; and a machinery shed. These structures are located within the QHR boundary but are not considered to be of heritage significance.



Figure 2. Aerial view of the Boondooma Homestead complex with the QHR boundary shaded in red
 Note the location of the main homestead building (circled in white) relative to the rest of the complex.
 Source: Queensland Globe (2020) with Extent Heritage overlay.



Figure 3. Site plan of the Boondooma Homestead complex, illustrating the relationship between the real property description (being Lot 3 SP16442) and the QHR boundary (being the former Lot 1 [SP 156286]) (dashed red line)

Note the location of the main homestead in the north-eastern aspect of the complex (red polygon).
 Source: Extract from Boondooma Homestead Site Plan, prepared by Blueprint Drafting Services (2016).



3. Historical context

This Part presents a summary history of the main homestead within the context of the development of the Boondooma Homestead Complex. It draws heavily on historical information presented as part of the entry of the Boondooma Homestead on the QHR (600967), augmented by historical information presented in the *Restoration Strategy for Boondooma Homestead, Wondai Shire Queensland* (Buchanan 1982).

3.1 Summary history

In the early 1840s, after the Moreton Bay region was opened for selection, searches for new pastoral land in rural Queensland extended north, beyond the Darling Downs and Brisbane Valley regions. By the early 1840s, explorations such as those led by Henry Stuart Russell reached further north, including the South Burnett region (Buchanan 1982). In conjunction with others, Russell undertook exploratory expeditions to the Wide Bay area, and in 1842, he was the first European to pass through what would later become known as Boondooma (Queensland Government 2016). Russell subsequently established his own run on the Borne River and other squatters soon followed suit.

In 1846, the Boondooma station was originally taken up as a sheep run by the brothers Alexander and Robert Lawson, along with Robert Alexander (Queensland Government 2016). Temporary huts and sheds were erected on the site, and by 1851, their tenure comprised the runs of Boondooma, Jua, Waringa, and Waagineraganya. In 1863, the Boondooma lease remained in the Lawson family but was transferred to Alexander Lawson (Queensland Government 2016). Between 1867 and 1888, the Boondooma lease was transferred several times between William Oswald Gilchrist, John Young, and John Brown Watt. However, the property continued to be managed by the Lawsons until they were succeeded by George Munro in 1870 (Buchanan 1982; Queensland Government 2016).

Despite a severe outbreak of scab in 1853 that caused the loss of some 17,000 sheep, the property prospered as a successful sheep run during this early period until the early 1890s when, due to the spread of spear grass, the owners reverted to cattle (Buchanan 1982). This period from the 1850s to the 1870s was an era of expansion for Boondooma, which is reflected in its physical development at the time. The main timber homestead with its detached dining room, the postal receiving office, cooling shed, stone store, and meat house were erected during this period.

In 1885, the consolidated Boondooma holding was brought under the provisions of the *Crown Lands Act 1884* and divided into 259 square miles of leased land in the name of Gilchrist, Watt, and Company (Queensland Government 2016). In 1895, the serving manager George Munro passed away, and was succeeded by his son, Peter Munro. George Munro's grave and tombstone remain on the Boondooma property.

In 1898, the Boondooma lease transferred to Mr EJ McConnel of the Cressbrook Pastoral Company; however, none of the McConnel family resided at Boondooma and the run was used as collateral for a stock mortgage (Buchanan 1982; Queensland Government 2016). In 1905, another 60 square miles of the run were resumed, and three years later, another 42 square



miles. In 1913, the Boondooma lease expired and the holding was thrown open for selection. The McConnel family retained a large portion, including the homestead block; however, the lease was again open for selection by 1922. Fred Palethorpe, who became Deputy Commissioner of Police, obtained the homestead block (Buchanan 1982). The property then transferred to Jane Ann Thomson and subsequently to her son, Mr Edward Thomson. During the Thomsons' tenure, Boondooma was used as a dairy farm, and for growing cotton and rearing cattle. An auction held at the property c.1919 led to the sale and dismantling of several structures, including the jackeroo's quarters, buggy house, and a blacksmith's shop.

In 1975, the Wondai Shire Council received a Federal Government grant to acquire the Boondooma site. Typical of early and large pastoral runs, Boondooma has over the years been subject to various processes affecting the integrity of the site's original layout, such as multiple land resumptions and changes in ownership. From its original expanse of some 67,055 hectares, the Boondooma run has been reduced to its present size of 1.79 hectares (Buchanan 1982).

Today, the extant structures at Boondooma are in varying states of preservation, ranging from complete surviving buildings and reconstructed buildings in various stages of completion to slight depressions indicating the location of former structures. The grounds, especially adjacent to the main timber homestead, present as a formally laid-out garden comprising of various mature plantings, trellises, and garden beds.

As it stands today, the Boondooma Homestead complex retains a suite of buildings and associated features that document an important period in Queensland's early pastoral development. It is open to the public most days, with the option for guided tours from the resident caretaker. Catering and overnight accommodation are also available by prior arrangement, as the site maintains camping, toilet, and cooking facilities. The Boondooma Homestead complex also hosts several large public and/or fundraising events, which attract large followings and play an integral role in supporting its maintenance and the tourism of the South Burnett region. This includes the Heritage Weekend and Bush Ballad Muster, Spirit of the Bush, Scots in the Bush, and Anzac Day commemorative services.

3.2 The main homestead

In 1852, a German stonemason named Wilhelm Brill was engaged to construct a stone building on the Boondooma run. It was constructed from roughly-coursed local rock obtained from a nearby quarry joined with mortar made from termite mounds (ant bed) and framing of sawn timbers and logs. By August 1855, Brill had made his way to Boondooma and was employed there from May 1856 to July 1857 (Queensland Government 2016).

It is understood that the stone building was originally intended to be a permanent residence; however, it was ultimately utilised as a store (Buchanan 1982, 8).

Around a similar time, Alexander Lawson married Emily Mountford Bell in November 1855 and the following year they had a son. As a result, plans appear to have been made to build a larger residence to accommodate their growing family (Queensland Government 2016). Correspondence from Boondooma station indicates orders for building supplies and furniture



were being made in September 1855, and by late 1856, two carpenters and a team of five other tradesmen under the carpenters' supervision were employed at Boondooma, and worked there until mid-1857 (Queensland Government 2016). It is most likely that the main timber homestead was constructed during this period.

During the Thomsons' tenure (i. e., from the mid-1920s through the mid-1970s), a range of restoration projects were undertaken at the Boondooma property, including at the main homestead building.

In 1982, Bruce Buchanan undertook the preparation of a restoration strategy for Boondooma, resulting in a number of recommendations for repairs and restoration works to the main homestead building (see Buchanan 1982, 14–18). Floor plan and elevation drawings of the timber homestead, as it was in the early 1980s were also prepared as part of this restoration strategy (see Figures 4–6, below).

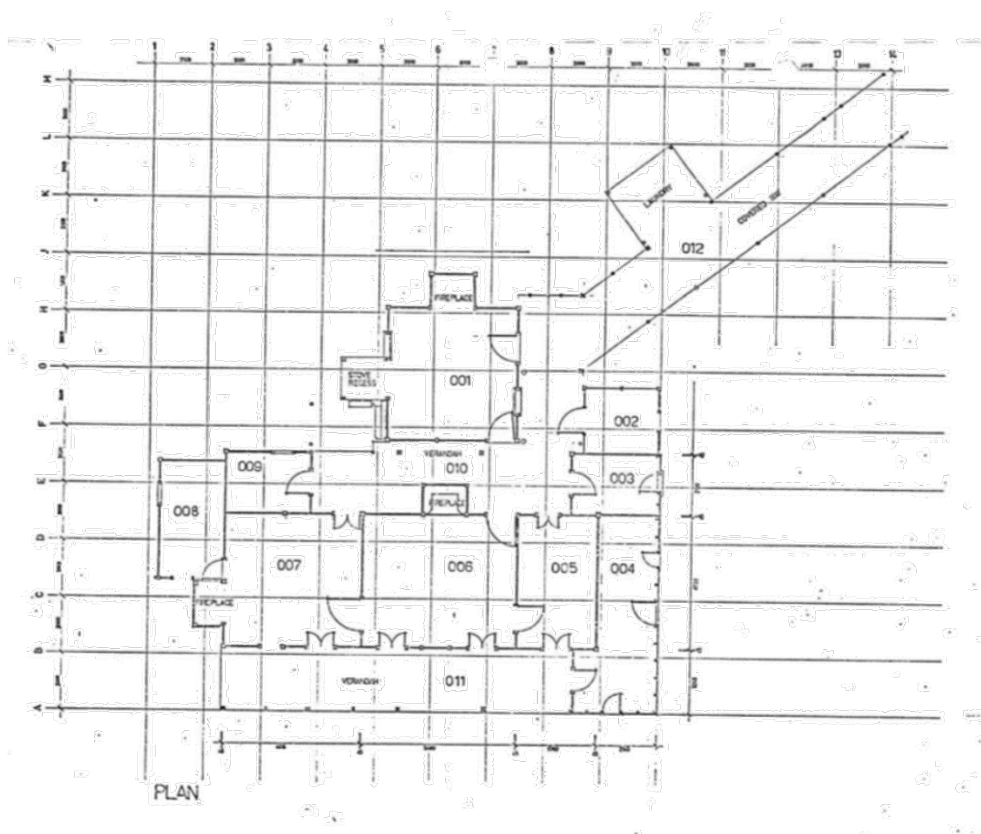


Figure 4. A floorplan of the timber homestead at Boondooma, prepared by Bruce Buchanan as part of his 1982 restoration strategy. Source: Buchanan (1982).

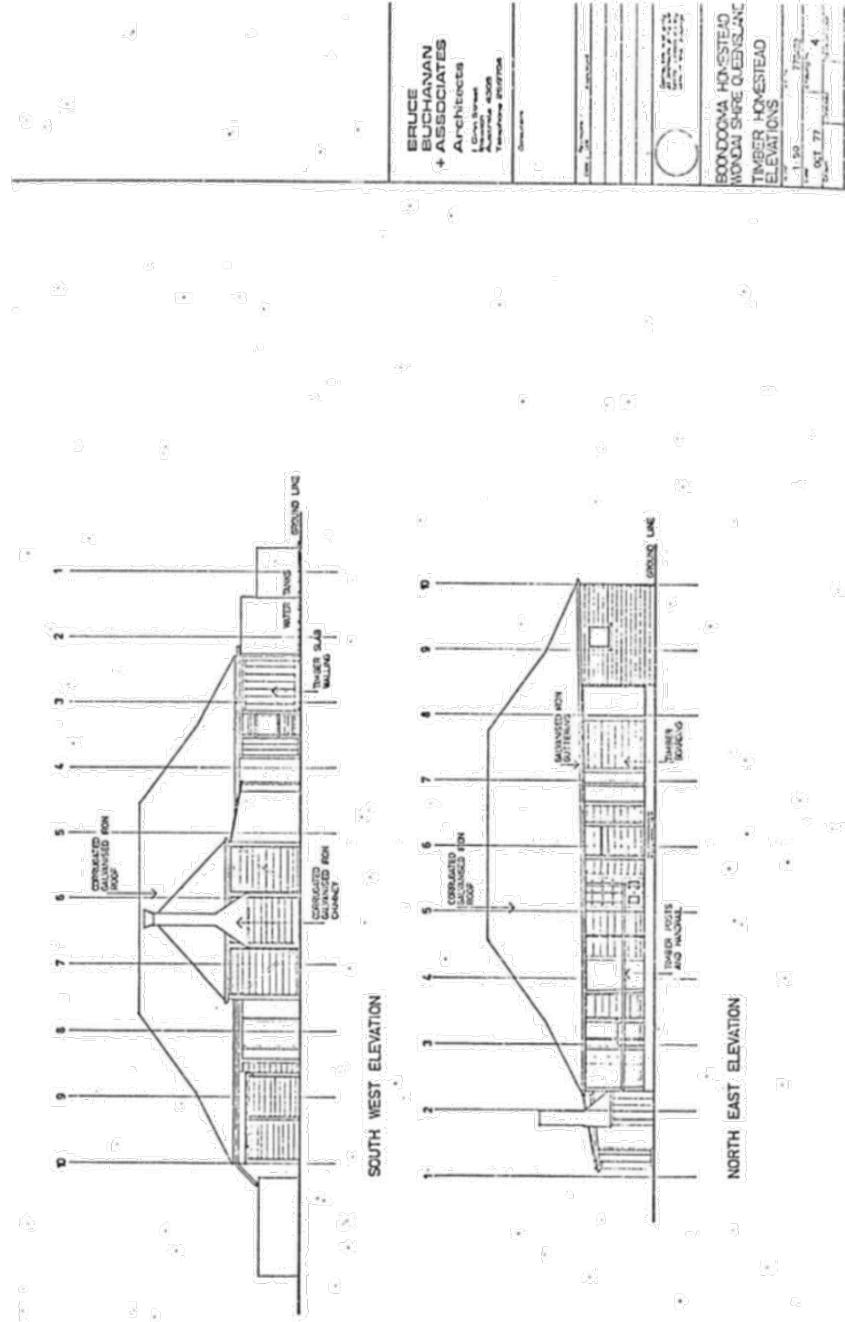


Figure 5. Drawings of the south-west and north-east elevations of the timber homestead building at Boondooma, prepared by Bruce Buchanan as part of his 1982 restoration strategy. Source: Buchanan (1982).

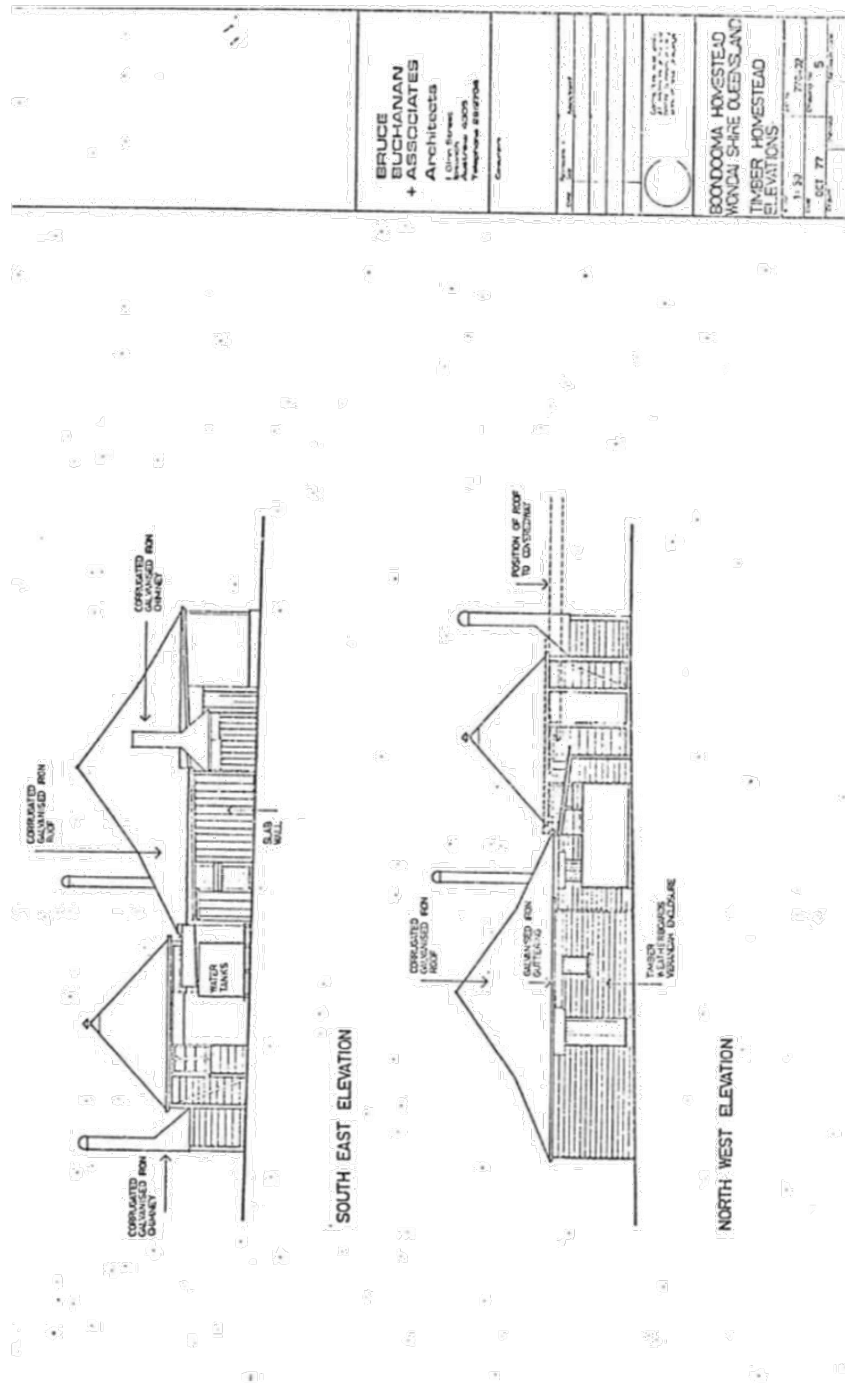


Figure 6. Drawings of the south-east and north-west elevations of the timber homestead building at Boondooma, prepared by Bruce Buchanan as part of his 1982 restoration strategy. Source: Buchanan (1982).



4. Heritage status

Register/Listing	Item listed (Y/N)	Item name	Item number
<i>Statutory Registers</i>			
National Heritage List	N	-	-
Commonwealth Heritage List	N	-	-
Queensland Heritage Register (QHR)	Y	Boondooma Homestead	600967
South Burnett Regional Council Local Heritage Register	Y	Boondooma Homestead	-
<i>Non-Statutory Registers</i>			
The National Trust of Australia (Queensland) Heritage Register	Y	Boondooma Homestead	WON 3/0
Register of Significant Buildings in QLD (Australian Institute of Architects)	N	-	-

4.1 Queensland Heritage Register

Boondooma Homestead is identified as a place of state heritage significance (ID 600967) and is entered in the QHR.

The QHR boundary for Boondooma Homestead (see Figure 7, below) corresponds to the extent of the former Lot 1 (SP156286), and captures the principal surviving buildings dating c.1850–70s, including the main timber homestead, as well as various ancillary structures.

The statutory implications of this are discussed in Part 7 of this report.

4.2 SBRC Planning Scheme 2017

Boondooma Homestead is also identified as a place of local cultural heritage significance and entered in the SBRC Local Heritage Register (see SBRC 2016).

It is therefore subject to the provisions of the Local Heritage Place Code, as set out in Part 8.4.3 of the Scheme. The Local Heritage Place Code deals with the protection and enhancement of the cultural heritage significance of local heritage places, townscapes, and streetscapes.

The statutory implications of this are discussed in Part 7 of this report.

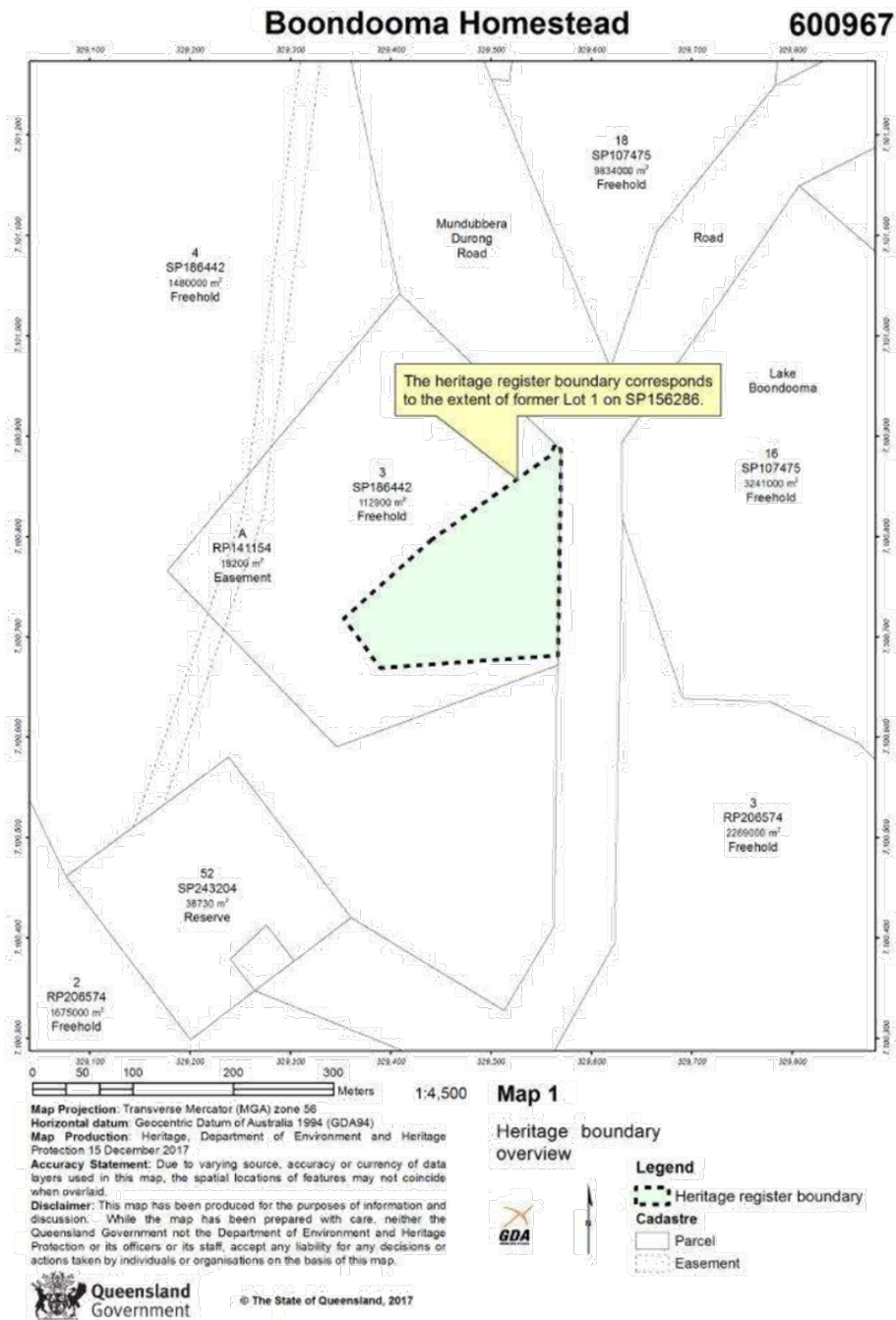


Figure 7. Map illustrating the QHR boundary for Boondooma Homestead (ID 600967), which corresponds to the extent of former Lot 1 (SP156286). Source: Queensland Government (2016).



4.3 Significance

As noted above, Boondooma Homestead is identified as a place of state heritage significance, and is entered on the QHR (ID 600967). This report therefore refers to the following statement of significance prepared for the QHR citation (Queensland Government 2016):

Criterion (a) The place is important in demonstrating the evolution or pattern of Queensland's history

Boondooma station was established in 1846 by the Lawson brothers and Robert Alexander in the wake of Henry Stuart Russell's exploration of the Burnett River district in 1842. The Boondooma Homestead site stands as important surviving evidence of the early exploration and settlement of the Upper Burnett region, and its buildings are indicative of early pastoral life in Queensland. The physical growth of the site reflects periods of economic prosperity in Queensland, whilst periods of rural hardship can be reflected in the abandonment and sale of structures.

Criterion (b) The place demonstrates rare, uncommon or endangered aspects of Queensland's cultural heritage

Boondooma comprises built elements that are now uncommon examples of construction methods and techniques. The principal historic buildings include an 1850s stone storehouse, which is both rare in its method of construction and an early example of the use of the metric standard in Queensland. The main house and the post office are also important surviving structures. The survival of interior finishes in the main timber house, including wallpapers and linoleums, contributes to its rarity.

Criterion (c) The place has potential to yield information that will contribute to an understanding of Queensland's history

The site remains a good example of the early vernacular homestead and contains a range of ancillary buildings in varying states of preservation. It provides present generations the opportunity to observe and understand the operation of early pastoral stations, and through further historical and archaeological research the site also has the potential to yield information that will contribute to an understanding of early European settlement in the Burnett region.

Criterion (d) The place is important in demonstrating the principal characteristics of a particular class of cultural places

The Boondooma site is an example of a homestead setting, with remnants of other structures including various outbuildings, graves, fences and mature trees. The relationship between these elements contributes to an understanding of early station life and as such, it is important in demonstrating the principal characteristics of a particular class of cultural places.

Criterion (e) The place is important because of its aesthetic significance

The Homestead site provides a relatively well-preserved and vivid example of vernacular architecture of the Queensland pastoral frontier and its aesthetic significance is enhanced by the ongoing preservation of the site. The individual buildings that remain reveal a high degree of workmanship and design. The use of local resources for building, as evidenced most notably in the stone building on the site in which rubble obtained from a nearby quarry and ant bed are



used for construction, demonstrates a high degree of skill and highlights the adaptive lifestyle of Queensland's pastoral pioneers.

Criterion (g) The place has a strong or special association with a particular community or cultural group for social, cultural or spiritual reasons

Boondooma remains valued by the local community for its strong and very important links with early pioneers of the Burnett district, including the Lawson family.

(Queensland Government 2016)

4.4 Relative significance

As noted above, the site known as Boondooma Homestead is identified as a place of state heritage significance. However, not all elements of the complex are representative at this level. The QHR boundary corresponds to the extent of the former Lot 1 (SP156286), and captures the principal surviving buildings dating c.1850s–70s, including the main timber homestead, as well as various ancillary structures, which contribute at various levels to the cultural heritage significance of Boondooma Homestead.

The subject of this report, the main timber homestead, is the main feature within the Boondooma Homestead complex, and is one of the earliest surviving buildings associated with the establishment and early pastoral development of the Boondooma station. In addition to the main house, the homestead comprises a detached kitchen, a skillion-roofed structure appended to its south-eastern face, and a covered walkway attached at the western corner between another skillion-roofed extension.

The homestead is situated in the site's north-eastern aspect, set back from Mundubbera–Durong Road, and set within a formally laid-out garden comprising of various mature plantings, trellises, and garden beds. Beyond its immediate garden setting, the homestead is surrounded by various ancillary buildings associated with the historical operation of the Boondooma pastoral station, such as the meat and cool sheds, a postal receiving office, and cow bails (formerly used as stables). Collectively, these buildings and the homestead form a heritage precinct within the site that are distinctively separate from the buildings and structures of more recent construction located further to the south.

The other principal surviving building, the stone store, was erected at a similar time to the main homestead; however, it is located some distance away at the southern-most end of the property, furthest from the Mundubbera-Durong Road.

The main timber homestead is located at some distance from the series of buildings and structures of more recent construction that have been progressively built or relocated to Boondooma to support its public events.



5. Physical description

Extent Heritage, in conjunction with Gibson Architects, carried out a physical assessment of the main homestead building in February 2021. The analysis involved a visual inspection of the exterior and interior of the building, excluding roof spaces, underfloor areas, and wall cavities. It did not involve a detailed investigation of all fabric, but an overview of the elements of the place to assist in determining significance.

The following physical descriptions draw upon that provided in the QHR citation for Boondooma Homestead (Queensland Government 2016), which includes a description of the property and information on the Homestead's significance. All photographs in this part are courtesy of Extent Heritage, unless otherwise cited.

5.1 General context

The main homestead building is situated in the north-east aspect of the complex, and is well set back from Mundubbera–Durong Road. The homestead is set within a formally laid-out garden comprising of various mature plantings, trellises, and garden beds.

Beyond its immediate garden setting, the homestead is surrounded by various ancillary buildings associated with the historical operation of the Boondooma pastoral station, such as the meat and cool sheds, a postal receiving office, and cow bails (formerly used as stables). Collectively, these buildings and the homestead form a heritage precinct within the complex that are distinctively separate from those buildings and structures of more recent construction located further to the south.



Figure 8. View of the south-east elevation of the homestead, illustrating its immediate setting within a maintained garden



Figure 9. View of south-west elevation of the homestead. Note the maintained trellises and water tank.



Figure 10. View of the front (north-east) elevation of the homestead. Note the established garden beds and its garden setting.



Figure 11. Exterior view of the homestead's north-west elevation. Note the hipped roof profile, the trellises adjacent to the building, and the current placement of the rainwater goods.

5.2 Homestead: exterior

The single-storey homestead has a long-ridge hipped roof with 'broken back' profile, clad in corrugated galvanised iron. The lower pitch of the roof extends over verandah areas that encircle the building. The roof of the living wing is in a weathered and dilapidated condition, and contains a large number of surviving timber shingles that are fixed under the roof sheet, which provide evidence of the early roof finish. Three rooms form the inner core of the timber-framed and timber-clad building, which is elevated a small distance above the ground and is rectangular in plan.

The verandah area that extends across the shorter, north-east elevation has been enclosed through various timber construction methods: weatherboards at the front corner enclosing a sleeping area, then rough-hewn boards between widely spaced studs, fitted horizontally and vertically to form a wall extending through to the western corner where an additional room, protected by a skillion roof, projects past the line of the rear verandah. The rear verandah is open through to the southern corner that is partly enclosed, and French doors provide access to living room and main bedroom.

The remaining front verandah is open through to the eastern corner, and is accessed by timber steps which are constructed of three roughly-sawn timber logs. The front verandah provides access via French doors to the three core rooms of the dwelling, which include a bedroom at the north, a central living area, and main bedroom at the south. The main bedroom, at the south of the dwelling, extends through to include the area under the low-pitched roof and a steel-clad fireplace with chimney at the south. A small skillion roofed addition provides for another sleeping



area, which is covered with a low skillion roof set under the eaves of the main roof at the south, and connects with an internal door to the main bedroom, beyond the fireplace.

A detached single-storey kitchen, covered by a corrugated galvanised sheeted, pyramid roof abuts the rear verandah of the living area at the south-east. The kitchen roof includes a simple vent at its ridge and is lined with wide timber boards internally. A combination of ogee gutters, half round gutters, and quad gutters are fitted to the eaves of both kitchen and living area structures. The surviving half-round gutter at the kitchen is supported on customised brackets and appears to be early fabric. A small, skillion-roofed, open awning structure is fixed to the south-eastern elevation of the kitchen.

The kitchen room is constructed with roughly sawn timber with horizontally fixed slabs connected to columns, as a single skin. The room contains a fireplace projecting to the north-west, with the chimney clad in flat galvanised iron sheet, and another projecting space to the south-east. Otherwise, the room is square in plan. Two casement windows are fitted to the kitchen, and the northern window contains fixed blade timber shutters. The kitchen also features a separately supported skillion roof verandah to the north-east elevation; the underside is lined with wide timber boards and links to the rear verandah of the living wing.

At the western corner of the homestead, between the kitchen and the skillion-roofed verandah, a covered walkway constructed of a post-and-sapling frame with a barrel-vaulted sprung roof leads off to the west, linking the homestead to a reconstructed timber structure to its north-west. A short section of the walkway roof is no longer in place.

The underside of the homestead's front verandah roof is unlined, and the early timber shingles are evident (see Figure 17). The verandah floors are lined with shot-edge timber boards fixed to sawn hardwood floor joists and the timber verandah posts bear on an outer line of logs, now supported on low, round timber stumps with ant caps, all of more recent reconstruction.

The exterior is largely unpainted; however, the exterior walls facing the verandahs at the rear verandah and kitchen area are painted, possibly in a lime-based paint. Some window and door joinery has been painted, or refinished clear. The verandahs have been enclosed by modern, powder-coat steel, grid-mesh screening and gates for security purposes.



Figure 12. *Left:* The timber steps providing access to the front verandah of the homestead. *Right:* View of the front elevation showing the hipped roof clad in corrugated galvanised iron.



Figure 13. *Left:* The broken-back, hipped roof clad in corrugated galvanised iron of the main homestead building, with the roof of a small skillion structure also visible. *Right:* The covered walkway constructed of a post-and-sapling frame with a corrugated iron roof, with access to the galvanised iron-clad utilities area attached.



Figure 14. *Left:* The French doors from the main bedroom onto the rear verandah, noting the infilled fanlight. *Right:* View along the rear enclosed verandah area to the south-west.



Figure 15. *Left:* The French doors on front verandah showing the reconstructed timber walls. *Centre:* View from front verandah to the north to the enclosed verandah sleeping area. *Right:* View along rear verandah to back of the fireplace.



Figure 16. *Left:* Detail of the half round gutters surviving at the north wall of the kitchen. *Right:* Detail of a surviving bespoke metal gutter support at the junction of the kitchen and rear verandah.



Figure 17. The underside of a section of the front verandah roof, showing the early timber shingles.



Figure 18. *Left:* Detail of reconstructed timber window awnings fitted to window openings on the north-west elevation. *Right:* View of the rear of the detached kitchen showing the roof, fireplace, and galvanised metal-clad chimney.

5.3 Homestead: interior

The homestead has a core of three rooms aligning north-west to south-east, which include Bedroom 2, the Dining Room, and Bedroom 1. The core of the living structure is encircled by verandahs with most of the front and rear verandahs remaining open.

Enclosed verandah rooms include Bedroom 3 and the Study, with an extended area providing a work room. A nursery is also constructed as an addition. The kitchen is a separate structure that abuts the rear verandah and contains a separate linked verandah to the north. A partly-completed covered walkway leads to the north west and this is flanked by a partly enclosed utilities area.

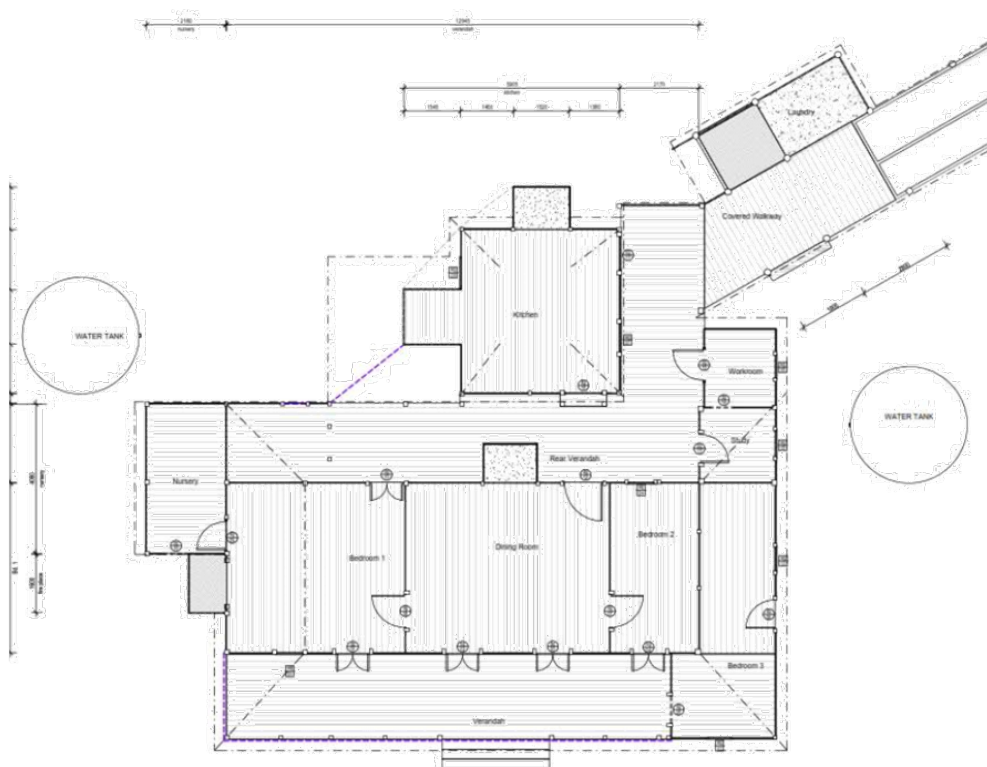


Figure 19. A floor plan of the main homestead building. *Source:* Extract from drawing 21602EX A200, Issue P1, prepared by Gibson Architects (2021).

The dining room features skilled timber joinery details and has a higher level of finish, with skirtings, trims, and architraves. The fireplace and mantelpiece along with the cedar doors are a feature of the room. The dark hardwood walls are constructed in vertically fitted, rough-hewn slabs and lighter milled timber boards line the ceiling, approximately 3 m high, which has faceted sides. The timbers are in a natural finish, and were perhaps oiled in the past. The floor is unfinished, milled shot edge boards.

Electricity is connected and a single pendant light is fitted to the room. A range of furniture, period display items, and framed images from different eras, some relating to Boondooma and some with no relationship to the place, are located in the room.



Figure 20. *Top Left, Top Right, and Bottom:* The dining room interior, illustrating the timber joinery.

Note that early finishes such as shellack and wax at the mantelpiece and paint/lime wash at the ceilings have been removed.

Bedroom 1 may have been extended at some point, and opens through to include a section of verandah area. This is evident in the low-pitched ceiling, partly painted, falling from the beam that may once have contained a wall. The wall under the low side of the ceiling has a doorway that accesses the small additional room, which is considered to have been used as a nursery. A reconstruction clad in galvanised iron sheet replicates a fireplace adjacent to the nursery door. Some framing elements are painted and remnants of wall paper are found above the doorway leading to the dining room. The room is fitted with period furniture.



The nursery adjoining Bedroom 1 is in a partly-repaired condition, with a reconstructed floor. However, the roof, framing, and surviving shingles are dilapidated and in danger of collapsing. The small room may have once been painted; however, little evidence of finishes survive. The small door leading to Bedroom 1 is constructed with beaded boards in a rough ledged and braced panel.



Figure 21. *Left and Right:* Interior views of the nursery area.



Figure 22. An interior view of Bedroom 1 showing some of the painted elements



Bedroom 2 is constructed and finished in a similar manner to the dining room: a sash window opens to the rear verandah, and a French door opens to the front verandah. The four-panel door through to the dining room is restored; however, significant water damage is evident, with canvas ceiling-linings becoming dilapidated. Substantial movement at the north-west corner is also evident.



Figure 23. *Left and Right:* Interior views of Bedroom 2, noting water penetration affecting the ceiling, canvas linings are falling away, and movement at wall and ceiling junction.

In Bedroom 3, evidence of wallpaper survives above the door, and the single-skin construction framing is exposed. The early roof shingles are visible in this room.

Areas of backing material are also evident in some other rooms, and the walls of the Study contain some evidence of being papered-over with newspapers.

In the detached kitchen, the walls are unlined and the single-skin construction framing is exposed. The boards are painted, and simple mouldings are fixed at the joints with the framing. The stove recess is lined with corrugated iron. Its pyramid-roof ceiling is lined on the rake with unpainted, horizontal timber boards.



Figure 24. An example of the exposed single skin construction in the northern Bedroom 3 located at the enclosed verandah.

Note the early roof shingles, also visible here.



Figure 25. The ceiling of the detached kitchen, lined with unpainted, horizontally fixed beaded boards.
Note the latter show evidence of being smoke or fire affected.



6. Proposed works

6.1 Outline

Having obtained funding, SBRC proposes to undertake a series of minor repairs and restoration works to the main homestead building at Boondooma Homestead. The Boondooma Museum & Heritage Association Inc. have a stockpiled supply of red cedar timber to contribute to this project.

A measured drawing set prepared by Gibson Architects (2021) (see Appendix B) shows the current status of the homestead building. A second conservation works drawing set, also prepared by Gibson Architects (2021) (see Appendix C), provides technical specifications for the proposed repair and restoration works to the building. The latter are suitable as preliminary tender issue drawings.

A prioritised list of suitable Queensland-based building firms that specialise in carpentry, and could provide a quotation for the timber repair and restoration services, is provided at Appendix A.

6.2 Building repair and restoration works

A series of minor repair and restoration works are proposed to the main homestead building, which are summarised below. Please refer to specification notes detailed on the drawings in Appendix B.

Repair and restoration works

- Refix loose timbers, floorboards, weatherboards, timber shingles, and roof sheeting.
- Replace main and kitchen roof sheet and ridge capping like-for-like with matching profile CGI sheet, make good roof framing, and refix surviving timber shingles in place under new roof sheet.
- Reconstruct roof sheet and framing at nursery room in like-for-like material and profile.
- Reinstate missing cover strips, skirting boards, trims, cornice, floorboards, architraves, and wall cladding (in like-for-like material to match existing profiles using salvaged original sections or cut from stored cedar stockpiled on site).
- Complete floor boards to cover bearers and make sound the covered walkway pathway.
- Reinstate canvas ceiling lining in Bedroom 3.
- Reinstate kitchen verandah timber linings.
- Patch and repair wall boards, fireplace chimneys, and flashing to walls like-for-like.
- Make good the doors and reinstate missing hardware.



- Make good the gutters, retain metal gutter brackets, and replace missing gutters with half round profile.
- Make sound and watertight galvanised sheet chimney, replacing dilapidated sheets and repairing flashings.
- Replacement of beam at rear verandah (see Part 6.3, below).
- Brace/secure fixing of north-west wall of Bedroom 2 (see Part 6.3).
- Reconstruct timber awning window shutters at north in cedar to replace inappropriate (non-original) pine construction.
- Address structural issues associated with the front verandah roof framing, southern interior wall of Bedroom 1, and the main roof framing (see Part 6.3) (retaining any salvageable shingles in situ).
- Modify ground levels to construct drainage swale falling to pit or away from building.
- Remove non-significant garden beds adjacent to building.
- Treat external structural steel plates and brackets for rust and paint finish.
- Repaint existing white limewash areas in same white limewash paint.
- Finish all unpainted walls, ceilings, and floors with pure tung oil.
- Modify down-pipe drainage to tanks, and generally make good the gutter drainage system.
- Replace cracked render in dining room fireplace with patching render mix and repaint the fireplace interior with limewash paint.
- Repair dilapidated window jambs and studs.
- Re-wax polished trims, joinery, including door panels, with traditional bees wax polish.
- Protect surviving paint finishes and undertake light preparation to remove flaking paint.
- Remove debris and loose timbers from under the building, and store salvageable timbers.
- Remove metal verandah grilles and replace with timber batten screen.

In the aforementioned list of works, 'reinstate' means to patch with like-for-like material, repair, refix in place, make sound, or secure.



6.3 Structural engineering works

In addition, we propose a structural inspection and specific response from a RPEQ engineer be provided in relation to each of the following items, *prior to commencing any works*:

- A beam at the rear verandah near the entrance to the detached kitchen requires replacement (matching like-for-like).
- The north-west wall of Bedroom 2 requires bracing/secure fixing.
- The condition and structural integrity of the front verandah roof framing at the western corner requires inspection, and needs to be addressed, noting that the retention of sound surviving timber shingles is to be accommodated.
- The sagging on the southern interior wall of Bedroom 1 requires inspection and needs to be addressed.
- The main roof framing requires inspection, and any additional fixings, bracings, and/or structural improvements need to be provided in conjunction with advice from a heritage architect.

6.4 Rationale

The homestead suffered many years of neglect that was eventually followed by the reconstruction of footings, joinery repairs, and replacement of various structural timbers around the 1980s. On-site caretakers over the past few decades have also carried out some ad-hoc repairs to the homestead; however, they have also needed to maintain and manage adaptive changes to the wider complex site over time.

This work has not focused on finishing repairs or other conservation works to the homestead, and as a result, a number of repairs are now becoming urgent. In particular, the roof is becoming dilapidated, which is leading to damage of significant fabric. Repair of this damage, along with the completion of other conservation tasks, is a high priority.

The proposed conservation works have been carefully studied and planned in a manner in accordance with *Burra Charter* principles and protocols, and the preparation of a Conservation Management Plan for the Boondooma Homestead complex is also proposed in the near future.

The proposed conservation works would conserve the highly significant building fabric and ensure the homestead is appropriately maintained.



7. Statutory controls

7.1 Queensland Heritage Act 1992

Section 2 of the Queensland Heritage Act states (among other things) that is an object of the Act 'to provide for the conservation of Queensland's cultural heritage for the benefit of the community and future generations.' The Act establishes the Queensland Heritage Council and the Queensland Heritage Register (QHR) as important mechanisms for achieving these objectives. The QHR is a list of places of cultural heritage significance to Queensland to be protected for present and future generations.

The site known as Boondooma Homestead is entered on the QHR, identified as a place of state heritage significance (ID 600967). The *State Development Assessment Provisions State Code 14: Queensland Heritage* (SDAP14) (DEHP 2017) regulates development on and adjoining a state heritage place, and development proposals are required to demonstrate compliance with the relevant provisions. For places entered in the QHR, development refers to all types of work on a place including reconfiguring a lot, material change of use, operational work, and building work.

7.2 SDAP14

SDAP14 regulates development on and adjoining a state heritage place to:

Conserve **cultural heritage significance** for the benefit of the community and future generations;

Minimise or mitigate unavoidable impacts on **cultural heritage significance**; and

Maintain or enhance the setting and streetscape **adjoining the state heritage place**, and views to and from the **state heritage place**, where these aspects form part of its **cultural heritage significance**.

(DEHP 2017)

Developing on (and adjoining) a state heritage place is required to meet the performance outcomes described in Table 14.2.2 of SDAP14. The proposal is for conservation, restoration, and repair works to the main homestead building, which is captured in the QHR boundary for Boondooma Homestead.

The proposal is therefore required to meet the relevant performance outcomes of the SDAP14, which are reproduced in Table 1, below, along with the proposal responses to each performance outcome.



Table 1. Proposal response to Table 14.2.2 from *Guideline: State Development Assessment Provisions State Code 14: Queensland Heritage*, prepared by the former DEHP (2017) (now the Department of Environment and Science)

Performance outcomes	Acceptable outcomes	Proposal response(s)
<p>PO1 Development of a state heritage place:</p> <ol style="list-style-type: none"> 1. does not have a detrimental impact on the cultural heritage significance of the state heritage place; or 2. where it is demonstrated that 1 is not reasonably achievable: <ol style="list-style-type: none"> a. Minimises and mitigates unavoidable detrimental impacts on its cultural heritage significance b. Provides opportunities for public appreciation of its cultural heritage significance c. Where adaptive reuse is proposed, is compatible with its ongoing conservation management. 	<p>No acceptable outcome is prescribed.</p>	<p>The proposed repairs and restoration works are beneficial, would contribute to the homestead building’s ongoing conservation, and would not have any adverse impacts of its cultural heritage significance.</p> <p>The proposed repairs would have a positive effect on the opportunities for public appreciation of the significance of the place.</p> <p>The work would not be considered adaptive reuse, and is proposed as critical conservation work.</p>
<p>PO2 Where open space, or the relationship between built and open spaces at a state heritage place, is identified as forming part of its cultural heritage significance development:</p> <ol style="list-style-type: none"> 1. maintains or enhances the significance of the setting, including significant views, circulation, access, spatial patterns and layout; 2. maintains a lot size and layout which permits viable adaptive reuse or conservation of significant heritage buildings and open spaces. 	<p>No acceptable outcome is prescribed.</p>	<p>The proposed repairs and restoration works would maintain the significance of the building’s setting, and would not adversely affect the existing setting of this significant building.</p> <p>The proposed repairs and restoration works would not prevent viable adaptive re-use and is proposed as critical conservation work for the protection of this significant heritage building in the future.</p>
<p>PO3 Development on a state heritage place with identified archaeological potential avoids or appropriately manages detrimental impacts on artefacts.</p>	<p>No acceptable outcome is prescribed.</p>	<p>The areas proposed for repairs and restoration works are not identified with potential to contain archaeological artefacts.</p>



Performance outcomes	Acceptable outcomes	Proposal response(s)
<p>PO4 Development destroying or substantially reducing the cultural heritage significance of a state heritage place must:</p> <ol style="list-style-type: none"> 1. demonstrate that there is no prudent and feasible alternative to carrying out the development due to: <ol style="list-style-type: none"> a. an extraordinary economic cost to the state, all or part of a community, or an individual; or b. an extraordinary environmental or social disadvantage; or c. a risk to public health or safety; or d. another extraordinary or unique circumstance and 2. Interpret and incorporate the place's history and significance into any development of the site. <p>Statutory note: In accordance with the <i>Planning Act 2016</i> (Qld), the State Assessment and Referral Agency (SARA) will seek advice from the Queensland Heritage Council (via the Department of Environment and Heritage Protection) on any application that will potentially destroy or substantially reduce the cultural heritage significance of a state heritage place.</p>	<p>No acceptable outcome is prescribed.</p>	<p>Not applicable.</p> <p>The proposed repair and restoration works would not destroy or reduce aspects of the cultural heritage significance of Boondooma Homestead.</p> <p>No significant material is proposed for removal.</p>
<p>PO5 Development on land adjoining a state heritage place;</p> <ol style="list-style-type: none"> 1. is located, designed, and scaled so that its form, bulk and proximity does not have a detrimental impact on the cultural heritage significance of the state heritage place; or 2. where it is demonstrated that 1 is not reasonably achievable, the development minimises unavoidable detrimental impacts on cultural heritage significance. 	<p>No acceptable outcome is prescribed.</p>	<p>Not applicable.</p> <p>The proposal is for works to the main homestead building, which is wholly contained within the QHR boundary for Boondooma Homestead.</p>

7.3 SBRC Planning Scheme 2017

The SBRC Planning Scheme regulates development planning, and was developed in relation to heritage items, within the South Burnett LGA. It also provides for the conservation of heritage places through the establishment of a register of places of local heritage significance (see SBRC 2016).



Developing on (and adjoining) a local heritage place within the South Burnett region is required to meet the performance outcomes described in Table 8.4.6 of Part 8.4.3 of the Scheme.

The Boondooma Homestead is recognised as a place of local heritage significance and is therefore required to meet the relevant performance outcomes (PO1-PO4) of the Scheme, which are reproduced in Table 2, below, along with the proposal responses to each outcome.

Table 2. Proposal response to the relevant performance outcomes set out in Part 8.4.3 of the SBRC Planning Scheme

Performance outcomes	Acceptable outcomes	Proposal response(s)
PO1 Development conserves the features and values of the local heritage place that contribute to its cultural heritage significance.	AO1.1 Significant features of the place remain unaltered, intact, and visible.	The proposed conservation, repair, and restoration works are critical to conserve the features and values of this heritage place and its cultural heritage significance.
PO2 Local heritage places are retained in their setting unless there is no feasible alternative to the demolition.	AO2.1 Engineering documentary evidence is provided to substantiate demolition need. AO2.2 Recording of buildings or structures is undertaken by a suitably qualified person.	The proposed conservation, repair, and restoration works would protect and retain the heritage building in its setting.
PO3 Changes to a local heritage place occur appropriately and sensitively.	AO3.1 Development is compatible with a conservation management plan prepared in accordance with the Australia ICOMOS Charter for Places of Cultural Heritage Significance.	The proposed conservation, repair, and restoration works aim to retain, restore, and conserve the heritage values of the homestead building.
PO4 Filling of excavation does not have a detrimental impact on sites of local heritage significance	AO4.1 The impact of excavation is minor and limited to parts of the local heritage place disturbed by previous excavation. AO4.2 If involving a high level of surface or subsurface disturbance an investigation precedes the commencement of work to confirm that the local heritage values of the site are undiminished.	Some excavation is proposed to create a drainage swale along the south-west elevation, which is limited to previously disturbed areas and is required to enable the conservation of the building.



8. Assessment of heritage impact

8.1 Repair and restoration works

This proposed conservation, repair, and restoration works are critical to the conservation of the homestead building. The roof is dilapidated, and replacement of the roof sheet has become an urgent matter to prevent further damage to significant fabric. The work also includes finishing repairs and other more minor conservation works to the homestead. Repair of this damage, along with the completion of other conservation tasks, is a high priority.

The proposed conservation works have been carefully considered and proposed in a manner in accordance with principles and protocols established in the *Burra Charter* (Australia ICOMOS 2013). The replacement of the roof sheeting would retain and refix the surviving timber shingles in situ as evidence of the homestead's early roof fabric.

The proposed conservation works would conserve the highly significant building fabric and ensure the homestead is appropriately maintained, and would not impose any adverse impact on the cultural heritage significance.

8.2 Structural engineering inspections

The proposed structural inspections are required following the removal of the roof sheeting.

The detail of any additional structural fixings to improve the adequacy of the framing is not yet known. Any fixings are proposed to be minimal, concealed, and provided in conjunction with advice from an experience heritage architect. Should any proposed structural adaptations be considered to make major changes, the work would be subject to an additional Heritage Exemption Certificate application and assessment.

8.3 Views and setting

The proposed conservation, repair and restoration works would not impinge on access to existing views to the homestead building from its surrounds. The proposed works would also not adversely affect existing views looking out from the homestead to the rest of the Boondooma Homestead complex, nor to Mundubbera-Durong Road.

8.4 Adjacent heritage items

The proposed works to the main homestead do not involve change to the property's curtilage, nor any subdivision or works proposed on an adjoining lot.

The proposed repair and restoration works are confined to the main homestead building, and would not have a detrimental impact on other places of heritage significance identified within the QHR boundary for Boondooma Homestead.



9. Statement of heritage impact

This HIS addresses the proposed conservation, repair, and restoration works to the main homestead building at Boondooma Homestead, and demonstrates that these works would be beneficial in conserving the building's aspects of heritage significance.

The proposed conservation works are critical, and would reinstate and protect highly significant building fabric, and ensure the homestead is appropriately maintained. The proposed works would not impose any adverse impact on the cultural heritage significance of Boondooma Homestead.



10. References

- Ann Wallin and Associates, 1997. 'An Archaeological Investigation of Boondooma Homestead.' Unpublished report prepared by M Westaway and S Pembroke for Boondooma Historical Society. PDF file.
- Australia ICOMOS. 2013. *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013*. Burwood, Vic: Australia ICOMOS. <https://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>.
- Buchanan, B. 1982. 'Restoration Strategy for Boondooma Homestead, Wondai Shire Queensland.' Unpublished report prepared in consultation with the National Trust of Australia (Queensland) for Wondai Shire Council. PDF file.
- DEHP (Department of Environment and Heritage Protection). 2013. *Assessing Cultural Heritage Significance: Using the Cultural Heritage Criteria*. Brisbane: Heritage Branch, Department of Environment and Heritage Protection. https://www.qld.gov.au/data/assets/pdf_file/0030/66693/using-the-criteria.pdf.
- DEHP (Department of Environment and Heritage Protection). 2017. *Guideline: State Development Assessment Provisions State Code 14: Queensland Heritage*. Brisbane: Heritage Branch, Department of Environment and Heritage Protection. https://www.qld.gov.au/data/assets/pdf_file/0020/67133/sdap-heritage-statement.pdf.
- Queensland Government. 2016a. 'Boondooma Homestead 600967.' Queensland Heritage Register (website). Last modified January 2016. <https://apps.des.qld.gov.au/heritage-register/detail/?id=600967>.
- SBRC (South Burnett Regional Council). 2016. 'South Burnett Regional Council Register of Local Heritage Places—Place Cards.' South Burnett Regional Council (website). Last modified September 2016. <https://www.southburnett.qld.gov.au/planning-building-plumbing/planning-development/local-heritage-register>.



Appendix A. Recommended tradespersons

The following list identifies suitably Queensland-based building firms that specialise in carpentry. A quotation for the timber repair and restoration services could be provided from the following firms:

- **H & G Contractors Pty Ltd**

Contact: Myles Harm

Phone: 07 3288 8609

Email: Myles@handgcontractors.com.au; Shenae@handgcontractors.com.au

- **Chapman Builders**

Contact: Andrew Chapman

Phone: 07 3353 3600

Email: andrew@chapmanbuilders.com.au



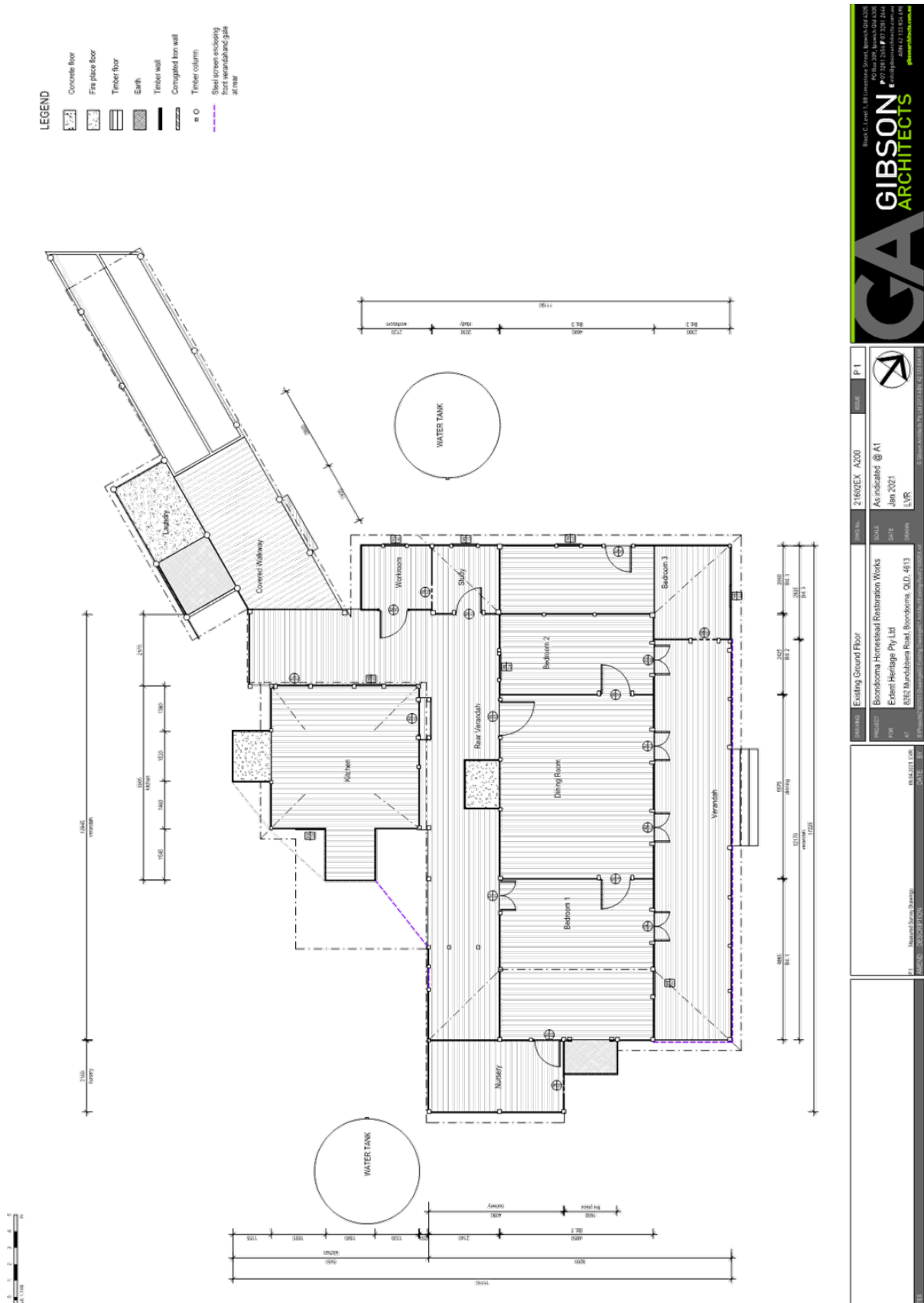
Appendix B. Boondooma Homestead Measured Drawing Set (Gibson Architects 2021)

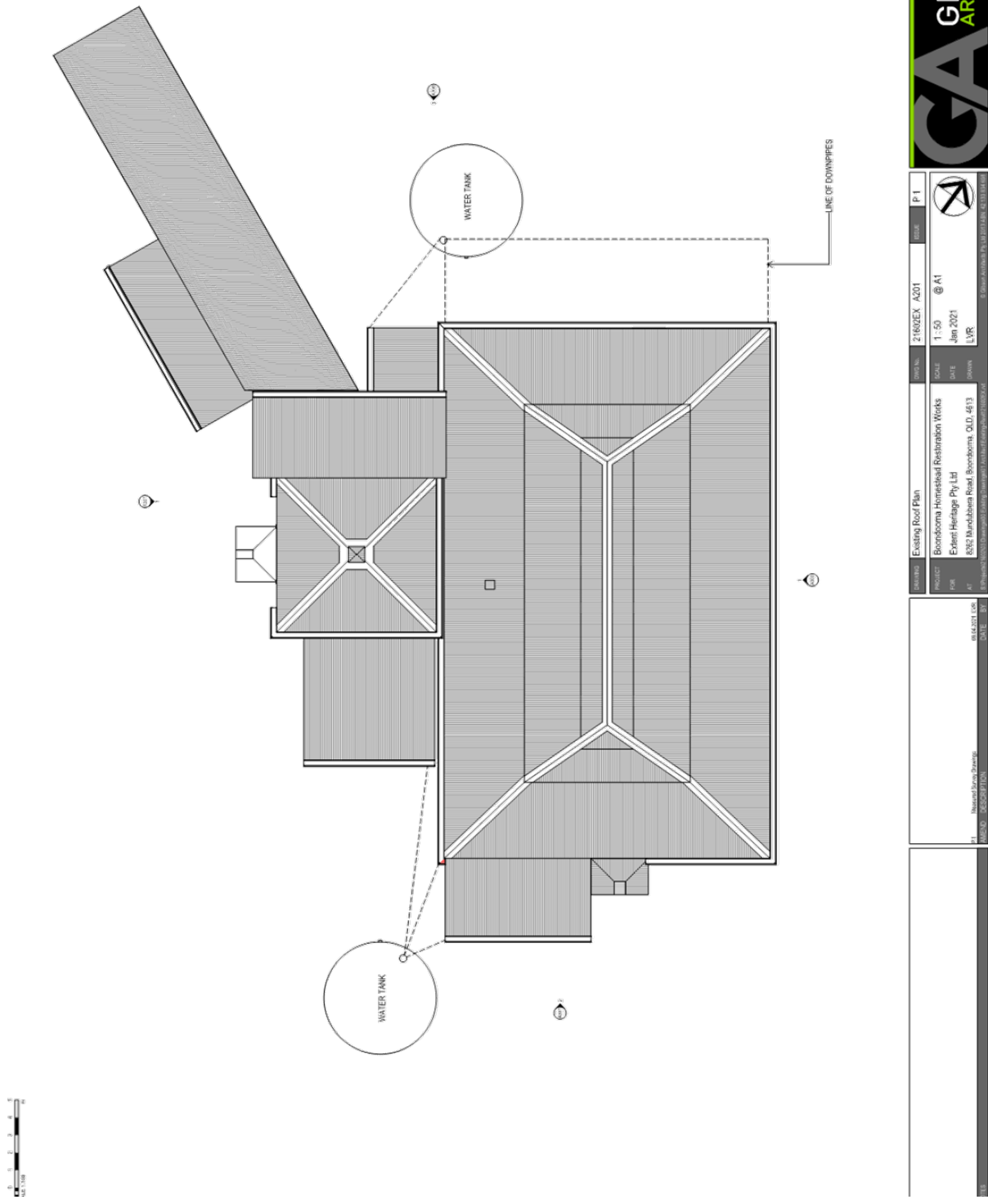


Boondooma Homestead
Restoration Works
8262 Mundubera Road, Boondooma, QLD, 4613

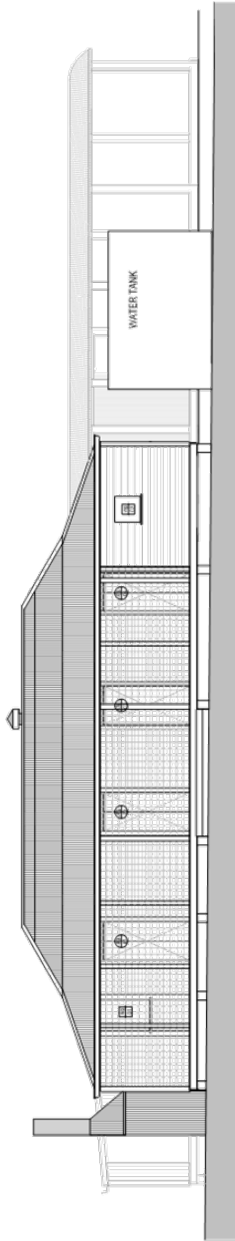


PROJECT: Boondooma Homestead Restoration Works CLIENT: Exeter Heritage Pty Ltd ADDRESS: 8262 Mundubera Road, Boondooma, QLD, 4613	DRAWING NO: 21802EX_A000 SCALE: 1:500 DATE: Jan 2021 DRAWN BY: CU
SHEET NO: 8262 SHEET TITLE: Cover Sheet Site Plan	PROJECT NO: P 1
PROJECT NO: 21802EX_A000 SCALE: 1:500 DATE: Jan 2021 DRAWN BY: CU	SHEET NO: 8262 SHEET TITLE: Cover Sheet Site Plan

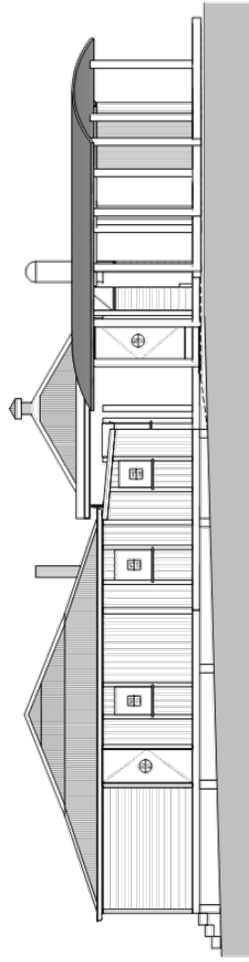




PROJECT: Boomboma Historical Restoration Works EXIST: Heritage Pty Ltd 8282 Mandubara Road, Boomboma, QLD, 4613	DRAWING NO.: 2180EX_A201 SCALE: 1:50 DATE: Jan 2021 LVR
SHEET: P 1	DRAWING: @ A1
DRAWN BY: [Name]	
CHECKED BY: [Name]	
DATE: [Date]	

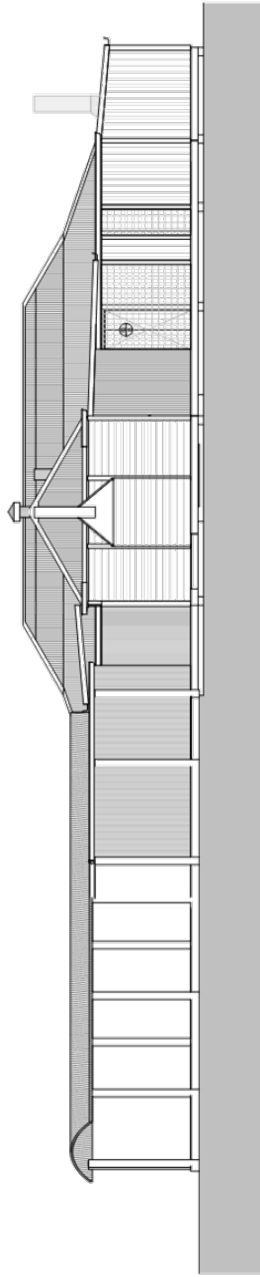


1
A300
East (Front) Elevation
1:50

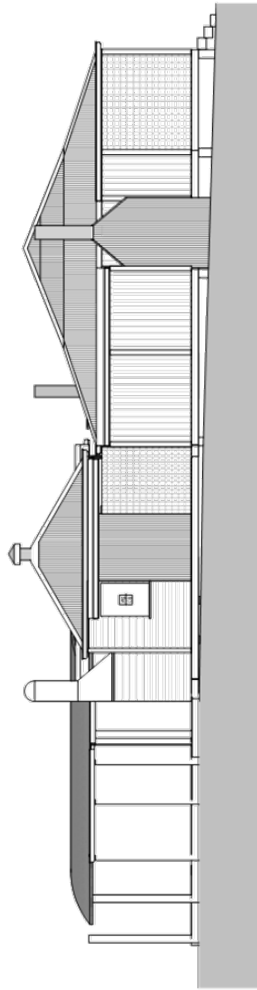


3
A300
North Elevation
1:50

		111 11/1/2024 11/1/2024	
PROJECT Bomboms Homestead Restoration Works Ebert Hediger Pty Ltd 8282 Mundubbera Road, Bomboms, QLD, 4613	DRAWING NO. 2180EX_A300	SCALE 1:50	DATE Jan 2021
SHEET NO. @ A1	SHEET COUNT 10	SHEET NO. 10	SHEET COUNT 10
DRAWN BY [Name]		CHECKED BY [Name]	
DATE 11/1/2024		DATE 11/1/2024	



West (Rear) Elevation
1:50



South Elevation
1:50

		111 11/11/2024	
Drawing No. 2180EX_A301	Title P 1	Drawing No. 2180EX_A301	Title P 1
Project Boomookma Homestead Restoration Works Exent Heritage Pty Ltd 8287 Mandubara Road, Boomookma, QLD, 4613	Scale 1:50 Date Jan 2021 LVR	Drawing No. 2180EX_A301	Title P 1
Drawing No. 2180EX_A301	Title P 1	Drawing No. 2180EX_A301	Title P 1



Appendix C. Boondooma Homestead Conservation Works Drawing Set (Gibson Architects 2021)

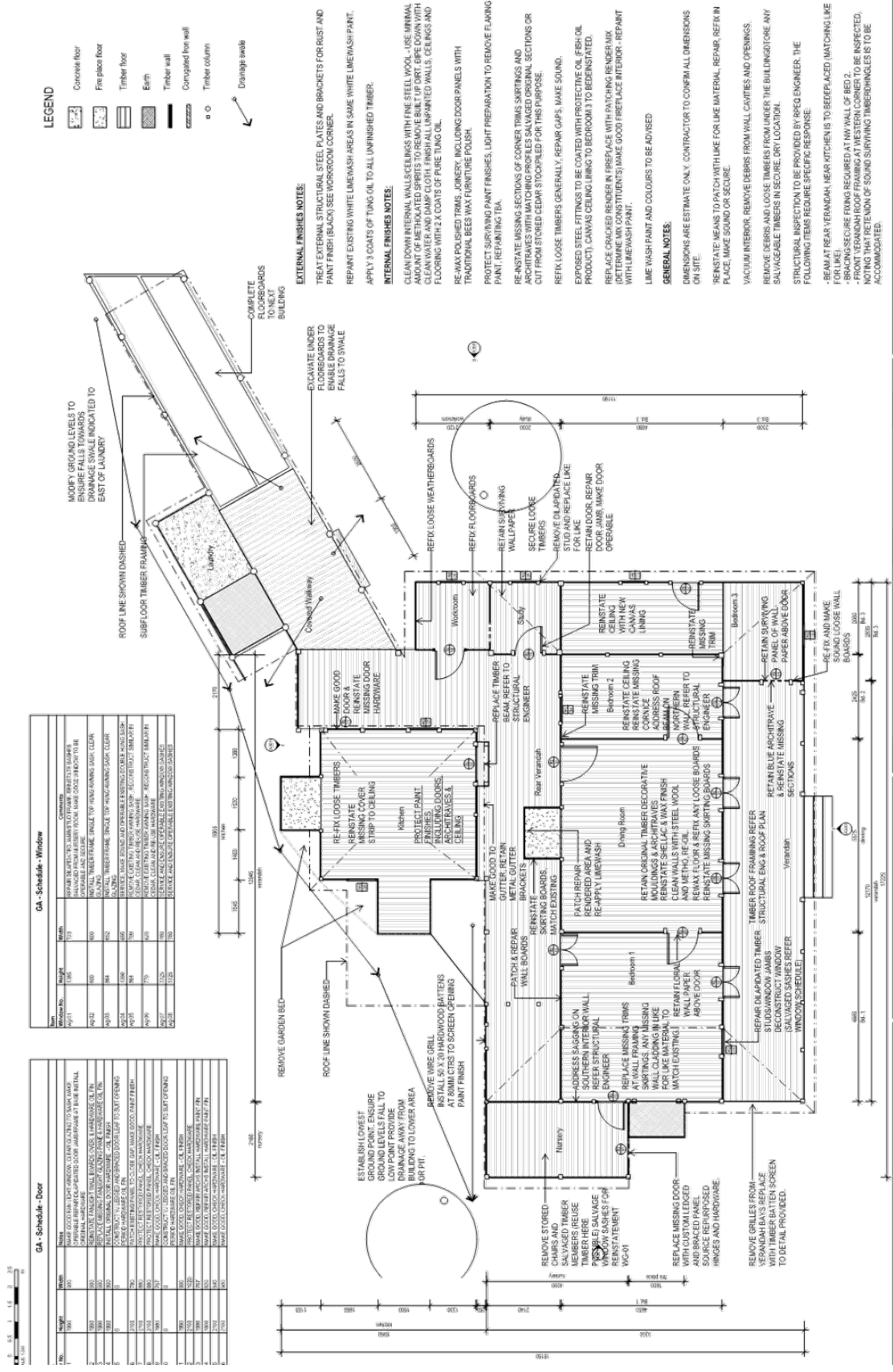


SITE NOTES:
 DIRECT STORM WATER DRAINAGE AWAY FROM BUILDINGS VIA STORM WATER SWALE AT REAR AS
 INDICATED. STORM WATER TO DRAIN AWAY FROM THE BUILDING TO OPEN AREA OR STORMWATER PIT.
 ENSURE FINISHED GROUND LEVELS FALL AWAY FROM THE BUILDING ON ALL SIDES.

PROJECT Boondooma Homestead Restoration Works Eminent Heritage Pty Ltd 8262 Mundubera Road, Boondooma, QLD, 4613	SHEET NO. 21802CD_A000
DATE Jan 2021	SCALE 1:500 @ A1
DRAWN CU	CHECKED P 1
111 Corporation Works IN EXISTING WORK DATE: 30/03/2021	
111 111 111	

Boondooma Homestead Restoration Works 8262 Mundubera Road, Boondooma, QLD, 4613



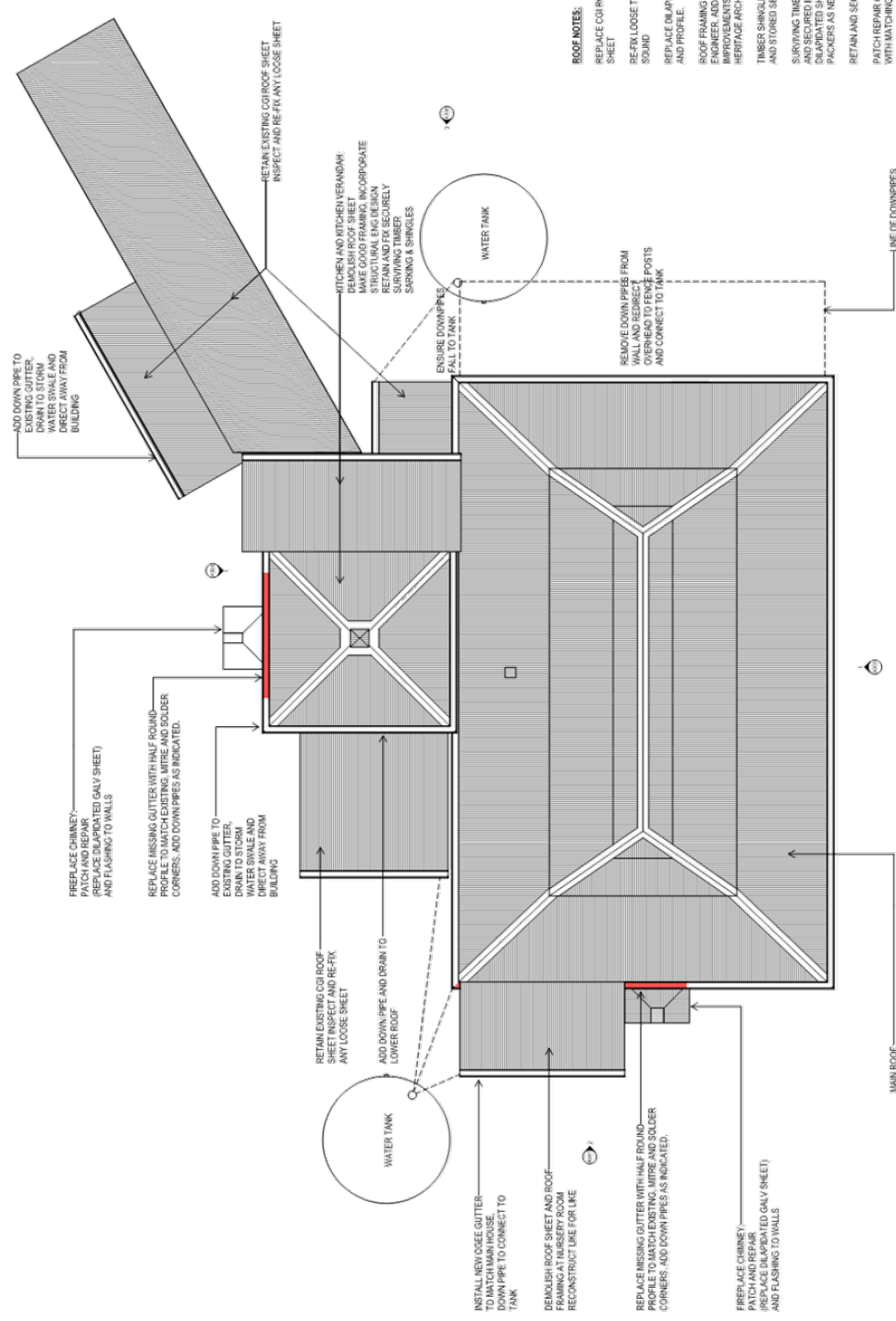


GA GIBSON ARCHITECTS

111 Conservation Works
 21802CD A200
 As indicated @ A1
 Jan 2021
 CU

Conservation World Ground Floor
 Bombooma Homestead Restoration Works
 Extent Heritage Pty Ltd
 8022 Bandjibirra Road, Bombooma, QLD, 4613

DATE: 31/01/2024



ROOF NOTES:

- REPLACE CGI ROOF SHEET WITH MATCHING PROFILE CGI SHEET
- RE-FIX LOOSE TIMBERS SECURELY. ENSURE FRAME IS SOUND
- REPLACE DILAPIDATED TIMBERS WITH MATCHING SPECIES AND PROFILE.
- ROOF FRAMING TO BE INSPECTED BY STRUCTURAL ENGINEER. DAMAGED JOINTS, STRUCTURAL IMPROVEMENTS TO BE PROVIDED IN CONJUNCTION WITH HERITAGE ARCHITECT.
- TIMBER SHINGLES FROM NURSERY ROOF TO BE SALVAGED AND STORED SECURELY.
- SURVIVING TIMBER SHINGLES AT MAIN ROOF TO BE RETIRED AND SECURED IN PLACE UNDER NEW ROOF SHEET. DILAPIDATED SHINGLES MAY BE REMOVED OR USED AS PACKERS AS NEEDED.
- RETAIN AND SECURE ROOF SHEET OVER WORKROOM.
- PATCH/REPAIR GALVANISED LOOSE GUTTERS TO MAIN ROOF WITH MATCHING MATERIAL. REUSE SOUND BRACKETS.
- PATCH/REPAIR HALF ROUND GUTTERS TO KITCHEN ROOF WITH MATCHING MATERIALS. PROTECT AND RE-USE CUSTOM GUTTER SUPPORT SPINES BRACKETS.
- MODIFY DOWN PIPE DRAINAGE TO TANKS AND GENERALLY MAKE GOOD GUTTER DRAINAGE SYSTEM

GA GIBSON ARCHITECTS
 1/100 Sturt Street, Brisbane QLD 4000
 P 61 7553 5144
 F 61 7553 5144
 www.gagibson.com.au

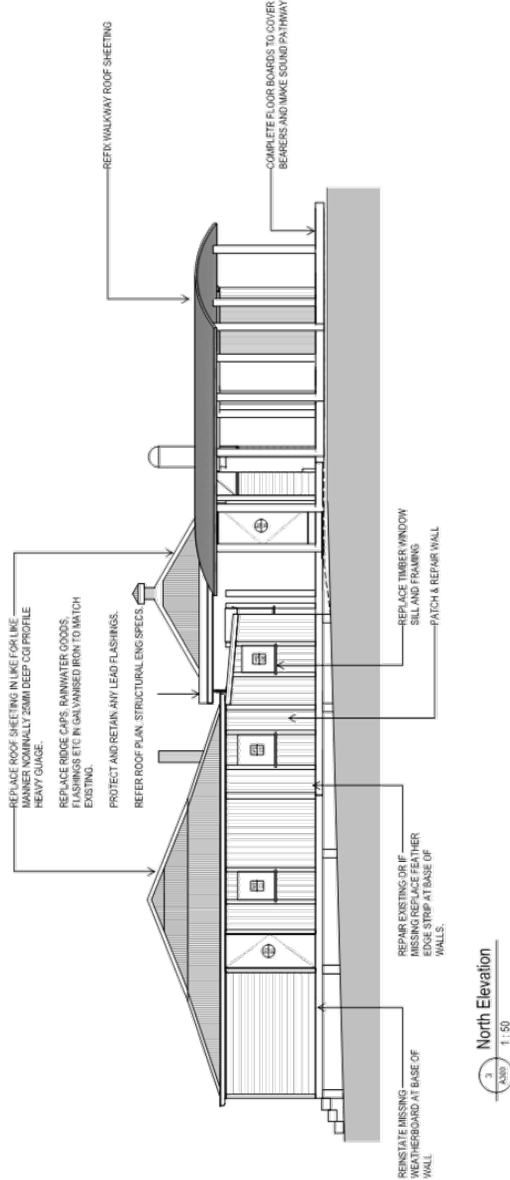
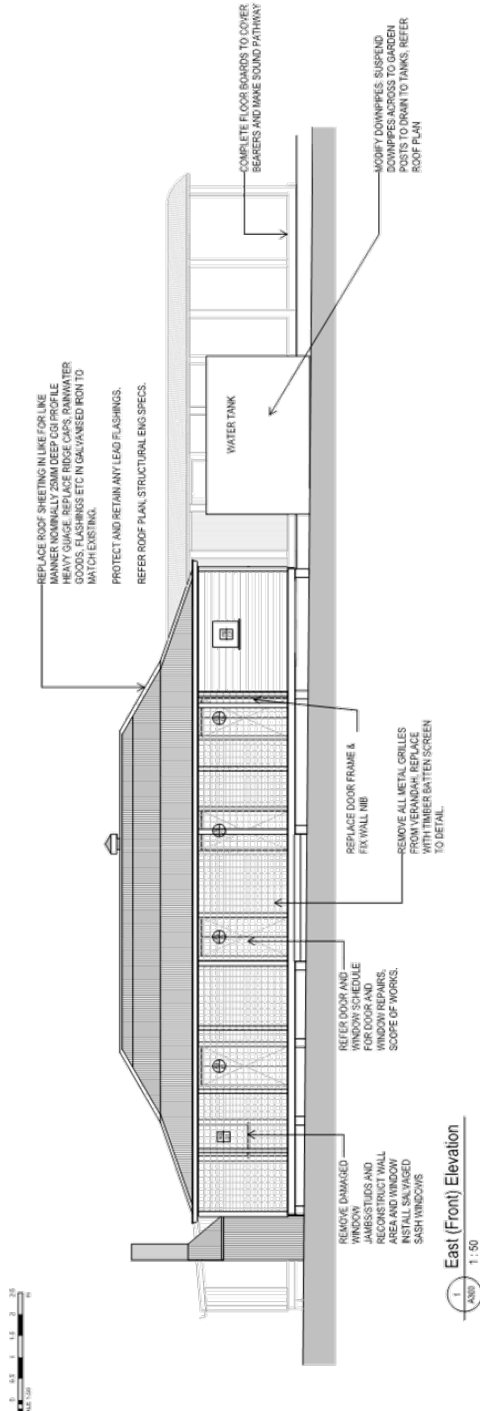
Project No. 21802CD A201
 Scale 1:50
 Date Jan 2021
 Author LVR

Conservation Works Roof Plan
 Project Boombooma Homestead Restoration Works
 Client Exent Heritage Pty Ltd
 8052 Mandi-bawa Road, Boombooma, QLD, 4613

Sheet No. P 1
 Date 06/02/2021

1:1 Conservation Works
 06/02/2021

1:1 Conservation Works
 06/02/2021



EXTERNAL FINISHES NOTES:

TREAT EXTERNAL STRUCTURAL STEEL PLATES AND BRACKETES FOR RUST WITH AN ANTI-RUST PRIMER. REFER WORKSHEET FOR MORE DETAILS.

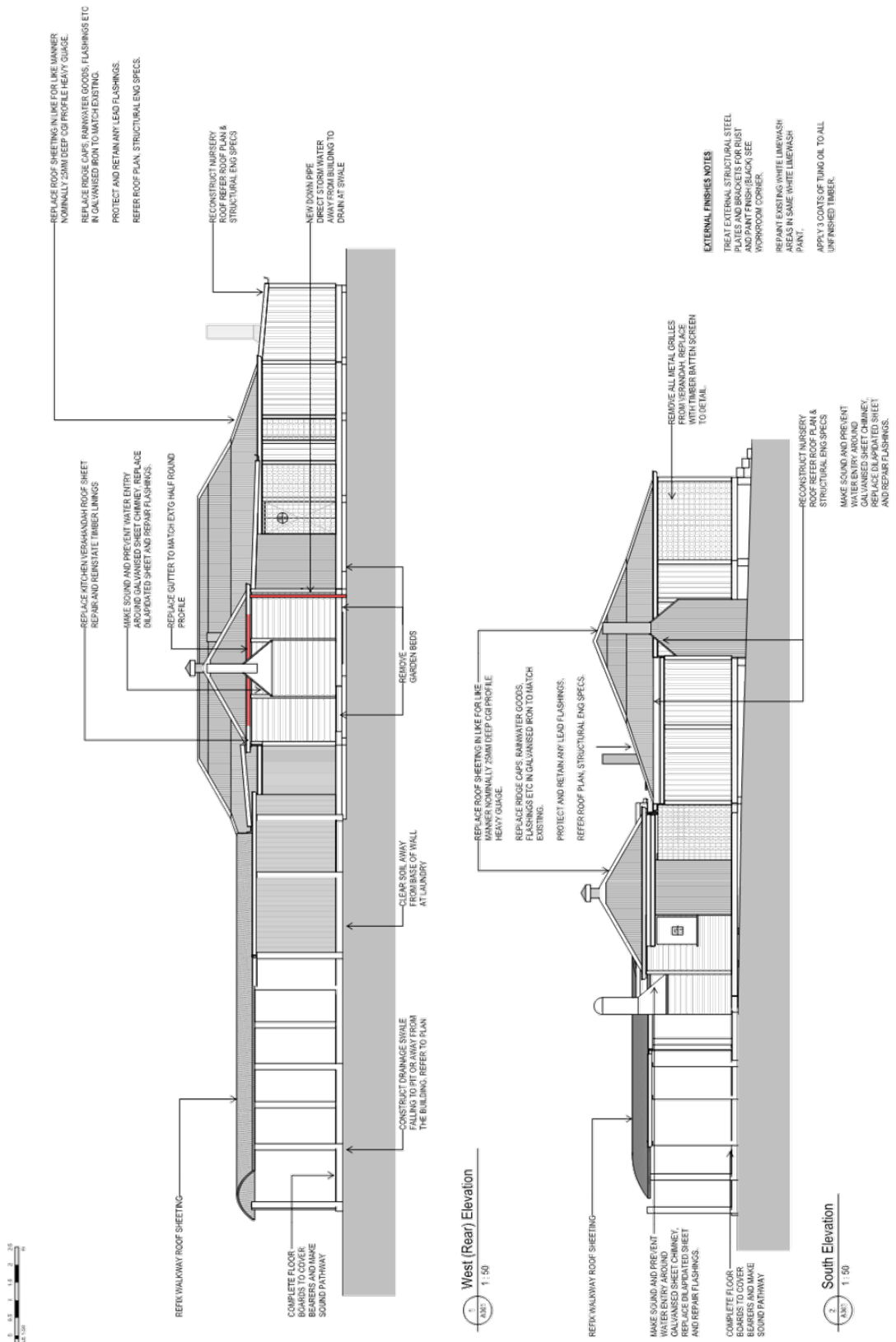
REPAINT EXISTING WHITE LIMEWASH AREAS IN SAME WHITE LIMEWASH PAINT.

APPLY 3 COATS OF TUNG OIL TO ALL UNFINISHED TIMBER.

TIMBER BATTEN SCREEN TO FRONT VERANDAH TEA.

Conservation Elevations Sheet 1		Draw No. 21802CD A300	Scale 1:50 @ A1	Date Jan 2021	Sheet P 1
PROJECT		Bomboms Homestead Restoration Works			
CLIENT		Ewert Heritage Pty Ltd			
ADDRESS		8632 Mandubara Road, Bomboms, QLD, 4613			
DRAWN BY		CU			

GA GIBSON ARCHITECTS
 170 Mac20th Avenue, Ipswich QLD 4700
 Phone: 07 551 3333
 Email: info@gagibson.com.au
 Website: www.gagibson.com.au



EXTERNAL FINISHES NOTES

TREAT EXTERNAL STRUCTURAL STEEL PLATES AND BRACKETS FOR RUST AND PAINT FINISH (BLACK). SEE WORKROOM CORNER.

REPAIR EXISTING WHITE LIMEWASH AREAS IN SAME WHITE LIMEWASH PAINT.

APPLY 3 COATS OF TUNG OIL TO ALL UNFINISHED TIMBER.

GA GIBSON ARCHITECTS
110 Macquarie Street, Ipswich QLD 4700
P 07 551 33 87 F 07 551 33 44
www.gibsonarchitects.com.au

Conservation Elevations Sheet 2

DATE: 06/02/2024

PROJECT: Boomboom Homestead Restoration Works
Evan Heritage Pty Ltd
8282 Mandoomah Road, Boomboom, QLD, 4613

SCALE: 1:50
DATE: Jan 2021
JOB NO: LVR

21/02/2024 A301

1:50 @ A1

P 1



Quote: 1096 / Date: 4/7/2023
Project Number: P23011

Customer

H & G Contractors Pty Ltd
2/12 Sonia Court
Raceview, QLD
4305, AU
+61 7 3288 8609

South Burnett Regional Council

Project: Boondooma Homestead – Prioritised Maintenance.

Scope of Work

Please note the intent of this tender is to provide maintenance and upkeep to the existing homestead building.

Our tender is based on Plans by Gibson Architects – 21602CD P1 – A000; A200; A201; A300; A301.

Appendix A – Extent Heritage Pty Ltd.

Appendix B – Extent Heritage Pty Ltd.

1. Roofing and Roof Plumbing.

Roofing Products to be supplied in Heritage Z600 GAL.

Supply and replace corrugated roof sheeting.

Supply and replace roll top ridge cap.

Supply and install MM OGEE Gutters 150mm.

Supply and install spike gutter brackets to suit.

Supply and install half round gutter to match existing as close as possible.

Supply and install flashings, chimney flashings, and specialty products.

Supply and install downpipes in 100mm Galvanised.

No allowance has been made to replace structural members, ceilings linings, cladding, etc.

Work in accordance with marked up Plan 21602CD A200. P1; A300 P1; A301 P1.

Refer Roof Plan 21602CD A201 P1.

2. External Work

Refer marked up Plan 21602CD A200 P1. Items 2.



Quote: 1096 / Date: 4/7/2023
Project Number: P23011

3. Timber Windows and Doors.

Refer Door and Window Schedule Plan 21602CD A200 P1. Items 3.

4. Internal Works.

Refer marked up plan 21602CD A200 P1. Items 4.

Item 4e. - We have made an allowance of 40hours labour to re-fix timbers generally. We have not allowed to supply new timbers.

Item 4i. - We have allowed to generally clean and vacuum on completion of works. Cleaning inside of wall cavities has not been allowed due to the excessive cost of having to remove linings to access.

Our tender does not allow for a structural inspection by RPEQ Engineer.

Our tender does not allow to loose timbers from under building.

It is assumed accommodation in dongers on site will be provided free of charge.

Stage 1 - Approx. 5 weeks for 3 men.

Stage 2 - Approx. 8 weeks for 2 men.

Stage 3 - Approx. 4 weeks for 2 men.

Stage 4 - Approx. 8 weeks for 2 men.

1. Roofing and Roof Plumbing

	Total Cost
	\$ 162,458.25

2. External Works

	Total Cost
	\$ 95,471.25

3. Windows and Doors

	Total Cost
	\$ 90,200.00

4. Internal Works

	Total Cost
	\$ 102,312.50



Quote: 1096 / Date: 4/7/2023
Project Number: P23011

Included (+)

- 1. Cleaning of Floors and Apply Tung Oil x 2 coats. No Industrial Sanding and or polishing allowed.

Excluded (-)

- 1. Allowance to upgrade new and or existing building to current NCC and BCA standards.
- 2. Electrical & Plumbing
- 3. Accommodation Allowance
- 4. Allowance for Design, Certification, Planning, Inspections and/or Approvals.
- 5. Relocate, divert, cap and/or raise/lower existing services not clearly marked on plans.
- 6. Any statutory fees, electricity diversions, water metering, building or development approvals.
- 7. Connection fees for water, gas, communications, fire services or electricity.
- 8. DA & BA conditions, fees, bonds, headwork's charges or deposits.
- 9. Latent ground conditions to include dewatering/contamination/fire ants, etc.
- 10. Q-leave payments.
- 11. Removal of asbestos.

Notes

Summary

Subtotal	\$ 450,442.00
Taxes	\$ 45,044.20

\$ 495,486.20

.....

15.2 APPLICATION FOR FUNDING UNDER THE HEART FOUNDATION ACTIVE AUSTRALIA INNOVATION CHALLENGE

File Number: 6/03/2024
Author: Acting General Manager Liveability
Authoriser: Chief Executive Officer

PRECIS

Application for funding under the Heart Foundation Active Australia Innovation Challenge

SUMMARY

That Council apply for funding under the Heart Foundation Active Australia Innovation Challenge to purchase and install a Mouse House in the Youth Precinct at Memorial Park, Kingaroy.

OFFICER'S RECOMMENDATION

That South Burnett Regional Council endorse an application for funding under the Heart Foundation Active Australia Innovation Challenge.

FINANCIAL AND RESOURCE IMPLICATIONS

Landscape architects are currently preparing the detailed design for the youth precinct have sought quotes from relevant suppliers for the Mouse House. A breakdown of costs is as follows:

Mouse House Supply	\$50,000
Mouse House Installation	\$10,000
Softfall (10m ²)	\$4,000
Total:	\$64,000

Council is seeking funding of \$50,000 and will fund the remaining \$14,000 from its current capital budget for 23/24. Council is also contributing some \$250,000 towards the broader youth precinct development.

LINK TO CORPORATE/OPERATIONAL PLAN

EC1 Develop and implement initiatives to enhance community parks, gardens and recreational facilities, which may include: tree planting strategy, botanical gardens and perennial (drought tolerant) shrubs and flower planting programme.

COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)

The Draft Master Plan was released for community feedback in November 2022.

The community engagement process included:

- Information about the project, including links to the draft report and master plan designs posted on Council's "Have Your Say" page.
- A community survey – facilitated online and with hard copy options.
- Signage at Memorial Park and other key locations providing a link to the Have Your Say page and the community survey.
- Meetings with key stakeholder groups. All stakeholder groups who were consulted during the first round of consultation was invited to attend a follow-up meeting.
- School visits and facilitated sessions with students to get input into the youth needs.
- Shopfront display located adjacent to the Kingaroy Library. This was opened and staffed by members of the project team at six advertised times over a three-week period and was opened as required by Council staff during the engagement period.

- One staffed consultation display at the WJ Lang Memorial Pool during the first week of the school holidays.

LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)

No legal implications

POLICY/LOCAL LAW DELEGATION IMPLICATIONS

No policy/Local Law delegation implications

ASSET MANAGEMENT IMPLICATIONS

The Youth Recreation Precinct would be a new capital asset in Councils Parks. The asset would contribute depreciation costs to the Parks program.

REPORT

Installing a Mouse House as part of the youth play precinct aims to provide a unique and engaging recreational experience for young people in the region, addressing the identified need for more inclusive and appealing youth play opportunities that are currently not available in our region. This project will contribute to increasing the level of physical activity among our target demographic by offering a dynamic way for youth to be active, promoting cardiovascular health, coordination, and balance. By including the Mouse House alongside the accompanying features of the multipurpose court, ninja warrior course, hangout spaces and future parkour course, the aim is to attract youth to the precinct and inspire a culture of active living, encouraging them to embrace physical activity as part of their daily lives. It is hoped that the Mouse House will become a key attractor for the precinct, enhancing the space for youth to have fun and be active, thereby fostering social connections and community cohesiveness. The flow-on benefits of this for young people will be numerous including community pride, crime deterrence, teamwork and positive peer influence.

Applications close Friday 1 March 2024. Then there is a period of short listings. The finalists and applicants will be informed early April of the short listings. If an applicant has been successful they will be invited to 'pitch' their idea via video link in front of the National Judging panel. If Council was successful it would be mid-year that we would be notified.

ATTACHMENTS

1. **Active Australia Innovation Challenge - Application Guide**
2. **Mouse House - Information Flyer from Urban Play**



Active Australia Innovation Challenge



ACTIVE AUSTRALIA
INNOVATION CHALLENGE

Contents

Introduction to AAIC

Page 1

What is the Active Australia
Innovation Challenge

Application Process

Page 2

Who can apply
What projects will be funded

Page 3-4

What we cannot fund

Page 5

How applications will
be scored

Page 6

What we consider an
innovative idea

Key Dates

Page 7

Timings for your
consideration

Question Guide

Page 8-9

INTRODUCTION TO AAIC

What is the Active Australia Innovation Challenge?

The Heart Foundation is offering multiple grants up to the value of \$50,000 for new, innovative projects that get more people moving in schools, universities or local community groups.

This guide will help give you, and your project idea, the best chance.

We are encouraging community groups, councils, schools (preschools, primary and secondary), tertiary institutions (universities, TAFEs, colleges), and other organisations to come up with an innovative idea to encourage physical activity in a chosen group or community.

Community members/individuals will need to either hold a current Australian Business Number (ABN) or partner with an eligible entity (one that holds a current ABN) for the project to be considered eligible, and to enable a funding agreement to be executed.

If you are working with another organisation, the organisation holding the ABN must submit the application. They will be responsible for receiving and managing the grant and be accountable for the delivery of the project.





Application process

Who can apply?

- Community groups e.g. residents' groups, parents' groups, environmental groups, sporting organisations, Scouts and Girl Guides, community centres, councils, schools (preschools, primary and secondary), tertiary institutions (universities, TAFEs and colleges), and other organisations
- Community members/individuals (see requirements below)
- Previous winners of the Active Australia Innovation Challenge will need to demonstrate an enhancement or expansion of the previously awarded project, or a new innovative idea, to be eligible to enter in 2024.
- Those with a previously submitted project who were not awarded a grant, who have updated or enhanced their original idea

What projects will we fund?

This grant is intended to provide funding to kick-start a project or to provide seed funding in support of a larger project. Should the project be for the latter, supporting documentation will need to be provided to confirm funding has already been sought to fulfil the project implementation.

The Heart Foundation strongly encourages innovative projects that support people:

- identifying as Aboriginal or Torres Strait Islander
- with culturally and linguistically diverse backgrounds
- living with a disability
- living in rural and remote regions.

APPLICATION PROCESS

What we cannot fund

We may have to decline applications that do not meet the eligibility criteria, or where we are unable to see a clear alignment to the primary goals of the initiative. The following is a list of projects and applications that are ineligible. Please take the time to read through this list to ensure your project matches what we are looking for.



Projects that have been implemented or completed prior to the application being submitted.



Projects that are not low cost. Projects that charge a small fee will be eligible if they are:

- Accessible for the intended group or community; and
- Can demonstrate that a fee is required for the sustainability of the project.



Projects that don't have the primary objective of 'increasing physical activity' for the chosen group or community.



Projects that cannot be completed within 12 months of receiving the grant.



Projects that are deemed to be 'business as usual' for the organisation applying.

APPLICATION PROCESS

What we cannot fund



Projects that are outside of Australia.



Projects seen to primarily benefit an applicant or business, for example increasing profits, increasing revenue sources and/or covering existing employee salary costs for the duration of the funded project.



Where the applicant is unable to enter into a Funding Agreement with the Heart Foundation. Community members/individuals will need to either hold a current Australian Business Number (ABN) or collaborate with an eligible entity (one that holds a current ABN) to enable a funding agreement to be executed.

In a 'collaboration scenario', the organisation holding the ABN must submit the application. They will be responsible for receiving and managing the grant and be accountable for the delivery of the project.

The Heart Foundation reserves the right to declare an application ineligible if, in the reasonable opinion of the Heart Foundation, the applicant is unable to represent, promote or initiate the idea in a satisfactory manner.

APPLICATION PROCESS

How applications will be scored

Community need

Is there an identified need in the target group or community for the project?

Have the barriers to being physically active in the chosen group or community been identified?

Will the community and other stakeholders be effectively utilised to help develop and implement the project?

Does the applicant describe a creative or new idea for a project, partnership, product and/or process to increase physical activity within the specific group or community?

Capacity and Sustainability

Has planning for the future of the project occurred?

Is the project sustainable in similar groups or communities?

Alignment to grant outcomes

Is the project reaching or meeting the needs of those not meeting the national physical activity guidelines, people at risk of chronic disease and people living in communities with high levels of physical inactivity?

Is a comprehensive process planned to develop and implement the project?

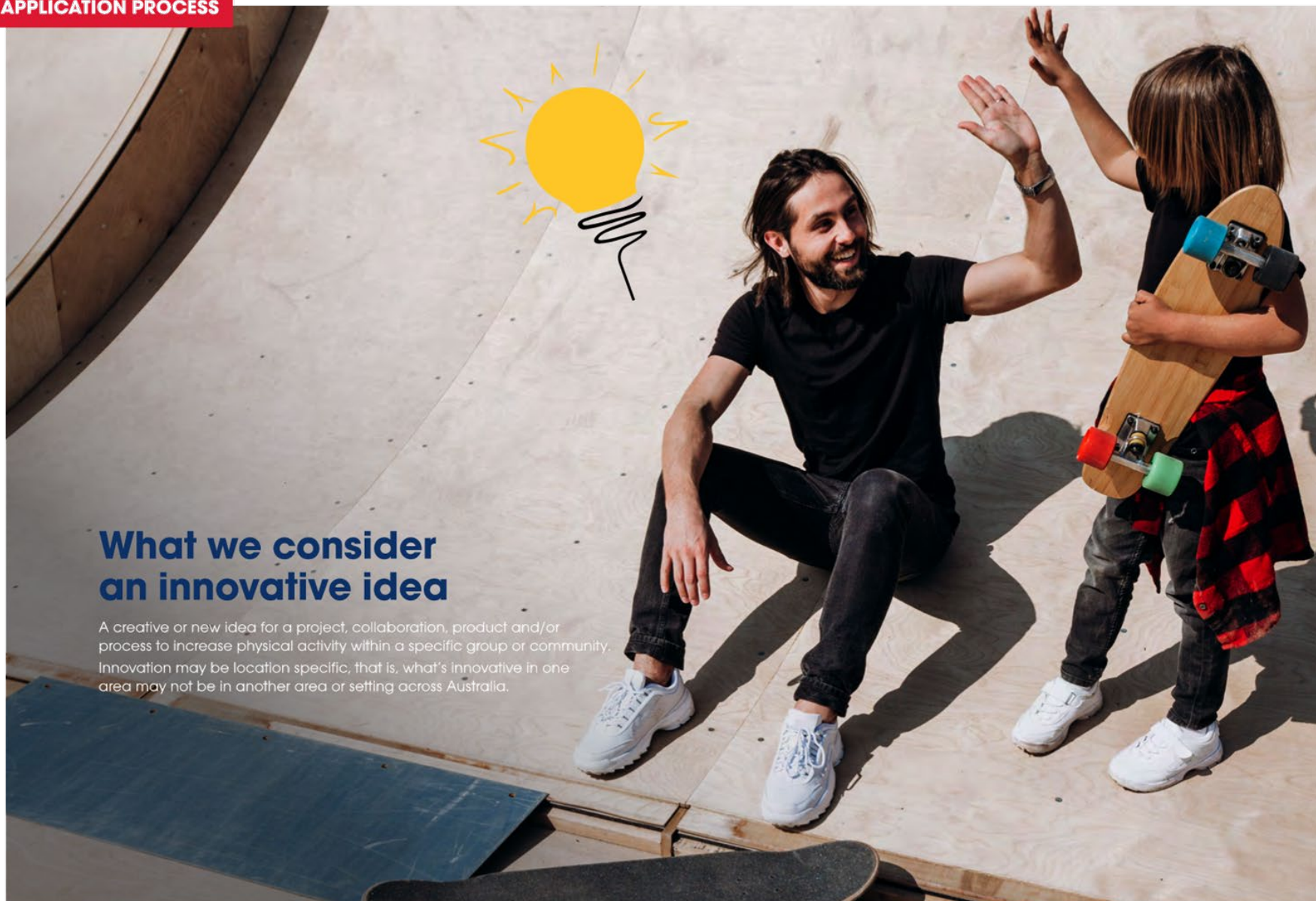
Timeframes and Budget

Have timeframes and budgets been identified?

Consider:

- time constraints
- legislative or regulatory constraints
- technical constraints
- safety concerns (or similar)

APPLICATION PROCESS



What we consider an innovative idea

A creative or new idea for a project, collaboration, product and/or process to increase physical activity within a specific group or community. Innovation may be location specific, that is, what's innovative in one area may not be in another area or setting across Australia.

KEY DATES

Timings for your consideration

<p>5 Feb</p> <p>APPLICATIONS OPEN</p> <p>Applications open 9am AEST Monday 5 February 2024.</p>	<p>1 March</p> <p>APPLICATIONS CLOSE</p> <p>Late submissions will not be accepted so please make sure you submit your application on time.</p> <p>Applications close midnight AEST Friday 1 March 2024.</p>	<p>8–29 March</p> <p>ROUND 1 SHORTLISTING</p> <p>Eligible entries will be assessed by the judging panels against the criteria.</p>	<p>3-5 April</p> <p>FINALISTS AND APPLICANTS INFORMED</p> <p>All applicants will be contacted via email to confirm the outcome of the shortlisting process. If the application has been selected as a finalist, the applicant will be invited to 'pitch' the idea via video link in front of a National Judging panel.</p>
<p>29 Apr - 1 May</p> <p>FINAL PITCH JUDGING</p> <p>Finalists will have 10 minutes to present their proposal and 5 minutes for questions. The pitch will be run via video link, in front of a judging panel of experts.</p>	<p>6 May</p> <p>WINNERS ADVISED</p> <p>The winners will be contacted via email within 7 business days of judging.</p>	<p>Jun/Jul TBC</p> <p>WINNERS WORKSHOP</p> <p>Successful applicants will be required to participate in a workshop to support the implementation of their project. Successful applicants will receive further communication in regards to the details of the workshop.</p>	

QUESTION GUIDE

Application question guide

Below are the application questions, and tips on what the judges will be looking for. We suggest keeping this guide on hand and drafting your responses before you commence your online application form. Once you start your online application, you won't be able to save and come back to it.

Q1. What is the name of your project?

Q2. Please provide a brief summary of your project

This summary may be used in media, case studies and for promotional purposes.
200 words maximum

Q3. Who is this project for? Who is your target group or community?

Q4. Why was this group or community chosen?

Consider including in your response

- Levels of activity for this group or community, if known
- Reasons why this group or community are not active enough

150 words maximum

Q5. What do you hope to achieve with this project?

Q5. What do you hope to achieve with this project?

Importantly, include how your project will make a difference to the level of physical activity in your chosen group or community.
200 words maximum

Q6. What is the name of the organisation supporting your idea?

- How well the objectives of this project have been clearly articulated
- How this project will make a difference to the sustainable levels of physical activity in a chosen group or community

Q6. What is the name of the organisation supporting your idea?

This is the organisation that will enter into a funding agreement with the Heart Foundation and must have a valid ABN.

Q7. Please provide (Organisation name) ABN

The ABN should be 11 numbers in length (numbers only), with no spaces.

Q8. Describe how your idea is innovative in encouraging people to be more physically active.

Make sure you describe how your project is different or new for your chosen group/community and/or region.
150 words maximum

Q9. The judges will assess:

- How innovative/new/creative is this project in encouraging the target group or community to be more physically active.

Note: The applications may describe an innovative project idea, collaboration, product and/or process.

The total word count for all questions must not exceed 1000 words. The word count includes the question text.

Q9. The judges will assess:
• How well the objectives of this project have been clearly articulated
• How this project will make a difference to the sustainable levels of physical activity in a chosen group or community

Q9. The judges will assess:
• How innovative/new/creative is this project in encouraging the target group or community to be more physically active.

Note: The applications may describe an innovative project idea, collaboration, product and/or process.

The total word count for all questions must not exceed 1000 words. The word count includes the question text.

QUESTION GUIDE

Q9. How are you going to measure the outcomes of the project?

What evaluation methods will be used? e.g. participant feedback, pre and post survey, attendance rates.

200 words maximum

Q9. The judges will assess:

- How well the project outcomes have been described
- Are evaluation methods described
- Are they suitable with regards to measuring the main outcomes or achievements

Q10. Are there any participant costs associated with your project? If so, what are they?

Please describe how they have been determined and what they will be used for. Please include any participant costs in your budget breakdown (next question). NB: Please double check the 'We cannot fund' section on page 3 of these guidelines in relation to costs, to ensure your project is eligible.

50 words maximum

Q11. Please provide a detailed breakdown of how you intend to spend the grant over the course of the project.

Q10-Q11. The judges will assess:

- Are the timeframes for the project realistic?
- Is the budget for the project realistic and appropriate?
- If there are participant costs, are they reasonable/sustainable

Q12. Describe how the project can be maintained or progressed past the conclusion of the funding period.

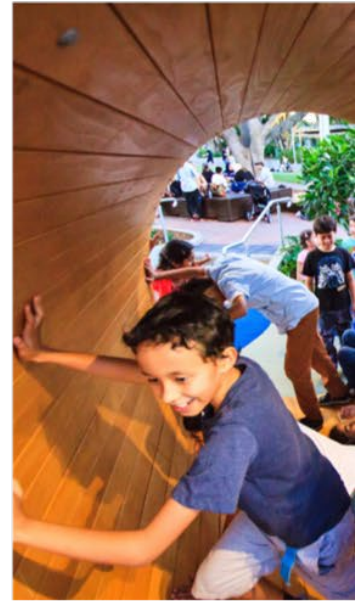
100 words maximum

Q12. The judges will assess:

- Has consideration been given to the continuation of this project post AAIC funding?
- Can the project idea be replicated in similar groups or communities?
- Does this project have potential to be implemented on a larger scale, i.e. nationwide or worldwide?



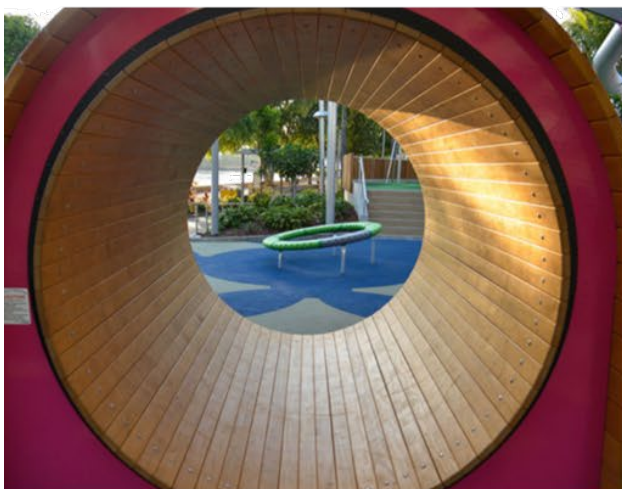
INSPIRING MINDS, EMPOWERING BODIES, IGNITING ADVENTURE
OUR PLAYGROUNDS ARE THOSE PLACES



MOUSE HOUSE

The Mouse House by Rocktopus is an exciting new approach to all inclusive play. Run, sit or slide inside the giant timber roller for carnival style thrills time and time again. Customisable to any colour and 2m x 2.4m in size, this piece of ergonomic engineering challenges user coordination and stability for hours of fun for everyone.

- 60x5mm Neoprene rubber safety guard
- Steel galvanised or zinc sprayed framework
- Radiata pine internal slats
- Steel roofing prepainted to various colours
- 4x Urethane running wheels with 6304 RS bearings



16 PORTFOLIO - TOURISM & VISITOR INFORMATION CENTRES, SPORT & RECREATION AND COMMERCIAL ENTERPRISES

Nil

17 PORTFOLIO - REGIONAL DEVELOPMENT, DEVELOPMENT SERVICES, COMMUNITY & SOCIAL HOUSING

17.1 RECONFIGURING A LOT – 1 LOT INTO 2 LOTS AT 2 WATERVIEW DRIVE, MOFFATDALE (AND DESCRIBED AS LOT 1 ON SP207409) APPLICANT N C FRENCH C/- ONF SURVEYORS

File Number: RAL23/0039
Author: Planning Consultant
Authoriser: Chief Executive Officer

PRECIS

Development Application for Reconfiguring a Lot – Development Permit (Subdivision 1 Lot into 2 Lots) at 2 Waterview Drive MOFFATDALE (and described as Lot 1 on SP207409).

SUMMARY

- Application for Reconfiguring a Lot – development permit (Subdivision 1 Lot into 2 Lots) at 2 Waterview Drive MOFFATDALE (and described as Lot 1 on SP207409).
- The proposed development will result in two (2) lots with access to Waterview Drive, one of which is a rear lot which is to be accessed via a 7-metre-wide access handle.
- The subject site is located in the Rural Residential Zone under the South Burnett Regional Council Planning Scheme.
- The proposal triggered Impact Assessment as the proposed lots do not meet the minimum lot size of two hectares as prescribed for the Rural Residential Zone.
- The subject site has an area of 9,075m².
- The development application is assessed against the entirety of the South Burnett Regional Council Planning Scheme, including:
 - Strategic Framework
 - Rural Residential Zone Code
 - Reconfiguring a Lot Code
 - Services and Works Code
- The application triggered referral to SARA as the site is adjacent to a State-controlled Road (Murgon Barambah Road). SARA provided a referral agency response dated 1 February 2024 approving the development subject to conditions.
- Council did not issue an information request.
- The application has been assessed and the proposal generally meets the requirements of the Planning Scheme and relevant codes or has been conditioned to comply (refer Attachment A – Statement of Reasons).
- Two public submissions were received in objection to the application.
- Refer Attachment B – Infrastructure Charges Notice;
- Refer Attachment C – Approved Plans;
- Refer Attachment D – Referral Agency Response; and
- Application recommended for approval subject to reasonable and relevant conditions.

OFFICER’S RECOMMENDATION

That Council approve the Reconfiguring a Lot – development permit (Subdivision 1 Lot into 2 Lots) at 2 Waterview Drive MOFFATDALE (and described as Lot 1 on SP207409).

GENERAL

GEN1. The approved development must be completed and maintained generally in accordance with the approved plans and documents, except where amended by the conditions of this permit:

Drawing Title	Prepared by	Ref No.	Rev.	Date
---------------	-------------	---------	------	------

Proposed Subdivision	ONF Surveyors	11827P/1	B	26/10/2023
----------------------	---------------	----------	---	------------

Timing: At all times.

GEN2. All works, including the repair or relocation of services is to be completed at no cost to Council.

COMPLIANCE

GEN3. All conditions of this approval are to be satisfied prior to Council endorsing the Survey Plan, and it is the applicant's responsibility to notify Council to inspect compliance with Conditions.

A fee will be charged, with payment required prior to Council's approval of the associated documentation requiring assessment.

OUTSTANDING FEES

GEN4. Prior to the sealing of the Plan of Survey the applicant is required to pay the Council all rates and charges or any expenses being a charge over the subject land under any Act in accordance with Schedule 18, Section 69 of the Planning Regulation 2017.

SURVEY MARKS

RAL1. Prior to the submission of the Survey Plan to Council, the applicant is to reinstate survey marks and install new survey marks in their correct position in accordance with the Survey Plan, and the work is to be certified in writing by a Licensed Surveyor.

PLANNING

RAL2. All development involving the emission of noise, odour and dust from ongoing uses, building and/or construction activities, must ensure that the emissions are in accordance with the requirements of the *Environmental Protection Act 1994*.

Timing: As indicated.

PROPERTY BOUNDARIES

RAL3. All existing on-site structure, dams and sewerage treatment facilities including transpiration and irrigation areas are to be relocated so as not to cross the proposed property boundary.

ENGINEERING WORKS

ENG1. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to Council's endorsement of the Survey Plan unless stated otherwise.

ENG2. Be responsible for any alteration necessary to electricity, telephone, water mains, sewer mains, stormwater drainage systems or easements and/or other public utility installations resulting from the development or from road and drainage works required in connection with the development.

LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS

ENG3. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.

ENG4. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.

STORMWATER MANAGEMENT

- ENG5. Provide overland flow paths that do not adversely alter the characteristics of existing overland flows on other properties or that create an increase in flood damage on other properties.
- ENG6. Discharge all minor storm flows that fall or pass onto the site to the lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).
- ENG7. Adjoining properties and roadways to the development are to be protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.

WATER SUPPLY

- ENG8. Provide a water supply in compliance with Australian Drinking Water Guidelines - current edition 2011 and enHealth Guidance of use of Rainwater standards for potable water.

ON-SITE WASTEWATER DISPOSAL

- ENG9. Future Dwellings must be connected to an on-site effluent disposal system, in accordance with AS 1547 and the Queensland Plumbing and Waste Water Code.

Timing: Prior to the issue of a Building Approval for a future Dwelling on the proposed lots.

VEHICLE ACCESS

- ENG10. Design and construct a vehicle crossover to each lot having a minimum width of 4 metres in accordance with Council's Standard Drawing No. 00049.

Comment: A single wider crossover is permitted to service both properties, provided the minimum 4m width is provided for each lot.

- ENG11. The driveway for proposed Lot 34, for the length of the access handle, shall comprise 100mm of compacted gravel 4m wide.
- ENG12. Construct any new crossovers such that the edge of the crossover is no closer than 1 metre to any existing or proposed infrastructure including any stormwater gully pit, manhole, service infrastructure (eg power pole, telecommunications pit), road infrastructure (eg street sign, street tree, etc).

TELECOMMUNICATION

- ENG13. Provide telecommunications to all lots within the development.

ELECTRICITY

- ENG14. Provide electricity supply to all lots within the development to comply with Ergon Energy's requirements.
- ENG15. Submit to Council, written confirmation from an electricity provider (Certificate of Supply) that an agreement has been made for the supply of electricity.

SERVICES – EXISTING CONNECTIONS

- ENG16. Ensure that all services provided to each lot are wholly located within the lot(s) it serves.

EROSION AND SEDIMENT CONTROL – GENERAL

- ENG17. Ensure that all reasonable actions are taken to prevent sediment or sediment laden water from being transported to adjoining properties, roads and/or stormwater drainage systems.

ENG18. Remove and clean-up the sediment or other pollutants in the event that sediment or other pollutants are tracked or released onto adjoining streets or stormwater systems, at no cost to Council.

STANDARD ADVICE

ADV1. Section 85(1)(b) of the *Planning Act 2016* provides that, if this approval is not acted upon within a period of four (4) years the approval will lapse.

ADV2. This development approval does not authorise any activity that may harm Aboriginal Cultural Heritage. Under the Aboriginal Cultural Heritage Act 2003 you have a duty of care in relation to such heritage. Section 23(1) provides that "A person who carries out an activity does not harm Aboriginal Cultural Heritage." Council does not warrant that the approved development avoids affecting Aboriginal Cultural Heritage. It may therefore be prudent for you to carry out searches, consultation, or a Cultural Heritage assessment to ascertain the presence or otherwise of Aboriginal Cultural Heritage. The Act and the associated duty of care guidelines explain your obligations in more detail and should be consulted before proceeding. A search can be arranged by visiting <https://www.datsip.qld.gov.au> and filling out the Aboriginal and Torres Strait Islander Cultural Heritage Search Request Form.

ADV3. Attached for your information is a copy of Chapter 6 of the Planning Act 2016 as regards to Appeal Rights.

INFRASTRUCTURE CHARGES

ADV4. Infrastructure charges are now levied by way of an infrastructure charges notice, issued pursuant to section 119 of the *Planning Act 2016*.

DEVELOPER INCENTIVE

ADV5. Council is offering a reduction in infrastructure charges payable through the development incentive scheme which is available between 1 December 2020 and 31 December 2025. Eligible development under this scheme is required to be completed by 31 December 2025.

For further information or application form please refer to the rules and procedures available on Council's website.

FINANCIAL AND RESOURCE IMPLICATIONS

No implication can be identified.

LINK TO CORPORATE/OPERATIONAL PLAN

Growing our Region's Economy and Prosperity

- GR8 Support and advocate for appropriate growth and development with responsive planning schemes, process, customer service and other initiatives.

COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)

Refer to CONSULTATION in this report.

LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)

No implication identified.

POLICY/LOCAL LAW/DELEGATION IMPLICATIONS

No implication can be identified.

ASSET MANAGEMENT IMPLICATIONS

No implication can be identified.

REPORT

1. APPLICATION DETAILS

Site address	2 Waterview Drive MOFFATDALE		
Real property description	Lot 1 on SP207409		
Easements or encumbrances on title	Nil		
Area of Site	9,075sqm		
Current Use	Dwelling House		
Environmental Management Register or Contaminated Land Register	No known listing		
Applicant's name	N & C French C/- ONF Surveyors		
Zone	Rural Residential Zone		
Applicable Overlays	OM6 – Water Catchments Overlay Water Resource Catchment Area OM8 – Agricultural Land Overlay Class B Land		
Details of proposal	Reconfiguring a Lot (RALs)		
	Number of existing lots	One (1)	
	Easements or leases proposed	Nil	
	Number of proposed lots	Two (2)	
	Lot areas	Proposed Lot 33 – 4,038sqm Proposed Lot 34 – 5,037sqm	
	Access	Via Waterview Drive	
Application type	Aspects of Development	Type of Approval Requested	
		Preliminary Approval	Development Permit
	Material Change of Use (MCU)		
	Reconfiguration of a Lot (RAL)		X
	Building Work (BW)		
	Operational Work (OPW)		
Level of Assessment	Impact Assessment		
Pre-lodgement / Consultation history	N/A		
Key planning issues e.g. vegetation, waterway corridors, overland flow	Lot size and existing covenant		
Referral agencies	Agency	Concurrence/ Advice	
	NA	NA	
Public notification	Yes – 15 business days		

Planning Regulation 2017	N/A
--------------------------	-----

2. THE SITE


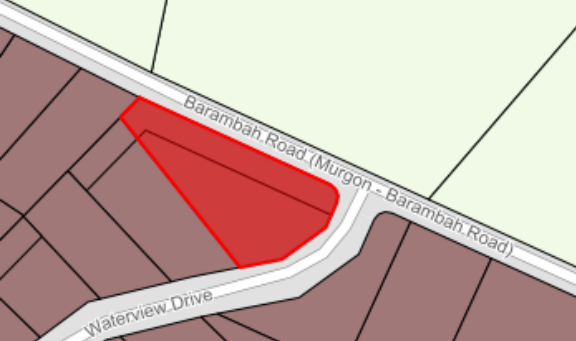
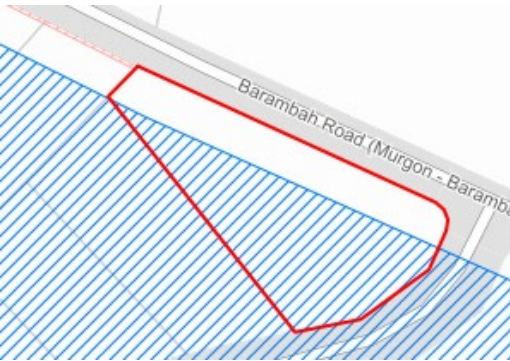

This section of the report provides a description of the site, details about the existing use and notable characteristics of the site, the standard of servicing, and the form of development in the immediately locality.

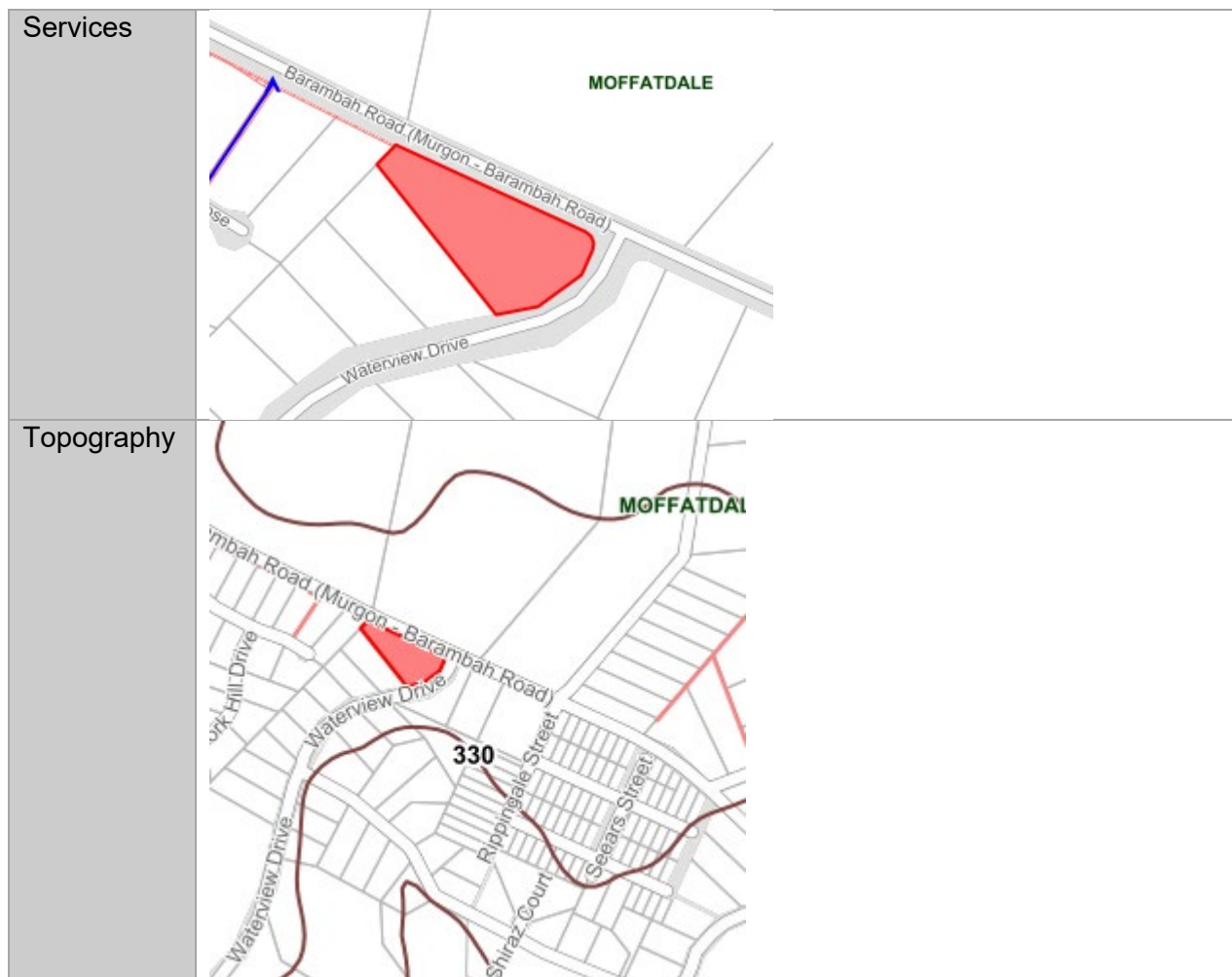
2.1. SITE DESCRIPTION & EXISTING USE

The subject site is located at 2 Waterview Drive MOFFATDALE and is formally described as Lot 1 on SP207409. The subject site is improved by an existing shed structure and a dwelling house, which is currently under construction. The site has frontage to Waterview Drive and Murgon Barambah Road of approximately 95 meters and 160 meters, respectively.

The site contains a covenant, which comprises land along the northern and western boundaries of the site, along the Barambah Road frontage (Covenant A on SP207409). The Covenant restricts habitable buildings in the identified covenant area.

Table 1 – Maps & Descriptions (Source: Intramaps)

Site		
Zoning		
Overlays	 <p>OM6 Water Catchment</p>	 <p>OM8 Agricultural Land Classification</p>



2.2. DEVELOPMENT HISTORY OF THE SITE

There are no known recent development applications recorded over the site.

3. PROPOSAL DETAILS

The Applicant seeks a Development Permit for Reconfiguring a Lot (1 Lot into 2 Lots). The proposed lot reconfiguration will result in two (2) lots which will gain access from Waterview Drive. The proposed lot sizes are as follows:

- Proposed Lot 33 – 4,038m²
- Proposed Lot 34 – 5,037m² (4,761m² excluding access strip)

Refer Attachment C for the Approved Subdivision plan.

3.1. APPLICATION HISTORY

- The application triggered referral to SARA as the site is adjacent to a State-controlled Road (Murgon Barambah Road). SARA provided a referral agency response dated 1 February 2024 approving the development subject to conditions.
- Council did not issue an information request.
- The application underwent public notification between 18 January 2024 and 9 February 2024, with a notice of compliance issued on 12 February 2024. Two (2) properly made submissions were made during the public notification period.
- The decision period ends on or about 17 April 2024

4. ASSESSMENT OF ASSESSMENT BENCHMARKS

Framework for Assessment

Categorising Instruments for Statutory Assessment

For the *Planning Act 2016*, the following Categorising Instruments may contain Assessment Benchmarks applicable to development applications:

- the *Planning Regulation 2017*
- the Planning Scheme for the local government area
- any Temporary Local Planning Instrument
- any Variation Approval

Of these, the planning instruments relevant to this application are discussed in this report.

The following sections of the *Planning Act 2016* are relevant to this application:

- 45(5) *An impact assessment is an assessment that –*
- (a) *must be carried out –*
 - (i) *against the assessment benchmarks in a categorising instrument for the development; and*
 - (ii) *having regard to any matters prescribed by regulation for this subparagraph; and*
 - (b) *may be carried out against, or having regard to, any other relevant matter, other than a person's personal circumstances, financial or otherwise.*

In regard to the prescribed regulation, being the *Planning Regulation 2017*, the following sections apply in the assessment of this application:

Section 30 – Assessment Benchmarks generally

- (1) *For section 45(5)(i) of the Act, the impact assessment must be carried out against the assessment benchmarks for the development stated in schedules 9 and 10.*
- (2) *Also, if the prescribed assessment manager is the local government, the impact assessment must be carried out against the following assessment benchmarks—*
 - (a) *the assessment benchmarks stated in—*
 - (i) *the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - (ii) *the State Planning Policy, part E, to the extent part E is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
 - (iii) *a temporary State planning policy applying to the premises;*
 - (b) *if the development is not in a local government area-any local planning instrument for a local government area that may be materially affected by the development;*
 - (c) *if the local government is an infrastructure provider—the local government's LGIP.*
- (3) *However, an assessment manager may, in assessing development requiring impact assessment, consider an assessment benchmark only to the extent the assessment benchmark is relevant to the development.*

4.1. PLANNING REGULATION 2017

The Planning Regulation 2017 forms the mechanism by which the provisions of the Act are administered. In particular the Regulation has the ability to regulate and prohibit development and determines the assessment manager and the matters that trigger State interests.

PLANNING REGULATION 2017 DETAILS	
WBB Regional Plan Designation:	<p>Wide Bay Burnett Regional Plan 2011 – Regional Landscape and Rural Production Area</p> <p>The RLRPA identifies land with regional landscape, rural production or other non-urban values. It protects this land from inappropriate development, particularly urban or rural residential development. These areas support the lifestyle and wellbeing of the regional population, primarily located in the Urban Footprint.</p> <p>The RLRPA includes land with one or more of these values:</p> <ul style="list-style-type: none"> • Significant biodiversity • Regional ecosystems that are endangered or of concern • National parks, conservation parks, resources reserves or other conservation areas • Significant fauna habitats • Good quality agricultural land and other productive rural areas • Cultural and landscape heritage values (traditional and non-Indigenous) • Natural economic resources, including extractive resources and forestry plantations • Water catchments, water storages and groundwater resources • Native forests • Coastal wetlands • Land that forms strategic and regionally significant inter-urban breaks • Unsuitable for, or not required for, urban and rural residential purposes • Rural towns and associated activities. <p>The RLRPA does not impede existing land use rights. This ensures that existing commitments and significant activities, such as agricultural production, access to natural resources, water storage, tourism, outdoor recreation and nature conservation, can continue.</p> <p>As described later in this report, the land has limited rural potential for productive agricultural pursuits due to the size of the existing allotment. As such, the proposed development is considered consistent with the Regional Plan.</p> <p>In late 2023, the Wide Bay Burnett Regional Plan 2023 was released. Given the nature of the proposed development and the context of the site, it is unlikely to conflict with the goals of the new Regional Plan, noting it is not applicable to the assessment of the proposed development.</p>

4.2. REFERRAL AGENCIES

To determine whether the development application requires referral to the State Assessment and Referral Agency (SARA) or ‘another entity’, an assessment of the proposal against Schedule 10 of the Regulation has been undertaken.

The application does require referral to any referral agencies prescribed under Schedule 10, as demonstrated in Table 3.

Note: Grey shading indicates no provisions.

Table 3 – Matters Prescribed in Schedule 10 of the Planning Regulation						
Part	Matter	Applicability to this Development Application	Prohibited Development	Assessable Development	Referral Agency	Assessment Benchmarks / Matters to be Assessed Against
1	Airport Land	N/A		N/A	N/A	N/A
2	Brothels	N/A	N/A	N/A		N/A
3	Clearing Native Vegetation	N/A	N/A	N/A	N/A	N/A
4	Contaminated Land	N/A		N/A	N/A	N/A
5	Environmentally Relevant Activity	N/A	N/A	N/A	N/A	N/A
6	Fisheries: - Aquaculture - Declared Fish Habitat - Marine Plants - Waterway Barrier works	N/A N/A N/A N/A		N/A	N/A	N/A
7	Hazardous Chemical Facilities	N/A		N/A	N/A	N/A
8	Heritage Place: - Local Heritage Place - Queensland Heritage Place	N/A		N/A	N/A	N/A
9	Infrastructure Related: - Designated Premises - Electricity - Oil and Gas - State Transport Generally - State Transport Corridors and Future State Transport Corridors - State-controlled transport tunnels and future state-controlled transport tunnels	Applicable. Schedule 10, Part 9, Division 4, Subdivision 2 - Reconfiguring a Lot near a State transport corridor.			SARA (Department of Transport and Main Roads)	N/A
10	Koala Habitat in SEQ region	N/A	N/A	N/A	N/A	N/A
11	Noise Sensitive Place on Noise Attenuation land	N/A	N/A			
12	Operational Work for Reconfiguring a Lot	N/A		N/A		N/A
13	Ports: - Brisbane Core Port Land - Within the port limits of the Port of Brisbane	N/A N/A		N/A		N/A

Table 3 – Matters Prescribed in Schedule 10 of the Planning Regulation						
Part	Matter	Applicability to this Development Application	Prohibited Development	Assessable Development	Referral Agency	Assessment Benchmarks / Matters to be Assessed Against
	- Within the limits of another port - Priority Ports - Strategic Port Land	N/A N/A N/A				
14	Reconfiguring a Lot under the Land Title Act	N/A		N/A		N/A
15	SEQ Development Area	N/A		N/A	N/A	N/A
16	SEQ Regional Landscape and Rural Production Area and Rural Living Area: - Reconfiguring a Lot - Tourist or sport and recreation activity - Community Activity - Indoor Recreation - Residential Development - Urban Activity - Combined Uses	N/A N/A N/A N/A N/A N/A N/A	N/A	N/A	N/A	N/A
16A	Southport Spit	N/A	N/A			
17	Tidal Works or Work in a Coastal Management District	N/A		N/A	N/A	N/A
18	Urban Design	N/A			N/A	N/A
19	Water Related Development: - Taking or interfering with water - Removing quarry material - Referral dams - Levees	N/A N/A N/A N/A		N/A	N/A	N/A
20	Wetland Protection Area	N/A	N/A	N/A	N/A	N/A
21	Wind Farms	N/A		N/A		N/A

Based on the findings of Table 2 it has been concluded that the application requires referral to a Referral Agency in accordance with Schedule 10, Part 9, Division 4, Subdivision 2, Table 1 of the Planning Regulation 2017. The referral was made and referral agency response was issued by SARA on 1 February 2024 advising approval of the development application, subject to conditions.

4.3. STATE PLANNING POLICY

The State Planning Policy (July 2017) (SPP) commenced on the 3 July 2017 and is effective at the time of writing this report. The Planning Regulation 2017 (PR 2017) states the assessment must be carried out against the assessment benchmarks stated in Part E of the State Planning Policy to the extent Part E is not appropriately integrated into the planning scheme.

In accordance with section (8)(4)(a) of the Act, the State Planning Policy applies to the extent of any inconsistency with the Planning Scheme.

State Planning Policy Part E	
Liveable communities and housing	No applicable assessment benchmarks
Economic growth <ul style="list-style-type: none"> • Agriculture. • Development and construction. • Mining and extractive resources. • Tourism. 	The site is within an Important Agricultural Area and contains Class B agricultural land. The existing lot is less than one hectare and zoned rural residential so has limited agricultural potential. On this basis the proposed development should not significantly impact upon the productive capacity of the land, creating two rural-residential lots over 4,000m ² , suitable for low-density residential development.
Planning for the environment and heritage. <ul style="list-style-type: none"> • Biodiversity. • Coastal environment. • Cultural heritage. • Water quality 	No applicable assessment benchmarks.
Safety and resilience to hazards <ul style="list-style-type: none"> • Emissions and hazardous activities. • Natural hazards, risk, and resilience. 	No applicable assessment benchmarks.
Infrastructure <ul style="list-style-type: none"> • Energy and water supply. • Infrastructure integration. • Transport infrastructure. • Strategic airports and aviation facilities. • Strategic ports. 	The proposed development will not have a significant impact upon State infrastructure.

4.4. DEVELOPMENT CODE ASSESSMENTS

Pursuant to Section 5.6, Table 5.6.1 – Level of Assessment in the Rural Residential Zone, an application for Reconfiguring a Lot is subject to Impact Assessment as the proposed lots do not meet the prescribed minimum lot size. The relevant assessment benchmarks are:

- Strategic Framework
- Rural Residential Zone Code
- Reconfiguring a Lot Code
- Services and Works Code

Strategic Framework

An assessment of the proposed development against the relevant themes included under the Strategic Framework is included below.

a. Section 3.2 – Settlement Pattern

3.2.1 Strategic outcomes

- (1) *Forecasts suggest moderate growth throughout the Region, prompting incremental increases in urban growth areas around most towns. However, possible growth influences, such as that associated with the Bowen Basin, may occasion larger growth areas.*

- (4) *Increases in population densities are facilitated where suitable access to services is available.*

3.2.1.1 Specific outcomes

- (8) *Opportunity to subdivide allotments in existing urban areas is facilitated on serviced lots close to the town centres, with design to minimize impacts on the amenity and character of areas predominantly occupied by houses.*
- (13) *Rural residential development provides a legitimate life-style choice where existing services and infrastructure can support this development or augmented without difficulty. New allotments outside the areas nominated in the Strategic Framework map are likely to be resisted unless there is legitimate planning need and the productive values of agricultural land and regional ecosystem values are not compromised.*
- (14) *New rural residential development is consolidated in areas nominated on the Strategic Framework map – which are generally close to Kingaroy and other towns – to maintain good access to services, employment and existing infrastructure. Additional areas may be considered only where there is a legitimate, demonstrated planning need for additional allotments and they retain the fundamentals of good access to urban services via good quality roads, no loss of good quality agricultural land or remnant regional ecosystem vegetation, minimal erosion and flood-free, fire resistant and moderately sloped house sites.*

Response:

The proposed lot reconfiguration complies with the strategic outcomes set out in Section 3.2 as the proposed development achieves additional land (on a small scale) for the purposes of future rural residential development in an area with adequate access to services, infrastructure, and the Moffatdale town centre. While the proposal results in smaller lot sizes than prescribed in the Planning Scheme, there are other lots in the immediate proximity to the site which are similarly sized, including some in Waterview Drive.

b. Section 3.3 – Rural Futures

3.3.1 Strategic outcomes

- (1) *The capacity of important agricultural areas, as shown on Strategic Framework map and rural activities that contribute to the Region's economy is protected from incompatible land uses to optimise agricultural development opportunities.*

Response:

The existing site is less than 1 hectare and located in the Rural Residential Zone. On that basis it has little realistic agricultural potential and so the proposed reconfiguration is not considered to have any impact on that potential. Given the location of the allotment, the additional lot will not impact on the potential for rural activities on surrounding rural land.

c. Section 3.6 – Strong Communities

3.6.1 Strategic outcomes

- (1) *The towns and villages retain the country look and feel that has created their individual social character and contributed to their desirability as places to live. The role of Kingaroy as the major regional centre is not compromised.*
- (2) *Development occurs in a manner that provides access to a range of employment, commercial, cultural, recreational, education and community opportunities in serviceable locations that respond to community needs.*

- (3) *A range of dwelling types in keeping with desired neighbourhood character enables residents to remain in the same community when their housing needs change, maintaining their existing lifestyle and social contacts.*

3.6.1.1 Specific outcomes

- (8) *New development does not result in isolated or poorly serviced communities.*
- (9) *Existing communities have enhanced access to community services that is commensurate with anticipated demand.*
- (12) *New development should be suitably integrated with existing development in relation to road, public and active transport networks, open space linkages and access to community facilities and employment opportunities.*
- (13) *Residential neighbourhoods comprise a variety of lot sizes that support a diverse range of housing options in keeping with desired neighbourhood character.*
- (14) *Housing choice that includes traditional detached houses, small-lot houses, townhouses, duplexes, residential care facilities and community residences is facilitated provided the character resulting from the dominance of traditional detached houses is not compromised.*

Response:

The proposed lot reconfiguration complies with the strategic outcomes set out in Section 3.6 as the proposed development results in additional land (on a small scale) for the purposes of future rural residential development in an area with adequate access to services, infrastructure, and the Moffatdale town centre. While the proposal results in smaller lot sizes than prescribed in the Planning Scheme, the site is surrounded by similarly sized lots in the Rural Residential zone.

d. Section 3.7 – Infrastructure & Servicing

3.7.1 Strategic outcomes

- (1) *New development occurs in a manner that allows for the efficient and affordable provision and on-going maintenance of utility infrastructure.*

3.7.1.1 Specific outcomes

- (1) *Development is located to allow immediate connection to existing infrastructure or provides for the orderly extension of that infrastructure to service the development.*
- (9) *Urban stormwater and waste water management design objectives are identified and implemented to protect the environmental values of receiving water and avoids the transport of contaminants.*
- (10) *Discharge of waste water demonstrates best practice environmental management.*

Response:

The proposed lot reconfiguration complies with the strategic outcomes set out in Section 3.7 as the proposed development results in additional land (on a small scale) for the purposes of future rural residential development in an area with adequate access to services, infrastructure, and the Moffatdale town centre.

Rural Residential Zone Code

The subject site is situated in the Rural Residential Zone of the Planning Scheme. The purpose of the Rural Residential Zone is to provide for residential uses and activities on large lots, including

lots for which the local government has not provided infrastructure and services. The proposal for the lot reconfiguration is appropriate for the zone as it is not changing the physical use of the site and will result in two lots that facilitate future rural residential development.

The following table sets out an assessment of the proposal against the performance outcomes for the Rural Residential Zone Code.

Table 6.2.14.3 Criteria for Assessment

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of proposed development
General		
<p>PO1 Buildings and structures must complement the semi-rural character of nearby development and protects residential amenity.</p>	<p>AO1.1 Site cover does not exceed 10%. AND AO1.2 Buildings and structures are not higher than 8.5m above ground level. AND AO1.3 Buildings have a minimum set back of: (a) 10m to the road frontage; (b) 6m to a side or rear boundary. AND AO1.4 The maximum length of any façade without articulation or change of materials is 15m. AND AO1.5 On-site storage areas visible from outside the site are screened by a 1.8m high fence along intervening boundaries. AND AO1.6 Outdoor lighting is designed, installed and maintained in accordance with AS4282 – Control of the Obtrusive Effects of Outdoor Lighting.</p>	<p>Not Applicable. The proposal is for a lot reconfiguration only.</p>
<p>PO2 Development minimises the potential for reverse amenity impacts for adjoining existing non-residential activities.</p>	<p>AO2.1 A well-maintained vegetative buffer is provided on the residential land between the residential development and adjacent existing non-residential use.</p>	<p>Not Applicable. There are no adjacent non-residential uses.</p>
<p>PO3 Dwellings are to be adequately serviced.</p>	<p>AO3.1 Where in a reticulated water supply area, development is to be connected to the supply network.</p>	<p>Not Applicable. The subject site is not located within a water supply area.</p>

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of proposed development
	<p>AND AO3.2 Where reticulated water supply is not available, a 45kl water tank is provided for each dwelling for consumption purposes and an additional 22.5kl water storage located no more than 10m from the main dwelling is available for fire fighting purposes.</p> <p>AND AO3.3 The provision of on-site sewerage treatment conforms to the requirements of the Queensland Plumbing and Wastewater Code.</p> <p>AND AO3.4 Each dwelling is provided with a service line connection to the electricity supply and telecommunications networks.</p> <p>AND AO3.5 Stormwater discharge must be to a lawful point of discharge or to downstream properties but only with the consent of the affected landowners.</p> <p>AND AO3.6 Development has direct access to a sealed road.</p>	<p>Complies. A condition has been recommended which requires a 45kl water tank be provided at the time of construction of a new dwelling house on the proposed lot.</p> <p>Complies. On site wastewater treatment plants can be wholly contained with the proposed lots they serve.</p> <p>Complies. Future dwellings can be connected to electricity and telecommunications.</p> <p>Complies. The lots are of sufficient size that stormwater from future houses can be managed so not to cause a nuisance on adjoining properties. Appropriate conditions have been recommended.</p> <p>Complies. The site fronts Waterview Drive which is a bitumen sealed road providing access to both proposed lots.</p>
<p>PO4 Development is located and designed to ensure that land uses are not exposed to:</p> <ul style="list-style-type: none"> (a) Areas that pose a health risk from previous activities; and (b) Unacceptable levels of contaminants. 	<p>AO4.1 Development does not occur:</p> <ul style="list-style-type: none"> (a) In areas that pose a health risk from previous activities; and (b) On sites listed on the Contaminated Land Register or Environmental Management Register. <p>OR AO4.2 Areas that pose a health risk from pervious activities and</p>	<p>Complies There are no known or listed contamination on the subject sites that could pose a health risk due to contaminated soils.</p>

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of proposed development
	contaminated soils which are subject to development are remediated prior to plan sealing, operational works permit.	
Where in the vicinity of an existing intensive animal industry	Not Applicable. The subject site is not located within the vicinity of any existing intensive animal industry.	
Home based business	Not Applicable. The proposed development is for reconfiguring a lot.	
Secondary dwelling	Not Applicable. The proposed development is for reconfiguring a lot.	
For development affected by one or more overlays		
Airport environs overlay	Not Applicable. The site is not identified on the Airport environs overlay	
Biodiversity overlay	Not Applicable. The site is not identified on the Biodiversity overlay.	
Bushfire hazard overlay	Not Applicable. The site is not identified on the Bushfire hazard overlay.	
Flood hazard overlay	Not Applicable. The site is not identified on the Flood hazard overlay.	
Landslide hazard overlay	Not Applicable. The site is not identified on the Landslide hazard overlay.	
Regional infrastructure overlay	Not Applicable. The site is not identified on the Regional infrastructure overlay.	
Water catchments overlay		
PO27 There are no significant adverse effects on the water quality of the Region's drinking water supply.	AO27.1 Development within the Bjelke-Petersen Dam Water Resource Catchment Area and the 800m buffer to Boondooma and Gordonbrook Dams shown on Overlay Map 06 has no significant adverse effect on the quantity and availability of raw water for consumption, as determined by a suitably qualified water quality expert.	Not Applicable. The proposal is for a lot reconfiguration only.

Summary of Compliance with Rural Residential Zone Code

The proposed development complies with, the relevant acceptable outcomes of the Rural Residential Zone Code.

Reconfiguring a Lot Code

Table 8.4.1—Assessable development

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
Section 1 Boundary Realignment PO1 – PO2	Not Applicable. The proposed development is not for a boundary realignment.	
Section 2 Reconfiguration under a Community Title Scheme PO3 – PO6	Not Applicable. The proposed reconfiguration is not under a Community Title Scheme.	
Section 3 All other reconfiguration		
<p>PO7 Allotments are of sufficient size and dimensions to meet the requirements of the users and provide for servicing of the intended use.</p>	<p>AO7.1 Development provides that allotment area, dimension and shape are in accordance with the standards in Table 8.4.2. AND</p> <p>AO7.2 The minimum allotment size for any rear allotment shall be calculated exclusive of the area of the access corridor of the allotment. AND</p> <p>AO7.3 Irregularly shaped allotments are designed to allow a building area of 15m by 10m to be</p>	<p>Complies with Performance Outcome 7 The proposed development will result in two (2) lots under the prescribed minimum lot size of 2 hectares where located within the Rural Residential Zone. Despite the lots being smaller than intended in the Rural residential zone, the two proposed allotments are consistent with the size and configuration of lots within the surrounding locality also located within the Rural Residential Zone, including some on Waterview Drive and the adjacent Fork Hill Drive. It is considered that they are of a sufficient size and dimension to accommodate future rural residential uses and are appropriately serviced. As noted later, there are no opportunities for smaller rural residential lots in Moffatdale having regard to the existing zoning pattern.</p> <p>Complies with Performance Outcome 7. As above.</p> <p>Complies The lots are of sufficient dimensions to achieve the minimum setback and rectangle requirements</p>

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
	setback 6m from the site frontage.	
<p>PO8 Lots have lawful, safe and practical access.</p>	<p>AO8.1 Access is provided via either: (a) Direct road frontage; (b) Access strip with a minimum width of 3.5m (for rear lots only); or (c) Access easement with a minimum width of 6m (where lots only have legal road frontage that does not provide, safe or practical access to the existing street network). AND AO8.2 Newly created lots do not have direct access to sub-arterial or higher order roads. AND AO8.3 Except in the Rural Zone, new lots, are provided with access to a sealed road.</p>	<p>Complies. Access to both allotments is provided via Waterview Drive. Proposed Lot 34 will be provided access via a 7 metre wide access strip along the south-western boundary. Complies. The proposed lots gain access from Waterview Drive. Complies. Access to both allotments will be provided via Waterview Drive which is a sealed road.</p>
<p>PO9 The number of rear lots is minimised having regard to the outlook, topography of the site, intended land use and general amenity of the area.</p>	<p>AO9.1 Only one rear lot is provided behind each full street frontage regular lot. AND AO9.2 No more than two rear lot access strips directly adjoin each other. AND AO9.3 No more than two rear lots gain access from the head of a cul-de-sac. AND AO9.4 Rear lots are only created where the site gradient is greater than 5%.</p>	<p>Complies. The proposed development includes one (1) rear allotment. Complies. The proposed development seeks to achieve one (1) rear allotment. Not Applicable. No lot gains access from the head of a cul-de-sac. Complies with Performance Outcome 9. The site appears to be relatively flat however it is noted that the site is surrounded by similar rural residential development therefore the use of the lots for future residential development is considered consistent with the character and amenity of the surrounding locality.</p>

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
<p>PO10 The design and construction of new roads: (a) Maintain safe and efficient access to the transport network; (b) Creates integrated neighbourhoods; and (c) Are constructed to a standard that is commensurate with the intended use of allotments.</p>	<p>AO10.1 Intersection shall be spaced at no less than 45m from any other intersection. AND AO10.2 Any intersections with existing roads shall be treated with a T-intersection or a roundabout. AND AO10.3 The road layout indicates connections to adjoining development sites. AND AO10.4 Other than in the Rural or Rural Residential Zones, new streets are provided with layback kerb and channel. OR AO10.5 In the Rural Residential Zone, new streets are provided with concrete flush kerbs and swale drains.</p>	<p>Not Applicable. The proposed development does not include any new roads.</p>
<p>PO11 The provision of services is resistant to inclement weather and does not degrade the character of the area.</p>	<p>AO11.1 Where the reconfiguration involves the opening of a new road, all electricity and telecommunications services are located underground.</p>	<p>Not Applicable. The proposed development does not include any new roads.</p>
<p>PO12 Reconfiguration facilities integration of walking and cycling networks that provide a safe and convenient environment for users having regard to appropriate gradients and distances to be travelled.</p>	<p>AO12.1 No outcome specified.</p>	<p>Not Applicable. Integration of walking and cycling networks are not relevant to this proposal in the Rural Residential Zone.</p>
<p>PO13 Public open space is provided in response to community need.</p>	<p>AO13.1 Public open space is provided in accordance with the Priority Infrastructure Plan.</p>	<p>Not Applicable. The proposed development does not require the provision of public open space.</p>
<p>PO14 Reconfiguration into allotments less than 400m² in the Medium Density Residential zone is facilitated where design outcomes are consistent with expectations for the zone.</p>	<p>AO14.1 Reconfiguration in the Medium Density Residential zone involving allotments less than 400m² where creating allotments for individual units in an approved and completed multiple dwelling or dual occupancy.</p>	<p>Not Applicable. The subject site is located within the Rural Residential Zone.</p>

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of Proposed Development
PO15 Reconfiguration into allotments less than 400m ² in the Medium Density Residential zone is to provide for suitable living environments.	For allotments less than 400m ² – AO15.1 All lots are orientated to within 20° of north. AO15.2 All lots are to be sized and shaped to accommodate a 10m x 20m rectangle.	Not Applicable. The subject site is located within the Rural Residential Zone.
Section 4 All reconfiguring a lot subject to an overlay		
Agricultural land overlay		
PO16 The productive capacity and utility of agricultural land for rural activities is maintained.	AO16.1 In the Rural zone only, no additional allotments are created in the area identified as agricultural land on SPP Interactive Mapping (Plan Making); OR AO16.2 In the Rural zone only, a Farm management plan prepared by a suitably qualified agronomist demonstrates that the existing productivity of the land area is not reduced.	Not Applicable. The site is within the Rural Residential Zone.

Summary of Compliance with the Reconfiguring a Lot Code:

The proposed development seeks to reconfigure an existing allotment to create two (2) lots. There is a Performance Outcome with respect to the proposed lot dimensions (which is also a trigger for impact assessment). As outlined above, the two proposed lots do not meet the prescribed minimum lot sizes however, are considered consistent with surrounding lot sizes and configurations in the immediate locality and in the Rural Residential Zone (including some in Waterview Drive and the adjoining Fork Hill Drive. On this basis, the proposed lots are considered to be of an appropriate size and dimension and do not compromise the existing or future use of the lots. The development will not have any adverse impacts on surrounding rural residential allotments. The proposal is considered to comply with the Reconfiguring a Lot Code.

Services and Works Code

Table 8.4.3—Assessable development

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of proposed development
Section 1 General		
PO1 The development is planned and designed considering the land use constraints of the site for achieving stormwater design objectives.	AO1.1 A stormwater quality management plan provides for achievable stormwater quality treatment measures that meet the design objectives identified in Table 9.4.4.	Complies with Performance Outcome 1. Both lots are of sufficient size to avoid the concentration of stormwater from future buildings.

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of proposed development
		The application is for reconfiguration of a lot only and in any case, future uses are likely to be residential in nature which typically do not have an adverse impact on stormwater quality. No changes to ground levels are proposed.
<p>PO2 Development does not discharge wastewater to a waterway or off-site unless demonstrated to be best practice environmental management for that site.</p>	<p>AO2.1 A wastewater management plan prepared by a suitably qualified person and addresses: (a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best-practice environmental management; AND AO2.2 Wastewater is managed in accordance with a waste management hierarchy that: (a) avoids wastewater discharge to waterways; or (b) minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater</p>	<p>Complies with AO2.2. Wastewater system designs will be prepared as part of the permit approval for the wastewater systems of each new dwellings on the proposed lots. Given the size of the lots, these systems can be safely setback from any sensitive features.</p>
<p>PO3 Construction activities avoid or minimise adverse impacts on stormwater quality.</p>	<p>AO3.1 An erosion and sediment control plan addresses the design objectives for the construction phase in Table 9.4.4</p>	<p>Not Applicable. There are no extensive construction activities proposed as part of the development. Basic erosion and sediment control measures can be conditioned for construction of the new driveway.</p>
<p>PO4 Operational activities avoid or minimise changes to waterway hydrology from adverse impacts of altered stormwater quality and flow.</p>	<p>AO4.1 Development incorporates stormwater flow control measures to achieve the design objectives for the postconstruction phase in Table 9.4.4.</p>	<p>Not Applicable. Limited ground disturbance is proposed which would alter water flow paths across the land.</p>
Section 2 Infrastructure		
<p>PO5</p>	<p>AO5.1</p>	<p>Complies with AO5.1.</p>

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of proposed development
<p>Development is provided with infrastructure which:</p> <ul style="list-style-type: none"> (a) conforms with industry standards for quality; (b) is reliable and service failures are minimised; and (c) is functional and readily augmented. 	<p>Except in the Rural zone, all development occurs on a site with frontage to a sealed road. AND AO5.2 Infrastructure is designed and constructed in accordance with the standards contained in PSP1 – Design and Construction Standards.</p>	<p>The subject site fronts to Waterview Drive which is bitumen sealed.</p> <p>Complies with AO5.2. Limited infrastructure is proposed however the driveways and crossovers can be conditioned to meet the relevant standards.</p>
Section 3 Vehicle Parking		
<p>PO6 Vehicle parking and access is provided to meet the needs of occupants, employees, visitors and other users.</p>	<p>AO6.1 Vehicle parking spaces are provided on-site in accordance with Table 9.4.5. AND AO6.2 A service bay is provided on-site for the service vehicle nominated in Table 9.4.5. AND AO6.3 Driveway crossings are provided to the standard contained in PSP1 – Design and Construction Standards. AND AO6.4 Vehicle parking and manoeuvring areas are provided in accordance with the standards contained in PSP1 – Design and Construction Standards.</p>	<p>Complies with AO6.1. The proposal is for reconfiguring a lot only so no formal parking is warranted. The lots are sufficiently large to accommodate future parking demands.</p> <p>Not Applicable. A service bay is not required as part of the proposed development.</p> <p>Complies with AO6.3. Driveways will be conditioned to comply with the standard.</p> <p>Complies with AO6.4. Vehicle manoeuvring areas (including the new driveway for the proposed rear allotments) will be conditioned to comply with the standard.</p>
Section 4 Landscaping		
<p>PO7 Landscaping is appropriate to the setting and enhances local character and amenity.</p>	<p>AO7.1 Landscaping is provided in accordance with the relevant zone code provisions. AND AO7.2 Where shade tree planting is required in vehicle parking areas each planting bed has a</p>	<p>Not Applicable. The proposed development is for reconfiguring a lot and will not involve any landscaping works as part of the proposal.</p>

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of proposed development
	minimum area of 2m ² and is unsealed and permeable. AND AO7.3 Plantings along frontages or boundaries are in the form of defined gardens with three tier planting comprised of groundcovers, shrubs (understorey), and trees (canopy) and provided with a drip irrigation system, mulching and border barriers.	
PO8 Plant species avoid adverse impacts on the natural and built environment, infrastructure and the safety of road networks.	AO8.1 Landscaping utilises plant species that are appropriate for the location and intended purpose of the landscaping. AND AO8.2 Species selection avoids non-invasive plants. Editor's Note. Guidance on plant selection is provided in Branching Out - Your Handy Guide to tree Planting in the South Burnett available from Council.	Not Applicable. The proposed development is for reconfiguring a lot and will not involve any landscaping works as part of the proposal.
PO9 Development results in ground levels that retain: <ul style="list-style-type: none"> (a) access to natural light; (b) aesthetic amenity; (c) privacy; and (d) safety. 	AO9.1 The depth of: <ul style="list-style-type: none"> (a) fill is less than 2m above ground level; or (b) excavation is less than 2m below ground level. AND AO9.2 The toe of the fill, or top of the excavation is not less than 0.5m inside the site property boundary. AND AO9.3 Works do not occur on slopes over 15% in grade. AND AO9.4 Retaining walls over 1m in height are terraced 1.5m for every 1m in height and landscaped. AND	Not Applicable. No significant cut/fill is proposed. Any cut or fill to provide vehicle crossovers and building pads will comply with these requirements or be subject to approval as part of the building approval process for new dwellings on the proposed lots.

Performance outcomes	Requirements for accepted development and assessment benchmarks	Assessment of proposed development
	<p>AO9.5 Batter slopes are not steeper than 25% and are grassed and terraced 1.5m for every 1m in height. AND AO9.6 Filling or excavation for the purpose or retention of water: (a) is certified by an RPEQ engineer to safely withstand the hydraulic loading; (b) directs overflow such that no scour damage or nuisance occurs on adjoining lots.</p>	
<p>PO10 Filling or excavation does not cause damage to public utilities.</p>	<p>AO10.1 Filling or excavation does not occur within 2m horizontally of any part of an underground water supply, sewerage, stormwater, electricity or telecommunications system.</p>	<p>Not Applicable. No filling or excavation works are proposed as part of this development application.</p>
<p>PO11 Filling and excavation avoids water ponding on the premises or nearby premises that will adversely impact on the health of the community.</p>	<p>AO11.1 Following filling or excavation: (a) The premises: (i) Are self-draining; and, (ii) Has a minimum slope of 0.25%; and (b) Surface water flow is: (i) Directed away from neighbouring properties; or (ii) Discharged into a stormwater drainage system designed and constructed in accordance with AS3500 section 3.2</p>	<p>Not Applicable. No filling or excavation works are proposed as part of this development application.</p>

Summary of Compliance with the Services and Works Code:

The proposed development generally complies with the Services and Works Code. There is a performance outcome in relation to stormwater as a stormwater plan was not submitted with the application. The proposed lots are considered to be of a sufficient size that stormwater is unlikely to be concentrated or impact on stormwater quality as a result of future development such that would cause an actionable nuisance on adjoining land. There are no substantial earthworks proposed.

Other Relevant Matters

The consideration of other relevant matters applies to the assessment and decision-making process for this impact assessable development application. The below summarises the matters considered by the planning assessment.

Applicant submitted reports	Town Planning Report
Assessment considerations of merits	Impact assessment under the Planning Act is an ‘unbounded’ assessment, meaning relevant matters other than those prescribed can also be considered, and weighing and balancing ‘inside the box’ as well as with factors ‘outside the box’ can take place in reaching a decision. The below outlines the planning assessment of the merits of the application presented.
Planning discussion	The application did not present any relevant matters as part of the application material. The planning assessment considers that there is compliance with the relevant assessment benchmarks however it is noted that despite the prevalence of smaller lots in the immediate vicinity of the site, there are no opportunities under the current zoning to create lots under 2ha in size within Moffatdale. It is therefore considered that there is a planning need for the proposed development. The lots are also close to the other smaller rural-residential lots so there will be no impact on rural character or amenity of the immediate area.

5. CONSULTATION

Referral Agencies

State Assessment and Referral Agency	Yes
Other	N/A

Council Referrals

<i>INTERNAL REFERRAL SPECIALIST</i>	<i>REFERRAL / RESPONSE</i>
Development Engineer	Council’s Development Engineer provided standard engineering conditions and has calculated the Infrastructure Charges.
Infrastructure Charges Unit	Council adopted the LGIP on 24 June 2019 which commenced on 1 July 2019. The types of development that may trigger the issuing of an infrastructure charges notice are: (a) Reconfiguring a lot; (b) Making a material change of use; (c) Carrying out building work. See Attachment B for Infrastructure Charges Notice.

Public Notification

Date Notification Commenced	18 January 2024
Date Notification Completed	9 February 2024
Date notice of compliance received	12 February 2024
Submissions received	Two (2)

Submission Summary

Submitter Issue	Response
<p>There are currently smaller blocks undeveloped in the core Moffatdale township and larger blocks on the outskirts undeveloped and available for sale. As there appears to be a downturn of property demand in the area this type of subdivision of splitting an already established block is not necessary.</p>	<p>It is acknowledged that there are various vacant parcels of land identified within Moffatdale, particularly land along Bond Street and Barambah Road (based on aerial photography). These vacant allotments range from around 750m² to 1,000m², which would expectantly accommodate a detached dwelling and small scale ancillary structures, as opposed to development that would otherwise be sought on larger 'rural residential' allotments.</p>
<p>May depreciate the value of properties established in the area.</p>	<p>As outlined in Table 8.4.1, despite the lots being of a smaller size intended within the Rural residential zone, the two allotments are consistent with the size and configuration of lots within the surrounding locality also located within the Rural residential zoning. The proposed allotments are of a sufficient size and dimension to accommodate future rural residential uses without compromising the existing rural residential amenity of the surrounding locality south-west of Barambah Road. There is a clear delineation between established rural areas north of Barambah Road and rural residential development to the south, and will not have any detrimental impact on the amenity and aesthetic of these rural areas.</p>
<p>Aesthetically it will not look good from the turn into Waterview Drive and lead into Dusty Hill Vineyard.</p>	
<p>Does not adhere to the rural aesthetic as outlined within the Planning Scheme.</p>	
<p>The existing structure on the property is massive and visually unappealing. Any future structure built within the vicinity of the current structure will be dwarfed by the existing and will not lend to the rural aesthetic of the area. All structures currently on that side of Waterview drive are far back from the road, a structure built on the subdivision block will need to be close to both road frontages and look out of place on the street.</p>	<p>The existing shed structure does not form a relevant planning consideration as part of this assessment. Any future buildings and/or structures developed on proposed Lot 33 will be situated within the identified building envelope, which has a minimum rectangle of 25m x 40m. Development is required to be setback at least 20 metres from Barambah Road as a result of the covenant which constraints the entirety of this road frontage, thereby ensuring development is setback appropriately from this particular road frontage. Where located within the Rural Residential Zone, development is required to adhere to the prescribed setback requirements outlined within Table 6.2.14, including a minimum setback of 10 metres from the road frontage and 6 metres from side or rear boundaries.</p>

6. RECOMMENDATION

That Council approve Reconfiguring a Lot – development permit (Subdivision 1 Lot into 2 Lots) at 2 Waterview Drive MOFFATDALE (and described as Lot 1 on SP207409). Applicant: N& C French C/- ONF Surveyors.

Grounds to support the approval of the development application –

- The subdivision is appropriate for the subject site.
- Services are able to be managed by way of condition.
- The subdivision will result in lot sizes that are consistent with the surrounding rural residential setting and other rural residential properties nearby.
- There is limited opportunity under the current zoning to create lots under 2ha in size within Moffatdale.

On balance, the proposed development and its impacts can be managed through compliance with conditions. On this basis, we recommend that Council approve the proposed development, subject to conditions.

ATTACHMENTS

1. **Attachment A - Statement of Reasons**
2. **Attachment B - Infrastructure Charges Notice**
3. **Attachment C - Approved Plans**
4. **Attachment D - Referral Agency Response**

NOTICE ABOUT DECISION – STATEMENT OF REASONS

The following information is provided in accordance with Section 63(4) & (5) of the Planning Act 2016

Applicant:	N & C French C/- ONF Surveyors
Application No:	RAL23/0039
Proposal:	Reconfiguring a Lot – Subdivision (1 Lot into 2 Lots)
Street Address:	2 Waterview Drive MOFFATDALE
RP Description:	Lot 1 on SP207409
Assessment Type:	Impact Assessable
Number of Submissions:	Two (2)

On **[DATE DECIDED]** the above development was recommended for:

- Approval
- Refusal

1. Reasons for the Decision

The reasons for this decision are:

- The subdivision is appropriate for the subject site;
- Services are able to be managed by way of condition;
- The subdivision will result in lot sizes that are consistent with the surrounding rural residential setting and other rural residential properties nearby; and
- There is limited opportunity under the current zoning to create lots under 2ha in size within Moffatdale.

2. Assessment Benchmarks

The following are the benchmarks apply to this development:

- Strategic Framework;
- Rural Residential Zone Code;
- Reconfiguring a Lot Code; and
- Services and Works Code.

3. Compliance with Benchmarks

The development was assessed against all the assessment benchmarks listed above and complies with all of these or can be conditioned to comply.

Note: Each application submitted to Council is assessed individually on its own merit.

INFRASTRUCTURE CHARGES NOTICE

(Section 119 of the Planning Act 2016)

APPLICANT: N & C French
C/- ONF Surveyors
PO Box 896
KINGAROY QLD 4610

APPLICATION: Reconfiguring a Lot – 1 Lot into 2 Lots - Impact assessment

DATE: [DN date or later]

FILE REFERENCE: RAL23/0039

AMOUNT OF THE LEVIED CHARGE: **\$4,419.00** **Total**
(Details of how these charges were calculated are shown overleaf)

\$0.00	Water Supply Network
\$0.00	Sewerage Network
\$2,410.00	Transport Network
\$2,009.00	Parks and Land for Community Facilities Network
\$0.00	Stormwater Network

AUTOMATIC INCREASE OF LEVIED CHARGE: The amount of the levied charge is subject to an automatic increase. Refer to the Information Notice attached to this notice for more information on how the increase is worked out.

LAND TO WHICH CHARGE APPLIES: Lot 9 SP207409

SITE ADDRESS: 2 Waterview Dr, Moffatdale

PAYABLE TO: **South Burnett Regional Council**

WHEN PAYABLE: Reconfiguring a Lot – When South Burnett Regional Council approves the Plan of Subdivision.
(In accordance with the timing stated in Section 122 of the Planning Act 2016)

OFFSET OR REFUND: Not Applicable.

This charge is made in accordance with South Burnett Regional Council's **Charges Resolution (No. 3) 2019**

DETAILS OF CALCULATION

Water Supply

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Not Applicable	-	-	\$0.00	-	\$0.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Not Applicable	-	-	\$0.00	-	\$0.00

Sewerage

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Not Applicable	-	-	\$0.00	-	\$0.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Not Applicable	-	-	\$0.00	-	\$0.00

Transport

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Reconfiguring a Lot	2	allotments	\$2,410.00	Table 2.3	\$4,820.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Reconfiguring a Lot	1	allotments	\$2,410.00	Table 2.3	\$2,410.00

Parks and Land for Community Facilities

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Reconfiguring a Lot	2	allotments	\$2,009.00	Table 2.3	\$4,018.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Reconfiguring a Lot	1	allotments	\$2,009.00	Table 2.3	\$2,009.00

Stormwater

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Not Applicable	-	-	\$0.00	-	\$0.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Not Applicable	-	-	\$0.00	-	\$0.00

Levied Charges

Development Description	Water Supply	Sewerage	Transport	Parks & Land for Community Facilities	Stormwater	Total
Reconfiguring a Lot (1 into 2)	\$0.00	\$0.00	\$2,410.00	\$2,009.00	\$0.00	\$4,419.00
Total	\$0.00	\$0.00	\$2,410.00	\$2,009.00	\$0.00	\$4,419.00

* In accordance with Section 3.3 of the Charges Resolution, the discount may not exceed the adopted charge. Any surplus discounts will not be refunded, except at South Burnett Regional Council's discretion.

INFORMATION NOTICE

Authority and Reasons for Charge	This Infrastructure Charges Notice has been given in accordance with section 119 of the <i>Planning Act 2016</i> to support the Local government's long-term infrastructure planning and financial sustainability.
Appeals	Pursuant to section 229 and Schedule 1 of the <i>Planning Act 2016</i> a person may appeal an Infrastructure Charges Notice. Attached is an extract from the <i>Planning Act 2016</i> that details your appeal rights.
Automatic Increase Provision of charge rate (\$)	<p>An infrastructure charge levied by South Burnett Regional Council is to be increased by the difference between the Producer Price Index (PPI) applicable at the time the infrastructure charge was levied, and PPI applicable at the time of payment of the levied charge, adjusted by reference to the 3-yearly PPI average¹. If the levied charge is increased using the method described above, the charge payable is the amount equal to the sum of the charge as levied and the amount of the increase.</p> <p>However, the sum of the charge as levied and the amount of the increase is not to exceed the maximum adopted charge the Authority could have levied for the development at the time the charge is paid.</p>
GST	The Federal Government has determined that contributions made by developers to Government for infrastructure and services under the <i>Planning Act 2016</i> are GST exempt.
Making a Payment	<p>This Infrastructure Charges Notice cannot be used to pay your infrastructure charges.</p> <p>To pay the levied charge, you must request an Itemised Breakdown showing the total levied charge payable at the time of payment. An Itemised Breakdown must be presented at the time of payment.</p> <p>An Itemised Breakdown may be requested by emailing info@southburnett.qld.gov.au</p>

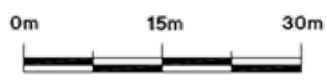
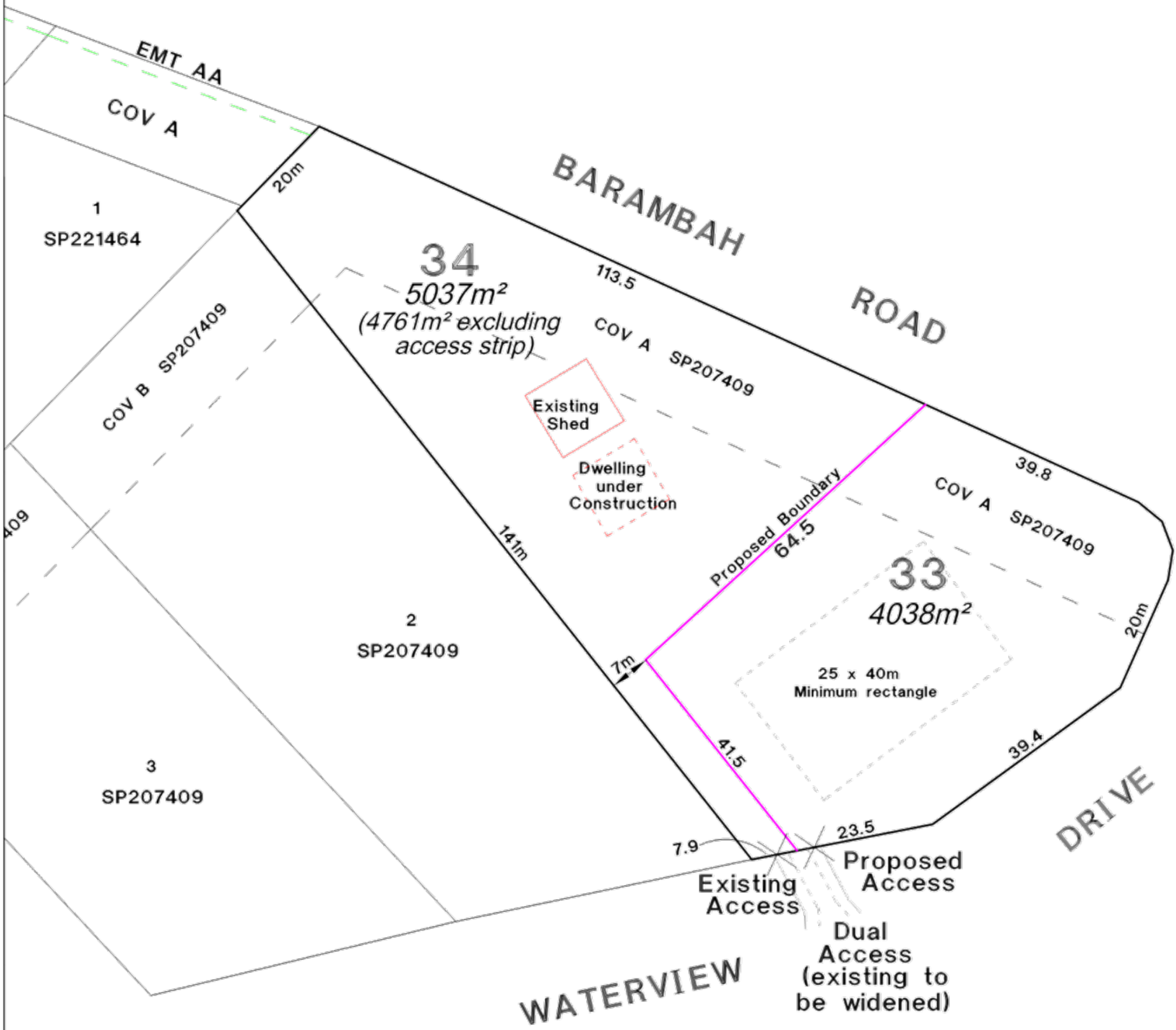
¹ 3-yearly PPI average is defined in section 114 of the *Planning Act 2016* and means the PPI adjusted according to the 3-year moving average quarterly percentage change between financial quarters. PPI Index is the producer price index for construction 6427.0 (ABS PPI) index number 3101 – Road and Bridge construction index for Queensland published by the Australian Bureau of Statistics.

Payment can be made at any of the following South Burnett Regional Council Offices:

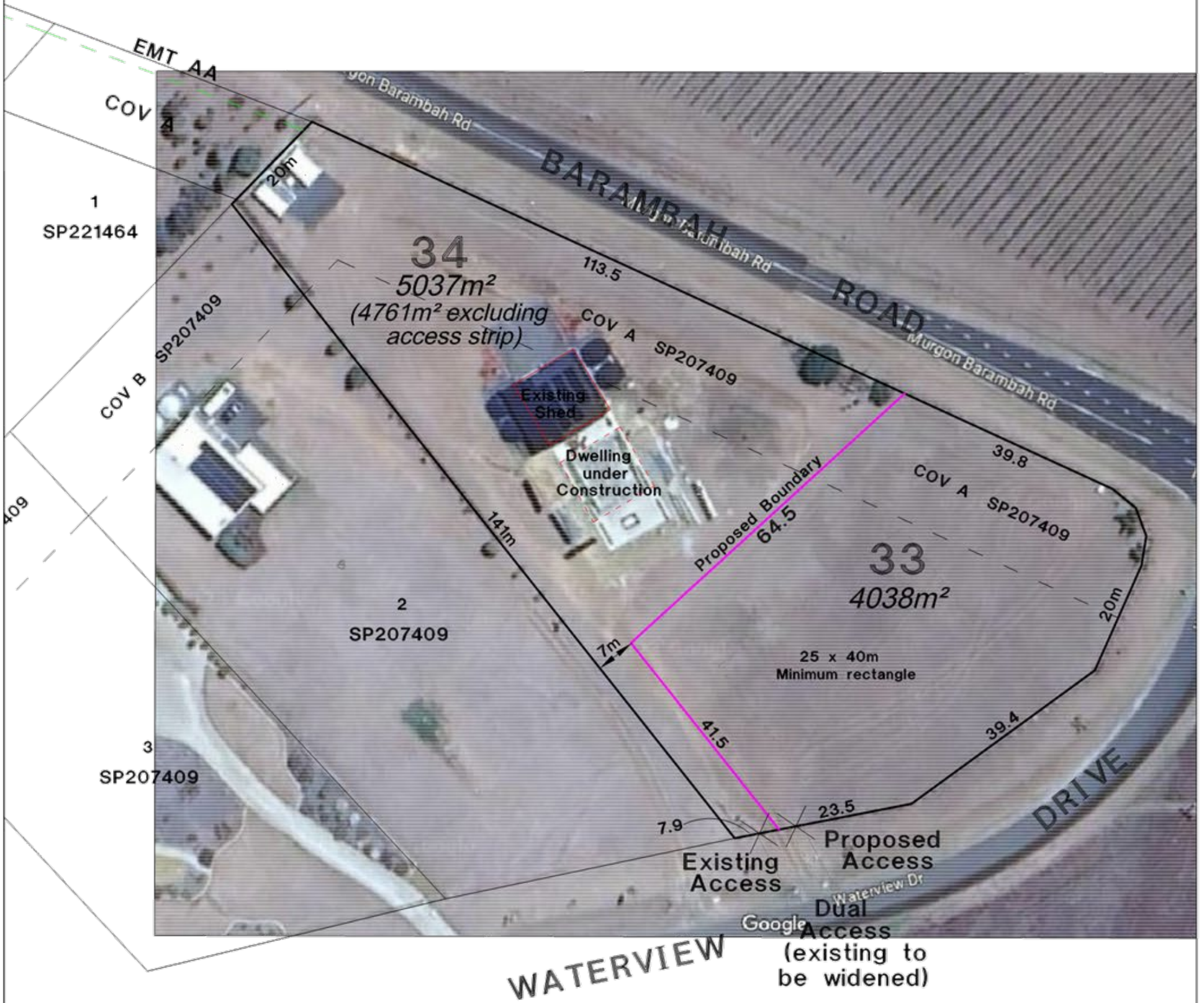
- 69 Hart Street, Blackbutt, 4314;
- 45 Glendon Street, Kingaroy, 4610;
- 42 Stephens Street West, Murgon, 4605;
- 48 Drayton Street, Nanango, 4615;
- McKenzie Street, Wondai, 4606; or
- via other methods identified on the Itemised Breakdown.

Enquiries

Enquiries regarding this Infrastructure Charges Notice should be directed to the SOUTH BURNETT REGIONAL COUNCIL, Department of Planning and Land Management, during office hours, Monday to Friday by phoning (07) 4189 9100 or email at info@southburnett.qld.gov.au



R.P.D. Lot 1 on SP207409 NOTES: Areas & dimensions are approximate only and subject to field survey. DRAWN: NB 5/12/2023 s:\projects\Location\Moffatdale\11827\A\cad Dwg\11827 P1B.dwg		 Ph. (07) 4162 2647 Email: admin@onfsurveyors.com.au		CLIENT: N & C FRENCH TITLE: Proposed Subdivision LOCALITY: 2 Waterview Drive Moffatdale	
REG OWNERS: Nigel & Carolyn French LEVEL DATUM:- N/a CONTOUR INT:- N/a SCALE : 1 : 750				DRAWING No. 11827P/1 Sheet No. 1 of 1 Rev B	



<p>R.P.D. Lot 1 on SP207409</p> <p>NOTES: Areas & dimensions are approximate only and subject to field survey.</p> <p>DRAWN: NB 5/12/2023 s:\projects\Location\Moffatdale\11827\A\cad Dwg\11827 P1B.dwg</p>	<p>REG OWNERS: Nigel & Carolyn French</p> <p>LEVEL DATUM:- N/a</p> <p>CONTOUR INT:- N/a</p> <p>SCALE : 1 : 750</p>	 <p>Ph. (07) 4162 2647 Email: admin@onfsurveyors.com.au</p>	<p>CLIENT: N & C FRENCH</p> <p>TITLE: Proposed Subdivision</p> <p>LOCALITY: 2 Waterview Drive Moffatdale</p> <p>DRAWING No. 11827P/1 Sheet No. 1 of 1 Rev B</p>
---	--	---	---

RA6-N



SARA reference: 2312-38094 SRA
 Council reference: RAL23/0039
 Applicant reference: 11827K

1 February 2024

Chief Executive Officer
 South Burnett Regional Council
 PO Box 336
 Kingaroy QLD 4610
 info@sbrc.qld.gov.au

Dear Sir/Madam

SARA referral agency response—2 Waterview Drive, Moffatdale

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 11 January 2024.

Response

Outcome:	Referral agency response – with conditions
Date of response:	1 February 2024
Conditions:	The conditions in Attachment 1 must be attached to any development approval
Advice:	Advice to the applicant is in Attachment 2
Reasons:	The reasons for the referral agency response are in Attachment 3

Development details

Description:	Development Permit for Reconfiguring a lot – 1 Lot into 2 Lots
SARA role:	Referral agency
SARA trigger(s):	Schedule 10, Part 9, Division 4, Subdivision 2, Table 1, Item 1 (10.9.4.2.1.1)—Reconfiguring a lot near a state transport corridor (Planning Regulation 2017) Schedule 10, Part 9, Division 4, Subdivision 2, Table 3, Item 1 (10.9.4.2.3.1)—Reconfiguring a lot within 100m of a state-controlled road intersection (Planning Regulation 2017)

2312-38094 SRA

SARA reference: 2312-38094 SRA
Assessment manager: South Burnett Regional Council
Street address: 2 Waterview Drive, Moffatdale
Real property description: Lot 1 on SP207409
Applicant name: N & C French
c/- ONF Surveyors
Applicant contact details: PO Box 896
KINGAROY QLD 4610
admin@onfsurveyors.com.au

Human Rights Act 2019 considerations: A consideration of the 23 fundamental human rights protected under the *Human Rights Act 2019* has been undertaken as part of this decision. It has been determined that this decision does not limit human rights

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (s.30 Development Assessment Rules). Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Solomon Johnstone, Planning Officer, on (07) 3882 8491 or via email WBBSARA@dasilgp.qld.gov.au who will be pleased to assist.

Yours sincerely,



David Hooper
Manager, Planning and Development Services

cc N & C French c/- ONF Surveyors, admin@onfsurveyors.com.au

enc Attachment 1 - Referral agency conditions
Attachment 2 - Advice to the applicant
Attachment 3 - Reasons for referral agency response
Attachment 4 - Representations about a referral agency response provisions

Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application) (Copies of the documents referenced below are found at Attachment 5)

No.	Conditions	Condition timing
Development Permit for Reconfiguring a lot		
10.9.4.2.1.1—Reconfiguring a lot near a state transport corridor and 10.9.4.2.3.1—Reconfiguring a lot within 100m of a state-controlled road intersection —The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition:		
1.	Stormwater management of the development must not cause worsening to the operating performance of the state-controlled road, such that any works on the land must not: <ul style="list-style-type: none"> (a) create any new discharge points for stormwater runoff onto the state-controlled road; or (b) concentrate or increase the velocity of flows to the state-controlled road. 	At all times.

Attachment 2—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> , its regulation or the State Development Assessment Provisions (SDAP) (version 3.0). If a word remains undefined it has its ordinary meaning.
2.	<p>Given the site is partly located within the voluntary transport noise corridor area, when undertaking building work to construct the development subject to this Referral agency response the building owner can choose to include the relevant noise category measures under the Mandatory Part (MP) MP4.4 of the Queensland Development Code (QDC). The MP4.4 seeks to ensure that the habitable rooms of Class 1, 2, 3 and 4 buildings located in the transport noise corridor (as defined in the <i>Building Act 1975</i>) are designed and constructed to reduce transport noise. A copy of MP4.4 is available at: https://www.business.qld.gov.au/industries/building-property-development/building-construction/laws-codes-standards/queensland-development-code.</p> <p>More information regarding transport noise corridors areas is available at: https://www.business.qld.gov.au/industries/building-property-development/building-construction/laws-codes-standards/queensland-development-code/transport-noise-corridors.</p>

Attachment 3—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for the SARA's decision are:

The development complies with State code 1: Development in a state-controlled road environment of the SDAP. Specifically, the development:

- does not increase the likelihood or frequency of accidents, fatalities or serious injury for users of the state-controlled road
- does not adversely impact the structural integrity or physical condition of the state-controlled road, road transport infrastructure, public passenger transport infrastructure or active transport infrastructure
- does not adversely impact the function and efficiency of the state-controlled road
- does not limit the protection of community amenity from significant adverse impacts of environmental emissions generated by road transport infrastructure or vehicles using state-controlled roads
- has been conditioned to ensure the stormwater management does not adversely impact the operating performance of the state-controlled road.

Material used in the assessment of the application:

- The development application material and submitted plans.
- *Planning Act 2016*.
- Planning Regulation 2017.
- SDAP (version 3.0), as published by SARA.
- Development Assessment Rules.
- SARA DA Mapping system.
- SPP Mapping
- Section 58 of the *Human Rights Act 2019*.

Attachment 4—Representations about a referral agency response provisions

(page left intentionally blank)

Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

30 Representations about a referral agency response

- 30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.

17.2 NEGOTIATED REPORT FOR MATERIAL CHANGE OF USE - RESIDENTIAL CARE FACILITY (GENERAL CARE UNITS, NDIS UNITS, PALLIATIVE CARE UNITS AND DEMENTIA CARE UNITS), HEALTH CARE SERVICES, HOSPITAL (PLUS 42 X ANCILLARY SHORT-TERM STAFF ACCOMMODATION, CAFE AND FLORIST) AND CHILD CARE CENTRE (50 ENROLMENTS) AT 25 & 31 MARKWELL STREET & 7 GLENDON STREET, KINGAROY (AND DESCRIBED AS LOT 1 ON RP42037, LOT 1 ON RP57027, LOTS 2 & 3 ON RP7925 & LOTS 4 & 5 ON SP146001). APPLICANT: ETHOS HEALTH CARE PTY LTD & C 59 PTY LTD C/- ISAAC CONSULTING PTY LTD

File Number: MCU23/0024
Author: Chief Executive Officer
Authoriser: Chief Executive Officer

PRECIS

Change Representations have been lodged under Section 75 of the *Planning Act 2016* for application MCU23/0024 – Material Change of Use – Development Permit for a Staged Mixed-Use Development – Residential care facility, Health care service, Hospital, Child care centre and Food & Drink Outlets/Shop at 25 & 31 Markwell Street & 7 Glendon Street, Kingaroy (and described as Lot 1 on RP42037, Lot 1 on RP57027, Lots 2 & 3 on RP7625 & Lots 4 & 5 on SP146001).

SUMMARY

- A request for a Negotiated Decision Notice dated 9 February 2024 was lodged by the applicant in relation to an approval for a Material Change of Use – Development Permit for a Staged Mixed-Use Development – Residential care facility, Health care service, Hospital, Child care centre and Food & Drink Outlets/Shop at 25 & 31 Markwell Street & 7 Glendon Street, Kingaroy.
- Pursuant to s75(1) of the *Planning Act 2016* the applicant has requested the following:
 - Change to Ground Floor plans for stage 1, stage 2, & stage 3;
 - Change to Ground Floor Landscape plans for stage 1, stage 2, & stage 3;
 - Change to level 2 Landscape plan for stage 2 & Stage 3;
 - Change to level 6 Landscape plan for stage 1, stage 2, & stage 3;
 - Change to an approved document referred to in the approval;
 - Change to conditions in stage 1;
 - Change to conditions in stage 2; and
 - Change to conditions in stage 3.
- Changes to Ground Floor Plans (all 3 stages) is supported on the basis that amendments were necessary to facilitate requirements imposed by the State Assessment & Referral Agency's decision reference 2310-37472 SRA dated 12 January 2024.
- The approved document referred to in the approval (CRG Acoustic Report) was updated to reflect the current revision (rev 4).
- Assessment of proposed changes to conditions are itemised in section 3 of this Negotiated Decision Report.
- The proposed change to condition ENG44(b) was not supported (condition ENG44(b) wording to remain as is), but all remaining changes to Conditions are supported.
- Condition ENG44(b) relates to the replacement of the kerb and channel along the Glendon Street frontage of the site. This condition was included as the existing kerb and channel is generally in poor condition, and likely to be further damaged during construction due to the footpath and pavement works. The applicant thought that this condition would impact the design for the on-grade transition between the new parallel parks and the footpath. However, the condition ENG44(b) only relates to kerb and channel outside of the parking/set down

areas identified on approved plans. Council’s officers explained the condition ENG44(b)’s intent to the applicant, hence the reason for the condition is clearly understood by all.

- Council’s officers consider that approval is suitable conditioned to comply as necessary.
- Refer Attachment A – Statement of Reasons.
- Refer Attachment B – Infrastructure Charges Notice.
- Refer Attachment C – Approved Plans.
- Refer to Attachment D – Referral Agency Response.
- The application is recommended for approval, subject to reasonable and relevant conditions.

OFFICER’S RECOMMENDATION

That Council approve the Negotiated Decision request for Material Change of Use for a Staged Mixed-Use Development – Residential Care Facility, Health Care Services, Hospital, Child Care Centre and Food & Drink Outlets/Shop on land at 25 & 31 Markwell Street & 7 Glendon Street, Kingaroy (formally described as Lot 1 on RP42037, Lot 1 on RP57027, Lots 2 & 3 on RP7925 and Lots 4 & 5 on SP146001) – Applicant: Ethos Health Care Pty Ltd & C 59 Pty Ltd C/- Isaac Consulting Pty Ltd, subject to the following conditions:-

GEN1. The development must be completed and maintained generally in accordance with the approved plans and documents and any amendments arising through conditions to this development approval:

AMENDED APPROVED PLANS

Drawing Title	Prepared by	Drawing no.	Issue	Date
Stage 1 – Approved Plans				
Ground Floor – Stage 1	BLACK INK	SK-06	Issue 11	15 Feb 2024 (print date 27 Feb 2024)
Level 1 Plan – Stage 1	BLACK INK	SK-07	Issue 10	30 Nov 2023
Level 2 Plan – Stage 1	BLACK INK	SK-08	Issue 10	30 Nov 2023
Level 3 Plan – Stage 1	BLACK INK	SK-09	Issue 10	30 Nov 2023
Level 4 Plan – Stage 1	BLACK INK	SK-10	Issue 10	30 Nov 2023
Level 5 Plan – Stage 1	BLACK INK	SK-11	Issue 10	30 Nov 2023
Roof Plan – Stage 1	BLACK INK	SK-12	Issue 10	30 Nov 2023
Ground Floor Landscape Concept Plan		Sheet 2		Feb 2024
Level 6 Landscape Concept Plan (with Shaded Devices)		Sheet 12		Feb 2024
Level 6 Landscape Concept Plan		Sheet 13		Feb 2024
Stage 2 – Approved Plans				
Ground Floor – Stage 2	BLACK INK	SK-13	Issue 11	15 Feb 2024 (print date 27 Feb 2024)
Level 1 Plan – Stage 2	BLACK INK	SK-14	Issue 10	30 Nov 2023
Level 2 Plan – Stage 2	BLACK INK	SK-15	Issue 10	30 Nov 2023
Level 3 Plan – Stage 2	BLACK INK	SK-16	Issue 10	30 Nov 2023
Level 4 Plan – Stage 2	BLACK INK	SK-17	Issue 10	30 Nov 2023
Level 5 Plan – Stage 2	BLACK INK	SK-18	Issue 10	30 Nov 2023
Roof Plan – Stage 2	BLACK INK	SK-19	Issue 10	30 Nov 2023
Ground Floor Landscape Concept Plan		Sheet 2		Feb 2024
Level 2 Landscape Concept Plan		Sheet 4		Feb 2024

Level 6 Landscape Concept Plan (with Shaded Devices)		Sheet 12		Feb 2024
Level 6 Landscape Concept Plan		Sheet 13		Feb 2024
Stage 3 – Approved Plans				
Ground Floor – Stage 3	BLACK INK	SK-20	Issue 11	15 Feb 2024 (print date 27 Feb 2024)
Level 1 Plan – Stage 3	BLACK INK	SK-21	Issue 10	30 Nov 2023
Level 2 Plan – Stage 3	BLACK INK	SK-22	Issue 10	30 Nov 2023
Level 3 Plan – Stage 3	BLACK INK	SK-23	Issue 10	30 Nov 2023
Level 4 Plan – Stage 3	BLACK INK	SK-24	Issue 10	30 Nov 2023
Level 5 Plan – Stage 3	BLACK INK	SK-25	Issue 10	30 Nov 2023
Roof Plan – Stage 3	BLACK INK	SK-26	Issue 10	30 Nov 2023
Ground Floor Landscape Concept Plan		Sheet 2		Feb 2024
Level 2 Landscape Concept Plan		Sheet 4		Feb 2024
Level 5 Landscape Concept Plan		Sheet 7		Feb 2024
Level 6 Landscape Concept Plan (with Shaded Devices)		Sheet 12		Feb 2024
Level 6 Landscape Concept Plan		Sheet 13		Feb 2024
Section S01	BLACK INK	SK-29	Issue 09	05 Oct 2023
(Elevations 1) North Elevation	BLACK INK	SK-30	Issue 09	05 Oct 2023
(Elevations 1) East Elevation	BLACK INK	SK-30	Issue 09	05 Oct 2023
(Elevations 2) South Elevation	BLACK INK	SK-31	Issue 09	05 Oct 2023
(Elevations 2) West Elevation	BLACK INK	SK-31	Issue 09	05 Oct 2023
Landscaping Elevation Plans				
Landscape Section (Section – A)		Sheet 20		Feb 2024
Landscape Elevations and Blow Ups		Sheet 21		Feb 2024
Landscape Elevations and Blow Ups		Sheet 22		Feb 2024
Landscape Planting Schedule (Stage 1, Stage 2, Stage 3)				
Planting Schedule		Sheet 23		Feb 2024
Planting Schedule		Sheet 24		Feb 2024

Where there is a conflict between the conditions of this approval and the details shown on the approved plans and documents, the conditions of approval prevail.

DOCUMENTS REFERRED TO IN THIS APPROVAL (ALL STAGES)

- CRG ACOUSTICS Environmental Noise Impact Assessment_23062_Revision 4_ Dated 27 November 2023.
- Lambert & Rehbein (SEQ) Pty Ltd Traffic Impact Assessment (Letter) ref_B23192TL001.
- Lambert & Rehbein (SEQ) Pty Ltd - Waste Management – Proposed Health Precinct – Revision 1, Dated 14 September 2023.
- Statement of Landscape Intent, Dated February 2024

STAGE 1 CONDITIONS

GENERAL

Unless otherwise amended by the following conditions.

- GEN2. All works including the repair or relocation of services (Telstra/lighting) are to be completed at no cost to council.
- GEN3. The applicant is required to maintain the site in a clean and orderly state at all times.
- ~~GEN4. All existing lots are to be amalgamated into a single lot prior to the commencement of Stage 1's site works.~~

ADDITIONAL DRAWINGS (STAGE 1)

- GEN5. Prior to the commencement of Stage 1 works, provide detailed elevations of the intended Stage 1 building inclusive of the following:
- Confirm extent of façade treatments to be presented to Glendon Street frontage (east), & façade treatments closest to the adjoining property boundary (west).
 - Interim façade treatments to all blank walls exposed prior to enactment of subsequent Stages 2 & 3.

COMPLIANCE ASSESSMENT

- GEN6. All conditions of this approval are to be satisfied prior to Council issuing a compliance certificate for the commencement of the use and it's and it is the applicant's responsibility to notify Council to inspect compliance with conditions.

Compliance certificate fee will be charged with payment required prior to council approval of the associated documentation requiring compliance assessment.

CONDITION TIMING

- GEN7. Unless stated otherwise, all conditions are to be complied with prior to commencement of the use and compliance maintained at all times while the use continues.

BUILDING MANAGEMENT STATEMENT

- GEN8. Ensure a Building Management Statement is registered on the title

The Building Management Statement must cover common building management items including but not limited to any shared:

- support, services and utilities;
- pedestrian and vehicle access;
- car parking including visitor and disabled spaces;
- vehicle servicing areas including loading docks;
- refuse storage and collection areas;
- storage areas;
- recreation areas

Timing: Prior to the occupancy of the building or issue of Certificate of Classification whichever occurs first.

- GEN9. The building management statement must be submitted to, and the content accepted by South Burnett Regional Council's 'Development Services'.
- GEN10. Lodge the accepted building Management Statement with the Registrar of Titles for the relevant Queensland State Government Authority.
- GEN11. Submit to South Burnett Regional Council's 'Development Services' evidence of the registration of the accepted Building Management Statement.

PLANNING NATURE & EXTENT OF THE APPROVED USE

- MCU1. Stage 1 uses are limited to those identified on the approved plans (Ground Level through to Level 6).
- MCU2. Multi-Purpose Roofed Area (280m²) & Chapel (100m²), located on roof top must remain ancillary to the approved Residential care facility and Hospital only.
- MCU3. Existing buildings and ancillary components identified on 'Ground Floor – Stage 1' are to be suitably maintained in a lawful manner where required for interim use.
- MCU4. Landscape areas associated with existing buildings identified on 'Ground Floor – Stage 1' are to be maintained during interim use.

DEMOLITION

- MCU5. In the event existing buildings identified on 'Ground Floor – Stage 1' are demolished (in preparation of Stage 2 works) and site remains vacant for more than 3 months, all exposed areas are to appropriately treated for erosion and sediment control eg. turfed as agreed to by Council.

BUILDING HEIGHT

- MCU6. The maximum building height (Stage 1) must be in accordance with the following:
- Maximum overall vertical height of 33.5m (from existing ground level) to the peak roof height shown in approved drawing SK-29_Section S01_ (issue 09) _date 5 October 2023; and
 - Total number of storeys is 7 with arrangement (of storeys) to be in accordance with that shown in approved drawing SK-29_Section S01_ (issue 09) _date 5 October 2023.
- MCU7. Submit to Council certification from a registered surveyor confirming that the 'as constructed' overall height are in accordance with the requirements of condition MCU6.

Timing: Prior to issue of certificate of classification/Final Inspection Certificate, or prior to commencement of use (whichever comes first).

EXTERNAL ARCHITECTURAL DETAILS

- MCU8. External details of the building façade treatment and external materials, colours and finishes must be consistent with approved drawings and documents.

AWNING IN THE ROAD RESERVE

- MCU9. Provide a pedestrian awning along Glendon Street to the extent of the building façade (fronting Glendon Street) in accordance with the Approved Plans.

SECURITY LIGHTING

- MCU10. Install a lighting system to the underside of the proposed awning over the footpath in accordance with the relevant Australian Standards and in accordance with the following:
- Suitably qualified professional is to submit a detailed lighting plan demonstrating that under awning lighting complies with applicable Australian Standards (for Pedestrian Areas).
 - Implement in accordance with the detailed lighting plan and provide Council with certification of completed works (from a licensed electrical contractor).
 - Maintain the awning lighting system at all times.
- MCU11. Install and maintain a suitable system of security lighting to operate from dusk till dawn within all areas where the public may gain access, including carparking areas, building entrances, and vegetated areas.

- MCU12. Design of all external lighting in accordance with AS 4282-1997 '*Control of obtrusive effects of outdoor lighting*', ensuring that light spillage does not cause nuisance to nearby sensitive uses.
- MCU13. Provide certification from a suitably qualified professional that all security lighting installed complies with applicable Australian Standards and retains acceptable impacts on adjoining (or nearby) sensitive uses.

FENCING AND ACOUSTIC TREATMENTS

- MCU14. All fencing and acoustic treatments to be in accordance with the CRG Acoustics - Environmental Noise Impact Assessment, Reference 23062, Revision 4, Dated 27 November 2023.

Nb. The combined height of the retaining wall, fencing and/or acoustic barrier must not exceed the adopted height as referred to in the Environmental Noise Impact Assessment.

LANDSCAPING

- MCU15. Construct landscaping in accordance with the prepared landscape concept plan, the relevant council standards, best trade practise, and the following conditions.
- If the extent or configuration of landscaped areas has been marginally amended from the plan, then adjust plant numbers to ensure full coverage.
 - Provide a 3-tier landscape structure to all landscape areas IE trees shrubs and ground covers.
 - Maximise opportunities for stormwater infiltration into landscaped areas (where available).
 - Maintain the landscape works generally in accordance with the detailed plans and to industry standards.

SCREEN MECHANICAL PLANT

- MCU16. Install and maintain suitable screening to all air conditioning, lift motor rooms, plant and service facilities located at the top of or on the external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the façade of the building.

ELECTRICITY/TELECOMMUNICATIONS

- MCU17. The development is to be supplied with reticulated electricity and telecommunications services.

VISUAL AMENITY & REFLECTIVITY

- MCU18. Façade treatments must not cause nuisance from glare and/or inappropriate reflectivity.

~~MCU19. Provide written confirmation from an appropriately qualified professional that façade treatments do not generate unreasonable glare, or reflectivity.~~

NOISE

- MCU20. Carry out the development in accordance with the CRG Acoustics report reference_23062_REV4 recommendations as they relate to works associated with Stage 1 of this approval.
- MCU21. A suitably qualified Acoustic Consultant shall provide written confirmation that all CRG Acoustics report reference_23062_REV4 recommendations (relevant to **Stage 1**) are in place.

Timing: Prior to issue of certificate of classification/Final Inspection Certificate, or prior to commencement of use (whichever comes first).

- MCU22. Operation of trucks and commercial vehicles (excluding waste collection vehicles and emergency vehicles) must only occur between 7am & 7pm Monday to Saturday.
- MCU23. All metal grilles, metal plates or similar subject to vehicular traffic must be acoustically damped to prevent environmental nuisance.
- MCU24. Following the installation of all mechanical plant and equipment (e.g. air conditioning, mechanical ventilation, and refrigeration equipment and heat pump hot water systems), submit to South Burnett Regional Council's 'Development Services' certification that the plant and equipment is adequately noise-attenuated and in accordance with applicable Planning Scheme Codes/policies (and other applicable laws)

CAR PARKING

- MCU25. Car parking within the premises must be maintained exclusively for the ancillary use of the development. The parking must be retained for purposes associated with the approved development.
- MCU26. Bin Storage area identified on Ground Floor – Stage 1 (SK06) is to include appropriate washdown facilities and drainage connections.

ENGINEERING WORKS

- ENG1. Submit to Council, an Operational Work application for all civil works including earthworks, stormwater, water supply, sewer, roadworks, access and parking, erosion and sediment control.
- ENG2. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to commencement of the use unless stated otherwise.
- ENG3. Be responsible for the full cost of any alterations necessary to electricity, telephone, water mains, sewer mains, stormwater drainage systems or easements and/or other public utility installations resulting from the development or from road and drainage works required in connection with the development.
- ENG4. Submit to Council, certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the Approved Plans and specifications and to Council's requirements, prior to commencement of the use.

MAINTENANCE

- ENG5. Maintain all works that will become Council infrastructure for a period of 12 months (maintenance period) from the date of on-maintenance. Any defective works must be rectified within the maintenance period.
- ENG6. Provide Council with a maintenance bond in an acceptable form equal to 5% of the value of Council's infrastructure prior to commencement of the maintenance period.

LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS

- ENG7. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.
- ENG8. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.

ENG9. Repair any and all damage to Councils road network resulting from the construction of the development. In particular, Glendon Street is unlikely to be able to support the types of vehicles and associated loadings that will be required for construction of the development (e.g. construction equipment, materials delivery etc), and failure of the pavement and surface is expected.

Comment: Council is open to discussing a suitable approach to the ongoing maintenance of roads, to ensure that failures and repairs are rectified in a timely manner, so that Council roads are safe for all road users at all times.

CONSTRUCTION TRAFFIC ROUTES

ENG10. All construction traffic associated with the development (excluding light vehicles) shall enter and exit the site via Glendon Street, between Avoca Street and the concrete median south of the roundabout at the intersection of Glendon Street and Markwell Street. All construction traffic shall enter and exit Glendon Street from the Avoca Street end. No other transport route to or from the site shall be used without the written consent of Council.

CONSTRUCTION AND NUISANCE MANAGEMENT PLAN

ENG11. Submit to Council for endorsement, a Construction and Nuisance Management Plan for approved development works for the site. The Plan is to cover where applicable, the following:

- a) air quality management;
- b) noise and vibration management;
- c) storm water quality management;
- d) erosion and sediment management;
- e) vegetation management;
- f) waste management;
- g) complaint management;
- h) community awareness;
- i) preparation of site work plans;
- j) workers' car parking arrangements;
- k) traffic control during works; and
- l) delivery of materials.

Timing: Prior to commencement of works.

ENG12. Implement the approved Construction Management Plan at all times during construction of the development.

ENG13. Ensure a legible copy of the approved Construction Management Plan is available on-site at all times during construction and earthworks.

STORMWATER MANAGEMENT

ENG14. Provide stormwater management generally in accordance with the Conceptual Site Based Stormwater Management Plan prepared by RMA Engineers, Revision 1, dated 30 August 2023, subject to detailed design and except as altered by conditions of this development approval.

ENG15. Provide overland flow paths that do not adversely alter the characteristics of existing overland flows on other properties or that create an increase in flood damage on other properties.

ENG16. Design and construct stormwater drainage incorporating measures to prevent any solid matter and floatable oils being carried into existing stormwater system.

- ENG17. Stormwater from sealed areas and overflow pipes from stormwater detention structures and/or tanks installed for the stormwater system is required to be piped to the kerb and channel.
- ENG18. Design and construct all internal stormwater drainage works to comply with the relevant Section/s of AS/NZS 3500.3.2.
- ENG19. Ensure that adjoining properties and roadways are protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.
- ENG20. Discharge all minor storm flows that fall or pass onto the site to the lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).

WATER SUPPLY

- ENG21. Connect the development to Council's reticulated water supply system via a single connection, designed to Council and WWBROC requirements.

SEWERAGE

- ENG22. Connect the development to Council's reticulated sewerage system via a single connection. The connection must be designed in accordance with Council and WWBROC standards and be approved by Council's Utility Services Section.
- ENG23. Actual connection to Council's live sewerage infrastructure must be undertaken by or under the supervision of Council.
- ENG24. Any works within the vicinity of an existing or proposed sewer shall meet the requirements of QDC *MP1.4 Building over or near relevant infrastructure*.
- ENG25. The existing sewer main SM0714 (Council Asset No. W00739), and end of line manhole 2125/3 (Council Asset No. W00276) within the site shall be removed or filled with flowable concrete with the connection to manhole 2125/2 made good.

Timing: Prior to commencement of Stage 1 of the development.

Comment: The existing sewer connection can be used until the new sewer extension is complete.

SEWER EXTENSION

- ENG26. Design and construct a 150mm diameter sewer main from the site to manhole 2129A/1 (located on the southern side of Avoca Street), with a suitable alignment along Glendon Street, to service the whole of the proposed development.

Timing: Prior to commencement of Stage 1 of the development.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

TRADE WASTE DISPOSAL (COMMERCIAL KITCHEN)

- ENG27. Connect any commercial kitchen to Council's sewer reticulation. Obtain a Plumbing Approval from Council with the relevant inspections undertaken prior to connection to the sewer.

PARKING AND ACCESS - GENERAL

- ENG28. Design all access driveways, circulation driveways, parking aisles and car parking spaces in accordance with Australian Standard 2890.1 - Parking Facilities - Off Street Car Parking.

- ENG29. Design all on-street parking in accordance with *AS2890.5:2020 Parking facilities On-street parking*, and Austroads Guide to Road Design.
- ENG30. Design and construct all access, parking and manoeuvring areas with concrete, asphalt or a two-coat bitumen seal.
- ENG31. Provide a minimum of 42 off street car parking spaces, including a minimum of 1 person with disability (PWD) car parking space, and 2 continuous set down zones generally in accordance with Black Ink Architecture Dwg SK-06 Issue 11 dated 27/02/2024, and which reflect requirements in the SARA decision reference 2310-37472 SRA on 12 January 2024.
- ENG32. Design & construct all off street PWD car parking spaces in accordance with AS2890.6.
- ENG33. Provide a concrete pedestrian footpath from the carpark to the Stage 1 buildings that meets the Disability Discrimination Act requirements.
- ENG34. Provide vehicle bollards or tyre stops to control vehicular access and to protect landscaping or pedestrian areas where appropriate.
- ENG35. Line mark or otherwise delineate the car park aisles and driveways within the development with directional arrows on the pavement to enable all vehicles to enter and leave the site in a forward gear.
- ENG36. Ensure access to car parking spaces, vehicle loading and manoeuvring areas and driveways remain unobstructed and available for their intended purpose during the hours of operation.
- ENG37. Install all necessary signage for traffic flow e.g. No Entry, One-Way, Left Out Only.

PARKING AND ACCESS - SERVICING

- ENG38. Provide loading bay/drop off facilities for Small Rigid Vehicle, Waste Collection Vehicle, mini bus, and ambulance in the locations generally shown on the approved plan(s) of development.
- ENG39. Design along the route to and from all loading bay facilities and the external road network, all access driveways, circulation driveways, parking aisles and the like with a layout that accommodates the turning movements of all service vehicles, and ensure that all vehicles are able to enter and exit the site in a forward direction.
- ENG40. Ensure loading and unloading operations are conducted wholly within the site and vehicles enter and exit the site in a forward direction.

VEHICLE ACCESS

- ENG41. Accesses to the site between the property boundary and the edge of the Markwell Street/Glendon Street road pavement, shall be constructed in accordance with Council's Standard Drawing IPWEAQ Std Dwg RS-051, Rev F. Ensure that crossovers splay is designed to accommodate turning movements of the longest expected service vehicle.

Timing: Prior to commencement of Stage 1 of the development.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

- ENG42. Construct any new crossovers such that the edge of the crossover is no closer than 1 metre to any existing or proposed infrastructure, including any stormwater gully pit, manhole, service infrastructure (eg power pole, telecommunications pit), road infrastructure (eg street sign, street tree, etc).

REDUNDANT CROSSOVERS

ENG43. Remove all redundant crossovers and reinstate the kerb and channel, road pavement, services, verge and any footpath to the standard immediately adjacent along the frontage of the site.

ROADWORKS – FRONTAGE WORKS

ENG44. Design and construct the Glendon Street frontage of the proposed development in accordance with Council Standards, relevant Austroads' Standards, and Council's Planning Scheme. More specifically, include the following:

- Widening of Glendon Street to accommodate the proposed parallel parking. This includes any reconstruction of Glendon Street to achieve the design levels required for kerb and channel;
- Replacement of the kerb and channel for the full Glendon Street frontage;
- Full width concrete footpath between the kerb and property boundary;
- provision for stormwater drainage (including adjusting manhole levels), line marking, signage (including parking restrictions) and kerb ramps.

Comment: Roadworks shall be carried out under an Operational Work application.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

ROADWORKS AND PEDESTRIAN SAFETY

ENG45. Install signage for all works on or near roadways in accordance with the Manual for Uniform Traffic Control Devices – Part 3, Works on Roads.

ENG46. Submit to Council, an application for any footpath, road or lane closures, and ensure all conditions of that approval are complied with during construction of the works.

ENG47. Maintain safe pedestrian access along Council's footpaths at all times.

ELECTRICITY AND TELECOMMUNICATION

ENG48. Connect the development to electricity and telecommunication services.

EARTHWORKS – GENERAL

ENG49. Earthworks per site involving cut or fill with a quantity of material greater than 50m³, requires an Operational Work application.

ENG50. Undertake earthworks in accordance with the provisions of AS3798 Guidelines on Earthworks for Commercial and Residential Developments.

EROSION AND SEDIMENT CONTROL – GENERAL

ENG51. Ensure that all reasonable actions are taken to prevent sediment or sediment laden water from being transported to adjoining properties, roads and/or stormwater drainage systems.

ENG52. Remove and clean-up sediment or other pollutants in the event that sediment or other pollutants are tracked/released onto adjoining streets or stormwater systems, at no cost to Council.

STAGE 2 CONDITIONS

GENERAL

Unless otherwise amended by the following conditions.

GEN2. The development must be completed and maintained generally in accordance with the approved plans and documents and any amendments arising through conditions to this development approval (refer to the **approved plans** cited under condition GEN1.).

GEN3. All works including the repair or relocation of services (Telstra/lighting) are to be completed at no cost to council.

GEN4. The applicant is required to maintain the site in a clean and orderly state at all times.

ADDITIONAL DRAWINGS (STAGE 2)

GEN5. Prior to the commencement of Stage 2 works, provide, detailed elevations of the intended Stage 2 building inclusive of the following:

- Show all proposed façade treatments to property boundaries and road frontages.
- The interim façade treatment to blank walls prior to enactment of subsequent Stage 3.

COMPLIANCE ASSESSMENT

GEN6. All conditions of this approval are to be satisfied prior to Council issuing a compliance certificate for the commencement of the use and it's and it is the applicant's responsibility to notify Council to inspect compliance with conditions.

Compliance certificate fee will be charged with payment required prior to council approval of the associated documentation requiring compliance assessment.

CONDITION TIMING

GEN7. Unless stated otherwise, all conditions are to be complied with prior to commencement of the use and compliance maintained at all times while the use continues.

BUILDING MANAGEMENT STATEMENT

GEN8. Ensure a Building Management Statement is registered on the title.

The Building Management Statement must cover common building management items including but not limited to any shared:

- Support, services and utilities;
- Pedestrian and vehicle access;
- Car parking including visitor and disabled spaces;
- Vehicle servicing areas including loading docks;
- Refuse storage and collection areas;
- Storage areas; and
- Recreation areas.

Timing: As part of the registration of the plan of subdivision notated by Council and then to be maintained.

GEN9. The building management statement must be submitted to, and the content accepted by South Burnett Regional Council's 'Development Services'.

GEN10. Lodge the accepted building Management Statement with the Registrar of Titles for the relevant Queensland State Government Authority.

GEN11. Submit to South Burnett Regional Council's 'Development Services' evidence of the registration of the accepted Building Management Statement.

PLANNING

NATURE & EXTENT OF THE APPROVED USE

MCU1. Stage 1 & 2 uses are limited to those identified on the approved plans (Ground Level through to Level 6).

- MCU2. Short-Term staff accommodation must remain ancillary to the approved Hospital, Health care services, and Residential care facility only. Short-Term staff accommodation is to be maintained exclusively for the purpose of accommodating staff and/or other service providers associated with the approved Hospital, Health care services, and Residential care facility only.
- MCU3. Roof top is to be limited to garden areas only unless otherwise stated on the approved drawings.
- MCU4. Multi-Purpose Space (165m² located on Roof Top) must remain ancillary to the approved Hospital, and Residential care facility only.
- MCU5. In the event that an appropriate liquor licence is obtained from the relevant authority, this development approval for Food and Drink Outlet (at ground level) does not permit the service of alcohol to patrons who are not consuming food.

DEMOLITION

- MCU6. Demolish buildings/structures on the site in accordance with the approved drawings and where applicable the approved Construction Management Plan.
- MCU7. If construction for Stage 2 does not commence within 3 months of the demolition of the existing buildings (on site), the site must be turfed and appropriately treated for erosion and sediment control.

BUILDING HEIGHT

- MCU8. The maximum building height (Stage 2) must be in accordance with the following:
- Maximum overall vertical height of 33.5m (from existing ground level) to the peak roof height shown in approved drawing SK-29_Section S01_ (issue 09) _date 5 October 2023; and
 - Total number of storeys is 7 with arrangement (of storeys) to be in accordance with that shown in approved drawing SK-29_Section S01_ (issue 09) _date 5 October 2023.
- MCU9. Submit to Council certification from a registered surveyor confirming that the 'as constructed' overall height are in accordance with the requirements of condition MCU8.

EXTERNAL ARCHITECTURAL DETAILS

- MCU10. All Stage 2 building façade treatments, external materials, colours and finishes must be in accordance with the approved drawings and documents.

AWNING IN THE ROAD RESERVE

- MCU11. Provide a pedestrian awning along Markwell Street & Glendon Street to the extent shown in Stage 2 drawings (fronting Markwell Street & Glendon Street).

SECURITY LIGHTING

- MCU12. Install a lighting system to the underside of the proposed awning over the footpath in accordance with the relevant Australian Standards and in accordance with the following:
- Suitably qualified professional is to submit a detailed lighting plan demonstrating that under awning lighting complies with applicable Australian Standards (for Pedestrian Areas).
 - Implement in accordance with the detailed lighting plan and provide Council with certification of completed works (from a licensed electrical contractor).
 - Maintain the awning lighting system at all times.

- MCU13. Install and maintain a suitable system of security lighting to operate from dusk till dawn within all areas where the public may gain access, including carparking areas, building entrances, and vegetated areas.
- MCU14. Design of all external lighting in accordance with AS 4282-1997 '*Control of obtrusive effects of outdoor lighting*', ensuring that light spillage does not cause nuisance to nearby sensitive uses.
- MCU15. Provide certification from a suitably qualified professional that all security lighting installed complies with applicable Australian Standards and retains acceptable impacts on adjoining (or nearby) sensitive uses.

Timing: Prior to issue of certificate of classification/Final Inspection Certificate, or prior to commencement of use (whichever comes first).

LANDSCAPING

- MCU16. Construct landscaping in accordance with the prepared landscape concept plan, the relevant council standards, best trade practise, and the following conditions.
- If the extent or configuration of landscaped areas has been marginally amended from the plan, then adjust plant numbers to ensure full coverage.
 - Provide a 3-tier landscape structure to all landscape areas IE trees shrubs and ground covers.
 - Maximise opportunities for stormwater infiltration into landscaped areas (where available).
 - Maintain the landscape works generally in accordance with the detailed plans and to industry standards.

SCREEN MECHANICAL PLANT

- MCU17. Install and maintain suitable screening to all air conditioning, lift motor rooms, plant and service facilities located at the top of or on the external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the façade of the building.

ELECTRICITY/TELECOMMUNICATIONS

- MCU18. The development is to be supplied with reticulated electricity and telecommunications services.

VISUAL AMENITY & REFLECTIVITY

- MCU19. Façade treatments must not cause nuisance from glare and/or inappropriate reflectivity.

~~MCU20. Provide written confirmation from an appropriately qualified professional that façade treatments do not generate unreasonable glare, or reflectivity.~~

NOISE

- MCU21. Carry out the development in accordance with the CRG Acoustics report reference 23062_REV4 recommendations as they relate to works associated with Stage 2 of this approval.
- MCU22. A suitably qualified Acoustic Consultant shall provide written confirmation that all CRG Acoustics report reference_23062_REV4 recommendations (relevant to **Stage 2**) are in place.

Timing: Prior to issue of certificate of classification/Final Inspection Certificate, or prior to commencement of use (whichever comes first).

- MCU23. Operation of trucks and commercial vehicles (excluding waste collection vehicles and emergency vehicles) must only occur between 7am & 7pm Monday to Saturday.
- MCU24. All metal grilles, metal plates or similar subject to vehicular traffic must be acoustically damped to prevent environmental nuisance.
- MCU25. Following the installation of all mechanical plant and equipment (e.g. air conditioning, mechanical ventilation, and refrigeration equipment and heat pump hot water systems), submit to South Burnett Regional Council's 'Development Services' certification that the plant and equipment is adequately noise-attenuated and in accordance with applicable Planning Scheme Codes/policies (and other applicable laws).

CAR PARKING

- MCU26. Car parking within the premises must be maintained exclusively for the ancillary use of the development. The parking must be retained for purposes associated with the approved development.
- MCU27. Bin Storage area identified on Ground Floor – Stage 2 (SK13) is to include appropriate washdown facilities and drainage connections.

ENGINEERING WORKS

- ENG1. Submit to Council, an Operational Work application for all civil works including earthworks, stormwater, water supply, sewer, roadworks, access and parking, erosion and sediment control.
- ENG2. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to commencement of the use unless stated otherwise.
- ENG3. Be responsible for the full cost of any alterations necessary to electricity, telephone, water mains, sewer mains, stormwater drainage systems or easements and/or other public utility installations resulting from the development or from road and drainage works required in connection with the development.
- ENG4. Submit to Council, certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the Approved Plans and specifications and to Council's requirements, prior to commencement of the use.

MAINTENANCE

- ENG5. Maintain all works that will become Council infrastructure for a period of 12 months (maintenance period) from the date of on-maintenance. Any defective works must be rectified within the maintenance period.
- ENG6. Provide Council with a maintenance bond in an acceptable form equal to 5% of the value of Council's infrastructure prior to commencement of the maintenance period.

LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS

- ENG7. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.
- ENG8. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.

ENG9. Repair any and all damage to Councils road network resulting from the construction of the development. In particular, Glendon Street is unlikely to be able to support the types of vehicles and associated loadings that will be required for construction of the development (e.g. construction equipment, materials delivery etc), and failure of the pavement and surface is expected.

Comment: Council is open to discussing a suitable approach to the ongoing maintenance of roads, to ensure that failures and repairs are rectified in a timely manner, so that Council roads are safe for all road users at all times.

CONSTRUCTION TRAFFIC ROUTES

ENG10. All construction traffic associated with the development (excluding light vehicles) shall enter and exit the site via Glendon Street, between Avoca Street and the concrete median south of the roundabout at the intersection of Glendon Street and Markwell Street. All construction traffic shall enter and exit Glendon Street from the Avoca Street end. No other transport route to or from the site shall be used without the written consent of Council.

CONSTRUCTION AND NUISANCE MANAGEMENT PLAN

ENG11. Submit to Council for endorsement, a Construction and Nuisance Management Plan for approved development works for the site. The Plan is to cover where applicable, the following:

- a) air quality management;
- b) noise and vibration management;
- c) storm water quality management;
- d) erosion and sediment management;
- e) vegetation management;
- f) waste management;
- g) complaint management;
- h) community awareness;
- i) preparation of site work plans;
- j) workers' car parking arrangements;
- k) traffic control during works; and
- l) delivery of materials.

Timing: Prior to commencement of works.

ENG12. Implement the approved Construction Management Plan at all times during construction of the development.

ENG13. Ensure a legible copy of the approved Construction Management Plan is available on-site at all times during construction and earthworks.

STORMWATER MANAGEMENT

ENG14. Provide stormwater management generally in accordance with the Conceptual Site Based Stormwater Management Plan prepared by RMA Engineers, Revision 1, dated 30 August 2023, subject to detailed design and except as altered by conditions of this development approval.

ENG15. Provide overland flow paths that do not adversely alter the characteristics of existing overland flows on other properties or that create an increase in flood damage on other properties.

ENG16. Design and construct stormwater drainage incorporating measures to prevent any solid matter and floatable oils being carried into existing stormwater system.

- ENG17. Stormwater from sealed areas and overflow pipes from stormwater detention structures and/or tanks installed for the stormwater system is required to be piped to the kerb and channel.
- ENG18. Design and construct all internal stormwater drainage works to comply with the relevant Section/s of AS/NZS 3500.3.2.
- ENG19. Ensure that adjoining properties and roadways are protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.
- ENG20. Discharge all minor storm flows that fall or pass onto the site to the lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).

WATER SUPPLY

- ENG21. Connect the development to Council's reticulated water supply system via a single connection, designed to Council and WWBROC requirements.

SEWERAGE

- ENG22. Connect the development to Council's reticulated sewerage system via a single connection. The connection must be designed in accordance with Council and WWBROC standards and be approved by Council's Utility Services Section.
- ENG23. Actual connection to Council's live sewerage infrastructure must be undertaken by or under the supervision of Council.
- ENG24. Any works within the vicinity of an existing or proposed sewer shall meet the requirements of QDC *MP1.4 Building over or near relevant infrastructure*.

TRADE WASTE DISPOSAL (COMMERCIAL KITCHEN)

- ENG25. Connect any commercial kitchen to Council's sewer reticulation. Obtain a Plumbing Approval from Council with the relevant inspections undertaken prior to connection to the sewer.

PARKING AND ACCESS - GENERAL

- ENG26. Design all access driveways, circulation driveways, parking aisles and car parking spaces in accordance with Australian Standard 2890.1 - Parking Facilities - Off Street Car Parking.
- ENG27. Design all on-street parking in accordance with *AS2890.5:2020 Parking facilities On-street parking*, and Austroads Guide to Road Design.
- ENG28. Design and construct all access, parking and manoeuvring areas with concrete, asphalt or a two-coat bitumen seal.
- ENG29. Provide a minimum of 131 Off Street Car Parking spaces (47 temporary), including a minimum of 3 person with disability (PWD) car parking space and 2 continuous set down zones, generally in accordance with Black Ink Architecture Dwg SK-13 Issue 11 dated 27/02/2024, and which reflect requirements in the SARA decision reference 2310-37472 SRA on 12 January 2024.
- ENG30. Design & construct all off street PWD car parking spaces in accordance with AS2890.6.
- ENG31. Provide vehicle bollards or tyre stops to control vehicular access and to protect landscaping or pedestrian areas where appropriate.

- ENG32. Line mark or otherwise delineate the car park aisles and driveways within the development with directional arrows on the pavement to enable all vehicles to enter and leave the site in a forward gear.
- ENG33. Ensure access to car parking spaces, vehicle loading and manoeuvring areas and driveways remain unobstructed and available for their intended purpose during the hours of operation.
- ENG34. Install all necessary signage for traffic flow e.g. No Entry, One-Way, Left Out Only.

PARKING AND ACCESS - SERVICING

- ENG35. Provide loading bay/drop off facilities for Small Rigid Vehicle, Waste Collection Vehicle, mini bus, and ambulance in the locations generally shown on the approved plan(s) of development.
- ENG36. Design along the route to and from all loading bay facilities and the external road network, all access driveways, circulation driveways, parking aisles and the like with a layout that accommodates the turning movements of all service vehicles, and ensure that all vehicles are able to enter and exit the site in a forward direction.
- ENG37. Ensure loading and unloading operations are conducted wholly within the site and vehicles enter and exit the site in a forward direction.

VEHICLE ACCESS

- ENG38. Accesses to the site between the property boundary and the edge of the Markwell Street/Glendon Street road pavement, shall be constructed in accordance with Council's Standard Drawing IPWEAQ Std Dwg RS-051, Rev F. Ensure that crossovers splay is designed to accommodate turning movements of the longest expected service vehicle.

Timing: Prior to commencement of Stage 2 of the development.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

- ENG39. Construct any new crossovers such that the edge of the crossover is no closer than 1 metre to any existing or proposed infrastructure, including any stormwater gully pit, manhole, service infrastructure (eg power pole, telecommunications pit), road infrastructure (eg street sign, street tree, etc).

REDUNDANT CROSSOVERS

- ENG40. Remove all redundant crossovers and reinstate the kerb and channel, road pavement, services, verge and any footpath to the standard immediately adjacent along the frontage of the site.

ROADWORKS – FRONTAGE WORKS

- ENG41. Design and construct the Markwell Street and Glendon Street frontage of the proposed development in accordance with Council Standards, relevant Austroads' Standards, and Council's Planning Scheme. More specifically, include the following:
- Widening of Markwell St pavement and Glendon St pavement to accommodate the proposed parallel parking. This includes any reconstruction of Markwell St and Glendon St to achieve the design levels required for an on-grade transition from the parking spaces to the footpath;
 - Removal of the existing PWD carpark on Markwell St and Glendon St frontage;
 - Replacement of the kerb and channel or the construction of Stormwater drainage culvert feature along the carpark edge. The Carpark spaces are to be on Grade with the footpath, for the full Glendon Street frontage;

- d) Full width concrete footpath between the kerb and channel, the car park spaces, and property boundary for Markwell Street and Glendon Street frontages;
- e) Provision for stormwater drainage (including adjusting manhole levels), line marking, signage (including parking restrictions) and kerb ramps.

Comment: Roadworks (including footpath works) shall be carried out under an Operational Work application.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

ROADWORKS AND PEDESTRIAN SAFETY

ENG42. Install signage for all works on or near roadways in accordance with the Manual for Uniform Traffic Control Devices – Part 3, Works on Roads.

ENG43. Submit to Council, an application for any footpath, road or lane closures, and ensure all conditions of that approval are complied with during construction of the works.

ENG44. Maintain safe pedestrian access along Council's footpaths at all times.

ELECTRICITY AND TELECOMMUNICATION

ENG45. Connect the development to electricity and telecommunication services.

EARTHWORKS – GENERAL

ENG46. Earthworks per site involving cut or fill with a quantity of material greater than 50m³, requires an Operational Work application.

ENG47. Undertake earthworks in accordance with the provisions of AS3798 Guidelines on Earthworks for Commercial and Residential Developments.

EROSION AND SEDIMENT CONTROL – GENERAL

ENG48. Ensure that all reasonable actions are taken to prevent sediment or sediment laden water from being transported to adjoining properties, roads and/or stormwater drainage systems.

ENG49. Remove and clean-up sediment or other pollutants in the event that sediment or other pollutants are tracked/released onto adjoining streets or stormwater systems, at no cost to Council.

STAGE 3 CONDITIONS

GENERAL

Unless otherwise amended by the following conditions.

GEN2. The development must be completed and maintained generally in accordance with the approved plans and documents and any amendments arising through conditions to this development approval (refer to the **approved plans** cited under condition GEN1.).

GEN3. All works including the repair or relocation of services (Telstra/lighting) are to be completed at no cost to council.

GEN4. The applicant is required to maintain the site in a clean and orderly state at all times.

COMPLIANCE ASSESSMENT

GEN5. All conditions of this approval are to be satisfied prior to Council issuing a compliance certificate for the commencement of the use and it's and it is the applicant's responsibility to notify Council to inspect compliance with conditions.

Compliance certificate fee will be charged with payment required prior to council approval of the associated documentation requiring compliance assessment.

CONDITION TIMING

GEN6. Unless stated otherwise, all conditions are to be complied with prior to commencement of the use and compliance maintained at all times while the use continues.

BUILDING MANAGEMENT STATEMENT

GEN7. Ensure a Building Management Statement is registered on the title for each proposed lot.

The Building Management Statement must cover common building management items including but not limited to any shared:

- Support, services and utilities;
- Pedestrian and vehicle access;
- Car parking including visitor and disabled spaces;
- Vehicle servicing areas including loading docks;
- Refuse storage and collection areas;
- Storage areas; and
- Recreation areas.

Timing: As part of the registration of the plan of subdivision notated by Council and then to be maintained.

GEN8. The building management statement must be submitted to, and the content accepted by South Burnett Regional Council's 'Development Services'.

GEN9. Lodge the accepted building Management Statement with the Registrar of Titles for the relevant Queensland State Government Authority.

GEN10. Submit to South Burnett Regional Council's 'Development Services' evidence of the registration of the accepted Building Management Statement.

PLANNING**NATURE & EXTENT OF THE APPROVED USE**

MCU1. Stage 3 uses are limited to those identified on the approved plans (Ground Level through to Level 6).

MCU2. Roof top is to be limited to garden areas only unless otherwise stated on the approved drawings.

DEMOLITION

MCU3. Demolish buildings/structures on the site in accordance with the approved drawings and where applicable the approved Construction Management Plan.

MCU4. If construction for Stage 3 does not commence within 3 months of the demolition of the existing buildings (on site), the site must be turfed and appropriately treated for erosion and sediment control.

BUILDING HEIGHT

MCU5. The maximum building height (Stage 3) must be in accordance with the following:

- Maximum overall vertical height is to be consistent with finished levels shown (and scaled) on the approved drawing SK-29_Section S01_ (issue 09) _date 5 October 2023; and

- Total number of storeys is 7 with arrangement (of storeys) to be in accordance with that shown in approved drawing SK-29_Section S01_ (issue 09) _date 5 October 2023.

EXTERNAL ARCHITECTURAL DETAILS

MCU6. External details of the building façade treatment, external materials, colours and finishes must be consistent with approved drawings and documents.

LIGHTING

MCU7. Install and maintain a suitable system of security lighting to operate from dusk till dawn within all areas where the public may gain access, including carparking areas, building entrances, and vegetated areas.

MCU8. Design of all external lighting in accordance with AS 4282-1997 '*Control of obtrusive effects of outdoor lighting*', ensuring that light spillage does not cause nuisance to nearby sensitive uses.

MCU9. Provide certification from a suitably qualified professional that all security lighting installed complies with applicable Australian Standards and retains acceptable impacts on adjoining (or nearby) sensitive uses.

FENCING AND ACOUSTIC TREATMENTS

MCU10. All fencing and acoustic treatments to be in accordance with the CRG Acoustics - Environmental Noise Impact Assessment, Reference 23062, Revision 4, Dated 27 November 2023.

Nb. The combined height of the retaining wall, fencing and/or acoustic barrier must not exceed the adopted height as referred to in the Environmental Noise Impact Assessment.

LANDSCAPING

MCU11. Construct landscaping in accordance with the prepared landscape concept plan, the relevant council standards, best trade practise, and the following conditions.

- If the extent or configuration of landscaped areas has been marginally amended from the plan, then adjust plant numbers to ensure full coverage.
- Provide a 3-tier landscape structure to all landscape areas IE trees shrubs and ground covers.
- Maximise opportunities for stormwater infiltration into landscaped areas (where available).
- Maintain the landscape works generally in accordance with the detailed plans and to industry standards.

SCREEN MECHANICAL PLANT

MCU12. Install and maintain suitable screening to all air conditioning, lift motor rooms, plant and service facilities located at the top of or on the external face of the building. The screening structures must be constructed from materials that are consistent with materials used elsewhere on the façade of the building.

ELECTRICITY/TELECOMMUNICATIONS

MCU13. The development is to be supplied with reticulated electricity and telecommunications services.

VISUAL AMENITY & REFLECTIVITY

MCU14. Façade treatments must not cause nuisance from glare and/or inappropriate reflectivity.

~~MCU15. Provide written confirmation from an appropriately qualified professional that façade treatments do not generate unreasonable glare, or reflectivity.~~

NOISE

MCU16. Carry out the development in accordance with the CRG Acoustics report reference_23062_REV4 recommendations as they relate to works associated with Stage 3 of this approval.

MCU17. A suitably qualified Acoustic Consultant shall provide written confirmation that all CRG Acoustics report reference_23062_REV4 recommendations (relevant to **Stage 3**) are in place.

Timing: Prior to issue of certificate of classification/Final Inspection Certificate, or prior to commencement of use (whichever comes first).

MCU18. Operation of trucks and commercial vehicles (excluding waste collection vehicles and emergency vehicles) must only occur between 7am & 7pm Monday to Saturday.

MCU19. All metal grilles, metal plates or similar subject to vehicular traffic must be acoustically damped to prevent environmental nuisance.

MCU20. Following the installation of all mechanical plant and equipment (e.g. air conditioning, mechanical ventilation, and refrigeration equipment and heat pump hot water systems), submit to South Burnett Regional Council's 'Development Services' certification that the plant and equipment is adequately noise-attenuated and in accordance with applicable Planning Scheme Codes/policies (and other applicable laws).

CAR PARKING

MCU21. Car parking within the premises must be maintained exclusively for the ancillary use of the development. The parking must be retained for purposes associated with the approved development.

ENGINEERING WORKS

ENG1. Submit to Council, an Operational Work application for all civil works including earthworks, stormwater, water supply, sewer, roadworks, access and parking, erosion and sediment control.

ENG2. Complete all works approved and works required by conditions of this development approval and/or any related approvals at no cost to Council, prior to commencement of the use unless stated otherwise.

ENG3. Be responsible for the full cost of any alterations necessary to electricity, telephone, water mains, sewer mains, stormwater drainage systems or easements and/or other public utility installations resulting from the development or from road and drainage works required in connection with the development.

ENG4. Submit to Council, certification from a suitably qualified Engineer (RPEQ) that the works have been undertaken in accordance with the Approved Plans and specifications and to Council's requirements, prior to commencement of the use.

MAINTENANCE

ENG5. Maintain all works that will become Council infrastructure for a period of 12 months (maintenance period) from the date of on-maintenance. Any defective works must be rectified within the maintenance period.

- ENG6. Provide Council with a maintenance bond in an acceptable form equal to 5% of the value of Council's infrastructure prior to commencement of the maintenance period.

LOCATION, PROTECTION AND REPAIR OF DAMAGE TO COUNCIL AND PUBLIC UTILITY SERVICES INFRASTRUCTURE AND ASSETS

- ENG7. Be responsible for the location and protection of any Council and public utility services infrastructure and assets that may be impacted on during construction of the development.
- ENG8. Repair all damages incurred to Council and public utility services infrastructure and assets, as a result of the proposed development immediately should hazards exist for public health and safety or vehicular safety. Otherwise, repair all damages immediately upon completion of works associated with the development.
- ENG9. Repair any and all damage to Councils road network resulting from the construction of the development. In particular, Glendon Street is unlikely to be able to support the types of vehicles and associated loadings that will be required for construction of the development (e.g. construction equipment, materials delivery etc), and failure of the pavement and surface is expected.

Comment: Council is open to discussing a suitable approach to the ongoing maintenance of roads, to ensure that failures and repairs are rectified in a timely manner, so that Council roads are safe for all road users at all times.

CONSTRUCTION TRAFFIC ROUTES

- ENG10. All construction traffic associated with the development (excluding light vehicles) shall enter and exit the site via Glendon Street, between Avoca Street and the concrete median south of the roundabout at the intersection of Glendon Street and Markwell Street. All construction traffic shall enter and exit Glendon Street from the Avoca Street end. No other transport route to or from the site shall be used without the written consent of Council.

CONSTRUCTION AND NUISANCE MANAGEMENT PLAN

- ENG11. Submit to Council for endorsement, a Construction and Nuisance Management Plan for approved development works for the site. The Plan is to cover where applicable, the following:
- a) air quality management;
 - b) noise and vibration management;
 - c) storm water quality management;
 - d) erosion and sediment management;
 - e) vegetation management;
 - f) waste management;
 - g) complaint management;
 - h) community awareness;
 - i) preparation of site work plans;
 - j) workers' car parking arrangements;
 - k) traffic control during works; and
 - l) delivery of materials.

Timing: Prior to commencement of works.

- ENG12. Implement the approved Construction Management Plan at all times during construction of the development.
- ENG13. Ensure a legible copy of the approved Construction Management Plan is available on-site at all times during construction and earthworks.

STORMWATER MANAGEMENT

- ENG14. Provide stormwater management generally in accordance with the Conceptual Site Based Stormwater Management Plan prepared by RMA Engineers, Revision 1, dated 30 August 2023, subject to detailed design and except as altered by conditions of this development approval.
- ENG15. Provide overland flow paths that do not adversely alter the characteristics of existing overland flows on other properties or that create an increase in flood damage on other properties.
- ENG16. Design and construct stormwater drainage incorporating measures to prevent any solid matter and floatable oils being carried into existing stormwater system.
- ENG17. Stormwater from sealed areas and overflow pipes from stormwater detention structures and/or tanks installed for the stormwater system is required to be piped to the kerb and channel.
- ENG18. Design and construct all internal stormwater drainage works to comply with the relevant Section/s of AS/NZS 3500.3.2.
- ENG19. Ensure that adjoining properties and roadways are protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.
- ENG20. Discharge all minor storm flows that fall or pass onto the site to the lawful point of discharge in accordance with the Queensland Urban Drainage Manual (QUDM).

WATER SUPPLY

- ENG21. Connect the development to Council's reticulated water supply system via a single connection, designed to Council and WWBROC requirements.

SEWERAGE

- ENG22. Connect the development to Council's reticulated sewerage system via a single connection. The connection must be designed in accordance with Council and WWBROC standards and be approved by Council's Utility Services Section.
- ENG23. Actual connection to Council's live sewerage infrastructure must be undertaken by or under the supervision of Council.
- ENG24. Any works within the vicinity of an existing or proposed sewer shall meet the requirements of QDC *MP1.4 Building over or near relevant infrastructure*.

TRADE WASTE DISPOSAL (COMMERCIAL KITCHEN)

- ENG25. Connect any commercial kitchen to Council's sewer reticulation. Obtain a Plumbing Approval from Council with the relevant inspections undertaken prior to connection to the sewer.

PARKING AND ACCESS - GENERAL

- ENG26. Design all access driveways, circulation driveways, parking aisles and car parking spaces in accordance with Australian Standard 2890.1 - Parking Facilities - Off Street Car Parking.
- ENG27. Design all on-street parking in accordance with AS2890.5:2020 Parking facilities On-street parking, and Austroads Guide to Road Design.
- ENG28. Design and construct all access, parking and manoeuvring areas with concrete, asphalt or a two-coat bitumen seal.

- ENG29. Provide a minimum of 167 Off Street Car Parking spaces, including a minimum of 6 person with disability (PWD) car parking space and 2 continuous set down zones generally in accordance with Black Ink Architecture Dwg SK-20 Issue 11 dated 27/02/2024, and which reflect requirements in the SARA decision reference 2310-37472 SRA on 12 January 2024.
- ENG30. Design & construct all off street PWD car parking spaces in accordance with AS2890.6.
- ENG31. Provide vehicle bollards or tyre stops to control vehicular access and to protect landscaping or pedestrian areas where appropriate.
- ENG32. Line mark or otherwise delineate the car park aisles and driveways within the development with directional arrows on the pavement to enable all vehicles to enter and leave the site in a forward gear.
- ENG33. Ensure access to car parking spaces, vehicle loading and manoeuvring areas and driveways remain unobstructed and available for their intended purpose during the hours of operation.
- ENG34. Install all necessary signage for traffic flow e.g. No Entry, One-Way, Left Out Only.

PARKING AND ACCESS - SERVICING

- ENG35. Provide loading bay/drop off facilities for Small Rigid Vehicle, Waste Collection Vehicle, mini bus, and ambulance in the locations generally shown on the approved plan(s) of development.
- ENG36. Design along the route to and from all loading bay facilities and the external road network, all access driveways, circulation driveways, parking aisles and the like with a layout that accommodates the turning movements of all service vehicles, and ensure that all vehicles are able to enter and exit the site in a forward direction.
- ENG37. Ensure loading and unloading operations are conducted wholly within the site and vehicles enter and exit the site in a forward direction.

VEHICLE ACCESS

- ENG38. Accesses to the site between the property boundary and the edge of the Markwell Street/Glendon Street road pavement, shall be constructed in accordance with Council's Standard Drawing IPWEAQ Std Dwg RS-051, Rev F. Ensure that crossovers splay is designed to accommodate turning movements of the longest expected service vehicle.

Timing: Prior to commencement of Stage 3 of the development.

Comment: This condition is imposed pursuant to Section 145 of the *Planning Act 2016*.

- ENG39. Construct any new crossovers such that the edge of the crossover is no closer than 1 metre to any existing or proposed infrastructure, including any stormwater gully pit, manhole, service infrastructure (eg power pole, telecommunications pit), road infrastructure (eg street sign, street tree, etc).

REDUNDANT CROSSOVERS

- ENG40. Remove all redundant crossovers and reinstate the kerb and channel, road pavement, services, verge and any footpath to the standard immediately adjacent along the frontage of the site.

ROADWORKS AND PEDESTRIAN SAFETY

- ENG41. Install signage for all works on or near roadways in accordance with the Manual for Uniform Traffic Control Devices – Part 3, Works on Roads.
- ENG42. Submit to Council, an application for any footpath, road or lane closures, and ensure all conditions of that approval are complied with during construction of the works.
- ENG43. Maintain safe pedestrian access along Council's footpaths at all times.

ELECTRICITY AND TELECOMMUNICATION

- ENG44. Connect the development to electricity and telecommunication services.

EARTHWORKS - GENERAL

- ENG45. Earthworks per site involving cut or fill with a quantity of material greater than 50m³, requires an Operational Work application.
- ENG46. Undertake earthworks in accordance with the provisions of AS3798 Guidelines on Earthworks for Commercial and Residential Developments.

EROSION AND SEDIMENT CONTROL - GENERAL

- ENG47. Ensure that all reasonable actions are taken to prevent sediment or sediment laden water from being transported to adjoining properties, roads and/or stormwater drainage systems.
- ENG48. Remove and clean-up sediment or other pollutants in the event that sediment or other pollutants are tracked/released onto adjoining streets or stormwater systems, at no cost to Council.

ADVICE APPLICABLE TO ALL STAGES

- ADV1. Infrastructure charges are now levied by way of an infrastructure charges notice, issued pursuant to section 119 of the *Planning Act 2016*.
- ADV2. Council is offering a reduction in infrastructure charges payable through the development incentive scheme which is available between 1 December 2020 and 31 December 2025. Eligible development under this scheme is required to be completed by 31 December 2025.
- For further information or application form please refer to the rules and procedures available on Council's website.
- ADV3. Section 85 (1)(a) of the Planning Act 2016 provides that, if this approval is not acted upon within the period of six (6) years the approval will lapse.
- ADV4. This development approval does not authorise any activity that may harm Aboriginal Cultural Heritage. Under the Aboriginal Cultural Heritage Act 2003 you have a duty of care in relation to such heritage. Section 23(1) provides that "A person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal Cultural Heritage." Council does not warrant that the approved development avoids affecting Aboriginal Cultural Heritage. It may therefore, be prudent for you to carry out searches, consultation, or a Cultural Heritage assessment to ascertain the presence or otherwise of Aboriginal Cultural Heritage. The Act and the associated duty of care guidelines explain your obligations in more detail and should be consulted before proceeding. A search can be arranged by visiting <https://www.datsip.qld.gov.au> and filling out the Aboriginal and Torres Strait Islander Cultural Heritage Search Request Form.

- ADV5. Attached for your information is a copy of Chapter 6 of the Planning Act 2016 as regards Appeal Rights.
- ADV6. SARA has imposed conditions on the development permit as attached as Attachment D.
- ADV7. Landscape planting to be carried out in accordance with South Burnett Regional Council Planting Guidelines/Branching Out Guide.
- ADV8. Odours or airborne contaminants which are noxious or offensive to public amenity or safety, likely to cause environmental harm or environmental nuisance or exceed the Air Quality Objectives listed in the Environmental Protection (Air) Policy 2019 as measured at any sensitive place or commercial place must not be released to the atmosphere during building work and throughout the life of this development.
- ADV9. Noise from activity associated with the use of the subject land must not exceed the Acoustic Quality Objectives listed in the Environment Protection (Noise) Policy 2019 when measured at any sensitive receptor.

FINANCIAL AND RESOURCE IMPLICATIONS

No implication can be identified.

LINK TO CORPORATE/OPERATIONAL PLAN

Growing our Region's Economy and Prosperity

- GR8 Support and advocate for appropriate growth and development with responsive planning schemes, process, customer service and other initiatives.

COMMUNICATION/CONSULTATION (INTERNAL/EXTERNAL)

Refer to CONSULTATION in this report.

LEGAL IMPLICATIONS (STATUTORY BASIS, LEGAL RISKS)

No implication identified.

POLICY/LOCAL LAW/DELEGATION IMPLICATIONS

No implication can be identified.

ASSET MANAGEMENT IMPLICATIONS

No implication can be identified.

REPORT

1. NEGOTIATED REPORT

Council on 24 January 2024, decided to issue the following type of approval:

- Development Permit for Material Change of Use for a Staged Mixed-Use Development – Residential Care Facility, Health Care Service, Hospital, Child Care Centre and Food & Drink Outlets/Shop at 25 & 31 Markwell Street & 7 Glendon Street, Kingaroy (and described as Lot 1 on RP42037, Lot 1 on RP57027, Lots 2 & 3 on RP7625 & Lots 4 & 5 on SP146001).

Representations are made with regards to changing condition/s –

APPLICATION SUMMARY	
Applicant:	Isaac Consulting
Owner:	Ethos Health Care Pty Ltd & C 59 Pty Ltd
Type of Application:	Material Change of Use
Street Address:	<ul style="list-style-type: none"> • 25 and 31 Markwell Street, Kingaroy QLD 4610 • 7 Glendon Street, Kingaroy QLD 4610
RP Description:	Lot 1 on RP57027 Lot 1 on RP42037 Lots 2 & 3 on RP7925 Lots 4 & 5 on SP146001
State Referral Agencies:	Department of Transport & Main Roads
Referred Internal Specialists:	Engineering

The following table outlines the proposed development:

PROPOSED DEVELOPMENT	
Proposed Development:	Hospital Medical Facilities Residential Care Facility NDIS Accommodation Childcare Centre
Variations Sought:	Height of 7 storeys
Level of Assessment:	Impact
Decision Making Period Ends:	N/A

The following table describes the key development parameters for the proposal:

Material Change of Use	DEVELOPMENT PARAMETERS
Gross Floor Area	36,712.3m ²
Building Height	33.5m above ground level – 7 Storeys
Storeys (Height)	7
Site Cover	84%
Landscape	Streetscape works at ground. Containerised planting above ground.
Number of parking spaces	167 on-site parking spaces 2 on-site ambulance bays 6 PWD bays 2 continuous set down zones
Access	Markwell St
Design Vehicle	B99, Van, MRV, RCV
Setbacks	As indicated on the approved plans.

2. THE SITE

This section of the report provides a description of the site, details about the existing use and notable characteristics of the site, the standard of servicing, and the form of development in the immediately locality.

2.1. SITE DESCRIPTION & EXISTING USE

Table 1 – Maps & Descriptions (Source: Intramaps)

<p>Site</p>	 <p><i>Figure 1 - Highlighted lots that are part of the proposed Mixed Use Development</i></p> <p>The subject site is located in the Principal Centre and Community Facilities Zone, which is made up of low set community facilities, large retail centre adjacent to the subject site, fronting Alford Street and Kingaroy Street. Several low rise retail strip shops along Alford Street and government buildings.</p>
<p>Zoning</p>	 <p><i>Figure 2 – zoning of the proposed Mixed Use Development</i></p> <p>The subject site adjoins State Emergency Services to the south, Cherbourg Regional Aboriginal and Islander Community Health Services Clinic to the south - west, Rooms Motel Short term accommodation to the west including single storey dwelling house.</p>

Overlays

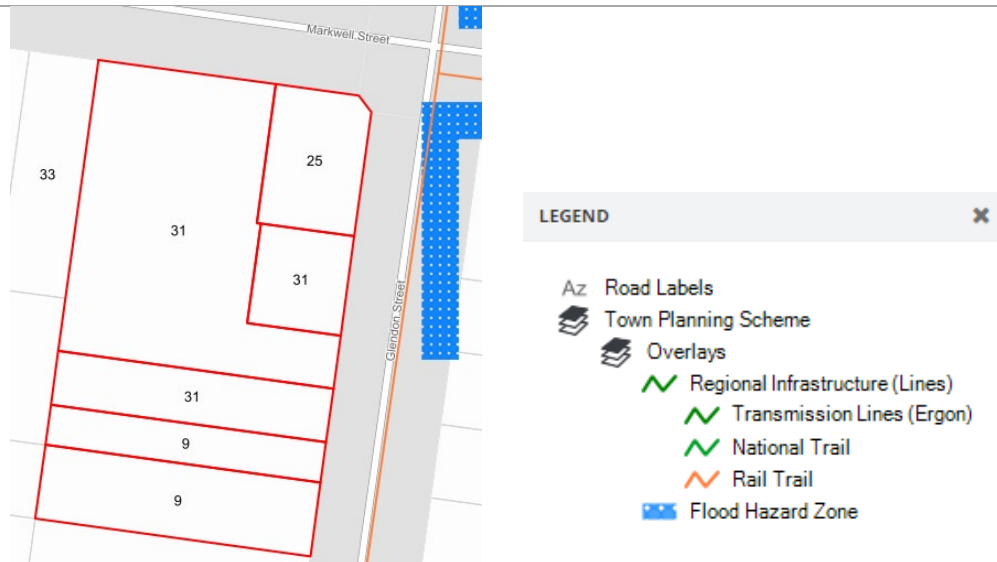


Figure 3 - Subject site is not constrained by Bushfire/Flood Hazard.

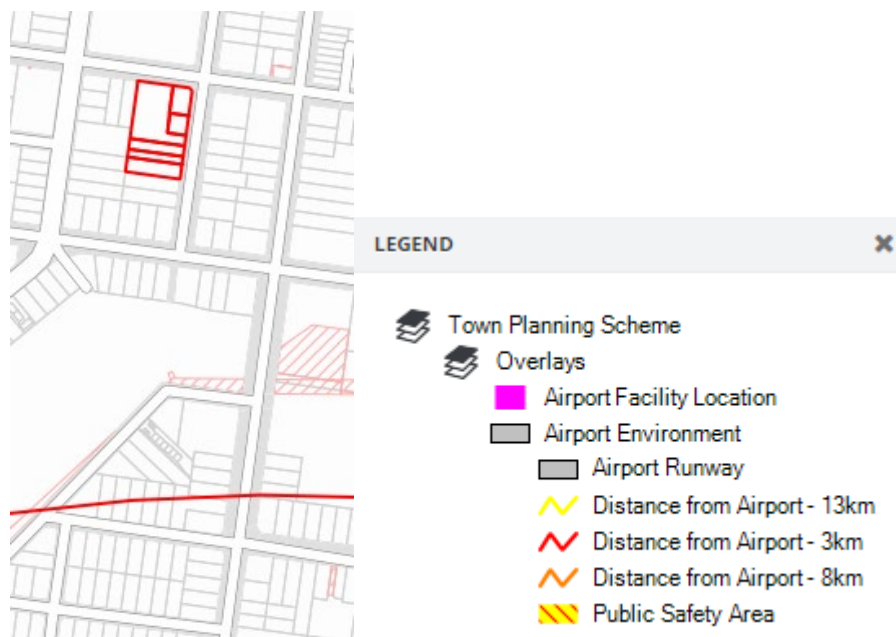


Figure 4 - Subject site is within 8km from the Airport.

Services

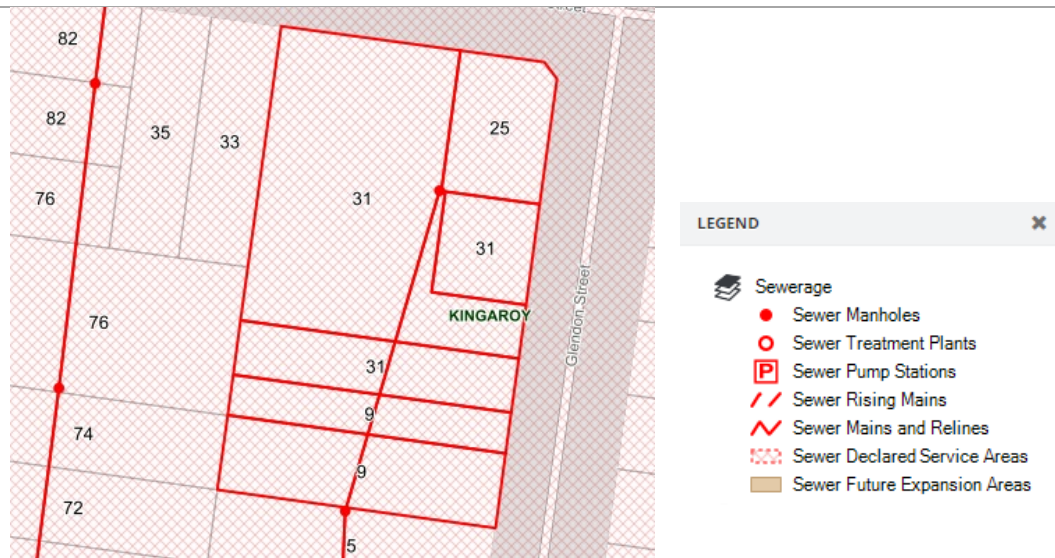


Figure 5 - Source: IntraMaps (Sewer Reticulation Network).



Figure 6 - Source: IntraMaps (Stormwater Network).

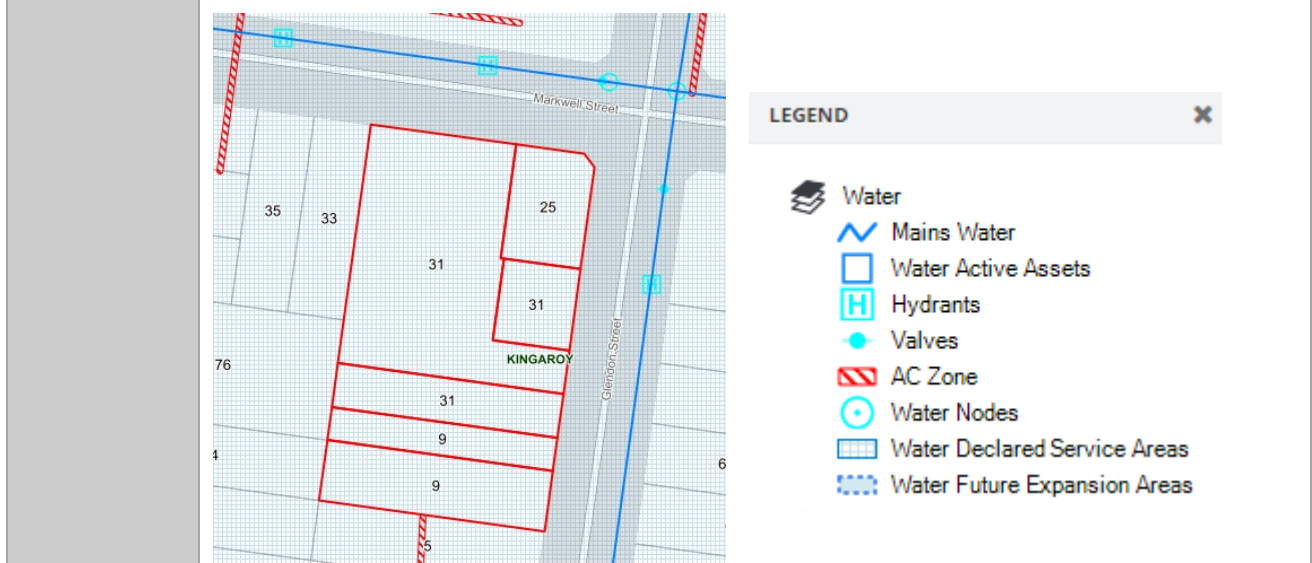


Figure 7 - Source: IntraMaps (Water Supply Network).

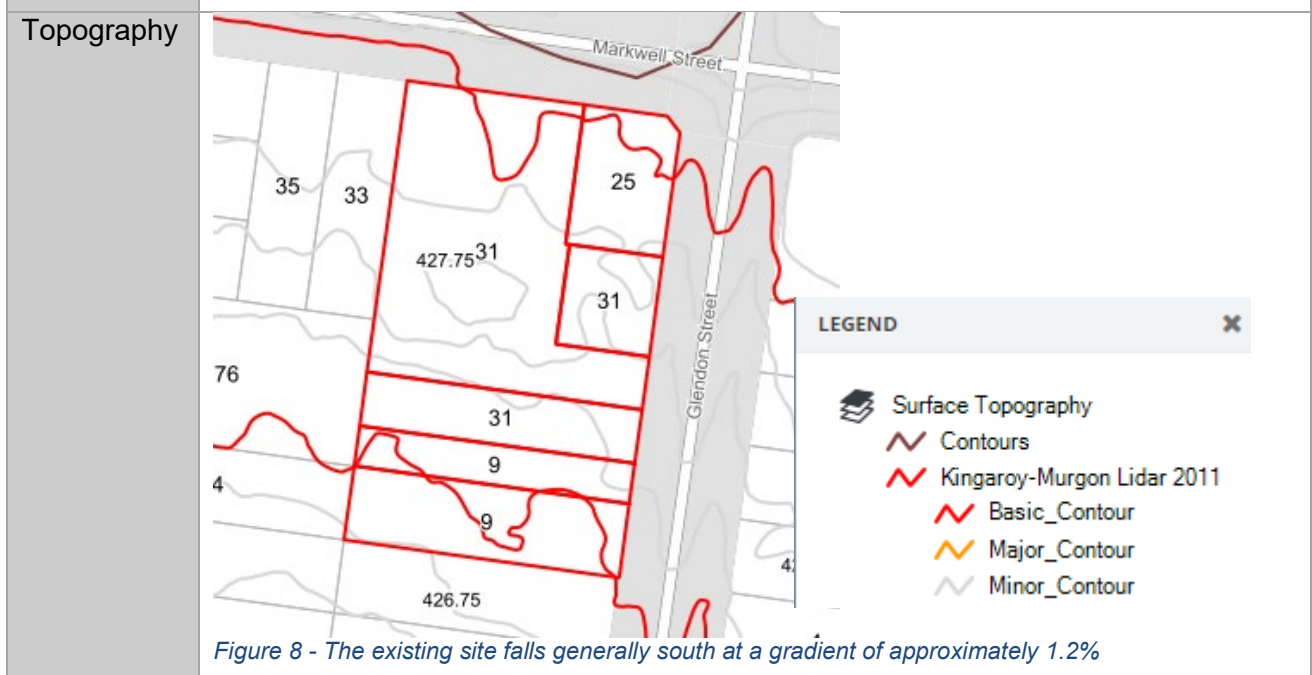


Figure 8 - The existing site falls generally south at a gradient of approximately 1.2%

SITE AND LOCALITY DESCRIPTION	
Land Area:	9,477m ²
Existing Use of Land:	Hospital Medical Facilities
Road Frontage:	200 metres
Site description:	Currently improved by several buildings involved in health care & medical use.
Topography:	Generally Flat
Surrounding Land Uses:	<ul style="list-style-type: none"> Commercial/Retail/Community Use

3. APPLICATION REPRESENTATIONS ON THE DECISION

Changes to plans and conditions of approval have been proposed by the applicant. The following table identifies the relevant plans and conditions to be amended, the officer’s assessment of the proposed amendments and any recommended amendments to the condition/s.

The Table below contains summary of the applicant’s representations and the officer’s assessment and recommendations.

1) Change to Ground Level Plans stage 1, stage 2, stage 3.
Ground level plans (for all stages) have been amended to account for: <ul style="list-style-type: none"> Revised set down/drop of areas internal to the development site; Installation of continuous set down, PWD bay, and parking bays within the Glendon Street road pavement; Revised internal pedestrian movement paths from stage 3’s formal parking area.
1) Officer’s Assessment
Ground level plans for stage 1, stage 2, & stage 3 have been reviewed and appears to be consistent with the State Assessment and Referral Agencies (SARA) amendments made pursuant to SARA reference 2310-37472 SRA on 12 January 2024.
1) Recommendation
Changes to Ground Level Plans for stage 1, stage 2, and stage 3 are supported.
2) Documents Referred to in the Approval
The CRG Acoustics Environmental Noise Impact Assessment referenced in the approval is revision 2, not revision 4.
2) Officer’s Assessment
Updating the document version number is supported.
2) Recommendation
Amend the Documents Referred to section of the approval to include CRG Acoustics Environmental Noise Impact Assessment_23062 Revision_4 Dated 27 th November 2023.
3) Conditions Stage 1
The applicant has requested changes to specific conditions as outlined.
3) Officer’s Assessment (Stage 1 Conditions)
<p>GEN 4 – This condition required amalgamation of all existing lots into a single lot prior to commencement of site works. The applicant advised that parts of the development will undergo a volumetric subdivision for each stage and as a result cancel the balance lot. Accordingly, the staged development will be titled appropriately with existing lots removed.</p> <p>Note: This condition is intentionally crossed out (removed) to preserve existing numbering of all other conditions.</p> <p>MCU6 – This condition required certification that finished Floor Levels be in accordance with RL’s identified on approved elevations and sections. The applicant has advised that RL’s on the approved elevations and sections may change (slightly) during the detailed design process. The condition for height also included a requirement that the development not exceed number of storeys identified on the approved drawings. It was determined that limitation of height to</p>

number of storeys is sufficient as 'slight amendments' to RL's resulting from detailed design will not be easily identifiable nor noticeable and reference to finished floor levels can be removed.

MCU7 – This condition required certification of floor, roof levels and overall height in accordance with MCU6. Floor, and roof levels no longer require certification where the development's height is limited to number of storeys. Therefore, this condition can be amended to certify compliance requirements associated with MCU6 for overall height only.

MCU9 – This condition required installation of a pedestrian awning (over the verge) in Glendon Street. The extent of the pedestrian awning (in Glendon Street) was shown on the approved stage 1 ground level plan. The applicant requested additional text within the condition to ensure requirement for pedestrian awning does not span entire length of Glendon Street. This was considered a reasonable request, hence condition 9 is amended per the applicant's request.

MCU14 – This condition be amended to refer to the updated version of the CRG Acoustics Environmental Noise Impact Assessment 23062 Revision 4 Dated 27th November 2023.

MCU19 – This condition was imposed to ensure that the proposed glass façade does not generate unreasonable glare of reflectivity. The applicant requested complete removal of this condition which was considered and determined that it can be removed on the basis that condition MCU18 still requires that the development minimise glare and reflectivity. Hence, the intent to manage amenity issues remains within this approval.

Note: this condition is intentionally crossed out (removed) to preserve existing numbering of all other conditions.

MCU20 – This Condition is amended to refer to the updated version of the CRG Acoustics Environmental Noise Impact Assessment 23062 Revision 4 Dated 27th November 2023.

MCU21 – This condition is amended to refer to the updated version of the CRG Acoustics Environmental Noise Impact Assessment 23062 Revision 4 Dated 27th November 2023.

ENG31 – This condition was imposed to ensure provision of required parking numbers (for Stage 1). Council's Development Engineer has reviewed the applicant's representations and supports the proposed amendment of the condition in order to reflect requirements in the State Assessment and Referral Agency (SARA) decision reference 2310-37472 SRA on 12 January 2024.

ENG44 – This condition was imposed to ensure appropriate construction of works proposed at the Glendon Street road reserve. Council's Development Engineer has reviewed the applicant's representations and:

- 1) Supports the proposed amendment to condition ENG44 (a) as requested.
- 2) Provided advice that condition ENG44 (b) should remain as originally worded in the 31 January 2024 decision.

Condition ENG44(b) was included as the existing kerb and channel is generally in poor condition, and likely to be further damaged during construction due to the footpath and pavement works. The applicant thought that this condition would impact the design for the on-grade transition between the new parallel parks and the footpath. However, the condition ENG44(b) only relates to kerb and channel outside of the parking/set down areas identified on approved plans. Council's officers explained condition ENG44(b)'s intent to the applicant, hence reason for the condition is clearly understood by all.

3) Recommendation Stage 1

With exception to Condition ENG44(b) all proposed amendments to conditions in Stage 1 (identified above) be supported.

4) Conditions Stage 2

The applicant has requested changes to specific conditions as outlined.

4) Officer's Assessment (Stage 2 Conditions)

<p>MCU8 – This condition required certification that finished Floor Levels be in accordance with RL’s identified on approved elevations and sections. The applicant has advised that RL’s on the approved elevations and sections may change (slightly) during the detailed design process. The condition for height also included a requirement that the development not exceed number of storeys identified on the approved drawings. It was determined that limitation of height to number of storeys is sufficient as ‘slight amendments’ to RL’s resulting from detailed design will not be easily identifiable nor noticeable and reference to finished floor levels can be removed. Note: The plan referenced within the original condition was discovered to be incorrectly referenced and has been amended to the correct Drawing SK-29 Section S01 (Issue 09) Dated 5 October 2023.</p> <p>MCU9 – This condition required certification of <u>floor, roof levels and overall height</u> in accordance with MCU8. Floor, and roof levels no longer require certification where the development’s height is limited to number of storeys. Therefore, this condition can be amended to certify compliance requirements associated with MCU8 for overall height only.</p> <p>MCU20 – This condition was imposed to ensure that the proposed glass façade does not generate unreasonable glare of reflectivity. The applicant requested complete removal of this condition which was considered and determined that it can be removed on the basis that condition MCU19 still requires that the development minimise glare and reflectivity. Hence, the intent to manage amenity issues remains within this approval. Note: this condition is intentionally crossed out (removed) to preserve existing numbering of all other conditions.</p> <p>MCU21 – This condition is amended to refer to the updated version of the CRG Acoustics Environmental Noise Impact Assessment 23062 Revision 4 Dated 27th November 2023.</p> <p>MCU22 – This condition is amended to refer to the updated version of the CRG Acoustics Environmental Noise Impact Assessment 23062 Revision 4 Dated 27th November 2023.</p> <p>ENG29 – This condition was imposed to ensure provision of required parking numbers (for Stage 2). Council’s Development Engineer has reviewed the applicant’s representations supports the proposed amendment of the condition in order to reflect requirements in the State Assessment and Referral Agency (SARA) decision reference 2310-37472 SRA on 12 January 2024.</p> <p>ENG41 – This condition was imposed to ensure appropriate construction of works proposed at the Markwell Street and Glendon Street road reserve. Council’s Development Engineer has reviewed the applicant’s representations and accepted all proposed changes.</p>
<p>4) Recommendation Stage 2</p> <p>All proposed amendments to conditions in Stage 2 (identified above) be supported.</p>
<p>5) Conditions Stage 3</p> <p>The applicant has requested changes to specific conditions as outlined.</p>
<p>5) Officer’s Assessment (Stage 3 Conditions)</p> <p>MCU5 – This condition required certification that finished Floor Levels be in accordance with RL’s identified on approved elevations and sections. The applicant has advised that RL’s on the approved elevations and sections may change (slightly) during the detailed design process. The condition for height also included a requirement that the development not exceed number of storeys identified on the approved drawings. It was determined that limitation of height to number of storeys is sufficient as ‘slight amendments’ to RL’s resulting from detailed design will not be easily identifiable nor noticeable and reference to finished floor levels can be removed. MCU5 can also amended to correctly refer to 7 storeys. Note: The plan referenced within the original condition was discovered to be incorrectly referenced and has been amended to the correct Drawing SK-29 Section S01 (Issue 09) Dated 5 October 2023.</p>

MCU10 – Condition is amended to refer to CRG Acoustics Environmental Noise Impact Assessment 23062 Revision 4 Dated 27th November 2023.

MCU15 – This condition was imposed to ensure that the proposed glass façade does not generate unreasonable glare of reflectivity. The applicant requested complete removal of this condition which was considered and determined that it can be removed on the basis that condition MCU14 still requires that the development minimise glare and reflectivity. Hence, the intent to manage amenity issues remains within this approval.

Note: this condition is intentionally crossed out (removed) to preserve existing numbering of all other conditions.

MCU16 – This condition is amended to refer to the updated version of the CRG Acoustics Environmental Noise Impact Assessment 23062 Revision 4 Dated 27th November 2023.

MCU17 – This condition is amended to refer to the updated version of the CRG Acoustics Environmental Noise Impact Assessment 23062 Revision 4 Dated 27th November 2023.

ENG29 – This condition was imposed to ensure provision of required parking numbers (for Stage 3). Council's Development Engineer has reviewed the applicant's representations supports the proposed amendment of the condition in order to reflect requirements in the State Assessment and Referral Agency (SARA) decision reference 2310-37472 SRA on 12 January 2024.

5) Recommendation Stage 3

All proposed amendments to conditions in Stage 3 (identified above) be supported.

4. CONSULTATION

The application underwent statutory notification from 8 December 2023 until 17 January 2024, there were no submissions received. Assessment of the applicant's representations seeking changes to plans, and conditions was considered minor to which potential for further submissions/objections (based on the changes sought in this negotiated decision) are unlikely.

5. RECOMMENDATION

That Council approve the Negotiated Decision for a Material Change of Use for Residential Care Facility, Health Care Service, Hospital, Child Care Centre and Food & Drink Outlets/Shop at 25 & 31 Markwell Street & 7 Glendon Street, Kingaroy (and described as Lot 1 on RP42037, Lot 1 on RP57027, Lots 2 & 3 on RP7625 & Lots 4 & 5 on SP146001). Applicant: Ethos Health Care Pty Ltd & C 59 Pty Ltd C/- James Isaac Consulting.

ATTACHMENTS

1. **Attachment A - Statement of Reasons**
2. **Attachment B - Infrastructure Charge Notice Stage 1**
3. **Attachment B - Infrastructure Charges Notice Stage 2**
4. **Attachment B - Infrastructure Charges Notice Stage 3**
5. **Attachment C - Approved Plans**
6. **Attachment D - Referral Agency Response**

NOTICE ABOUT DECISION – STATEMENT OF REASONS

The following information is provided in accordance with Section 63(4) & (5) of the Planning Act 2016

SITE DETAILS – MCU23/0024	
Applicant:	Ethos Health Care Pty Ltd (A.C.N. 661 843 992) & C 59 Pty Ltd (A.C.N. 600 809 970) C/- Isaac Consulting Pty Ltd
Proposal:	Material Change of Use – Development Permit for a Staged Mixed-Use Development – Residential care facility, Health care service, Hospital, Child care centre and Food & Drink Outlets/Shop
Properly Made Date:	13 October 2023
Street Address:	25 & 31 Markwell Street & 7 Glendon Street Kingaroy QLD 4610
RP Description:	Lot 1 on RP42037 Lot 1 on RP57027 Lots 4 & 5 on SP146001 Lots 2 & 3 on RP7925
Assessment Type:	Impact Assessment
Number of Submissions:	No Submissions
ISSUE	Refer to item 2 below
Decision:	Approved with conditions
Decision Date:	6 March 2024

1. Assessment Benchmarks

The following are the benchmarks apply to this development:

Wide Bay Burnett Regional Plan

- Objective 1.2 *Plan for our Future* – Policies 1.2.1, 1.2.2, 1,2,3 & 1.2.11.
- Objective 1.3 *'Make place we're proud of'* – Policy 1.3.6.
- Objective 2.3 *'Create employment pathways for all'* – Policies 2.3.1 & 2.3.2

South Burnett Regional Council Planning Scheme 2017 v1.4

- Strategic Framework;
- Principal Centre Zone;
- Community Facility Zone;
- Services & Works Code.

2. Reasons for the Decision

The reasons for this decision are:

- The proposed scale of the development broadly responds to statutory requirements set out under the Wide Bay Burnett Regional Plan
- The proposal is consistent with the South Burnett Regional Planning Scheme 2017 v1.4 Strategic Framework regarding the provision of key infrastructure and services within Kingaroy (as the main South Burnett Regional Centre).
- The proposed uses are consistent with uses envisaged within the South Burnett Regional Planning Scheme's Principal Centre Zone Code & Community Facilities Zone Code.
- The proposal was assessed against and found to comply with the following broad planning criteria (considered as relevant matters in the impact assessment)
 - State Planning Policy 2017 (Liveable Communities).
 - State Planning Policy 2017 (Economic Growth).
 - State Planning Policy 2017 (Safety and Resilience to Hazards)
 - State Planning Policy 2017 (Infrastructure)

- It was determined that sufficient consultation and engagement to inform the community was undertaken via media releases, and statutory notification.
- Reasonable and relevant conditions of approval can be imposed to ensure compliance with the South Burnett Planning Scheme 2017 v1.4 requirements.

3. Compliance with Benchmarks

The development was assessed against all the assessment benchmarks listed above and complies with all of these or can be conditioned to comply.

Note: Each application submitted to Council is assessed individually on its own merit.

INFRASTRUCTURE CHARGES NOTICE

(Section 119 of the Planning Act 2016)

APPLICANT: Ethos Health Care Pty Ltd
 C/- Isaac Consulting Pty Ltd
 2/47 Warner Street
 FORTITUDE VALLEY QLD 4006

APPLICATION: **STAGE 1**
 MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT
 - RESIDENTIAL CARE FACILITY (GENERAL CARE UNITS, NDIS UNITS, PALLIATIVE CARE UNITS AND DEMENTIA CARE UNITS)
 - HEALTH CARE SERVICES
 - HOSPITAL (PLUS 42 X ANCILLARY SHORT TERM STAFF ACCOMMODATION, CAFE/FLOREST)
 - CHILD CARE CENTRE (50 ENROLMENTS)

DATE: 6/3/2024

FILE REFERENCE: MCU23/0024

AMOUNT OF THE LEVIED CHARGE: **\$1,342,200.00** **Total**
(Details of how these charges were calculated are shown overleaf)

	\$657,678.00	Water Supply Network
	\$362,394.00	Sewerage Network
	\$322,128.00	Transport Network
	\$0.00	Parks and Land for Community Facilities Network
	\$0.00	Stormwater Network

AUTOMATIC INCREASE OF LEVIED CHARGE: The amount of the levied charge is subject to an automatic increase. Refer to the Information Notice attached to this notice for more information on how the increase is worked out.

LAND TO WHICH CHARGE APPLIES: Lots 4 & 5 on SP146001, Lot 1 on RP57027, Lots 2 & 3 on RP7925 & Lot 1 on RP42037

SITE ADDRESS: 25 & 31 Markwell Street & 7 Glendon Street, Kingaroy

PAYABLE TO: **South Burnett Regional Council**

WHEN PAYABLE: Material Change of Use – When the change happens.
(In accordance with the timing stated in Section 122 of the Planning Act 2016)

OFFSET OR REFUND: Not Applicable.

This charge is made in accordance with South Burnett Regional Council's **Charges Resolution (No. 3) 2019**

DETAILS OF CALCULATION

Water Supply

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	16,879	m ² GFA	49.00	CR Table 2.2	\$827,071.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	3,457	m ² GFA	\$49.00	CR Table 2.2	\$169,393.00

Sewerage

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	16,879	m ² GFA	27.00	CR Table 2.2	\$455,733.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	3,457	m ² GFA	\$27.00	CR Table 2.2	\$93,339.00

Transport

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	16,879	m ² GFA	24.00	CR Table 2.2	\$405,096.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	3,457	m ² GFA	\$24.00	CR Table 2.2	\$82,968.00

Parks and Land for Community Facilities

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	16,879	m ² GFA	0.00	CR Table 2.2	\$0.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	3,457	m ² GFA	\$0.00	CR Table 2.2	\$0.00

Stormwater

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	6,073	m ² Impervious	2.00	CR Table 2.2	\$12,146.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	6,350	m ² Impervious	2.00	CR Table 2.2	\$12,700.00

Levied Charges

Development Description	Water Supply	Sewerage	Transport	Parks & Land for Community Facilities	Stormwater	Total
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	\$657,678.00	\$362,394.00	\$322,128.00	\$0.00	\$0.00	\$1,342,200.00
Total	\$657,678.00	\$362,394.00	\$322,128.00	\$0.00	\$0.00	\$1,342,200.00

** In accordance with Section 3.3 of the Charges Resolution, the discount may not exceed the adopted charge. Any surplus discounts will not be refunded, except at South Burnett Regional Council's discretion.*

INFORMATION NOTICE

Authority and Reasons for Charge	This Infrastructure Charges Notice has been given in accordance with section 119 of the <i>Planning Act 2016</i> to support the Local government's long-term infrastructure planning and financial sustainability.
Appeals	Pursuant to section 229 and Schedule 1 of the <i>Planning Act 2016</i> a person may appeal an Infrastructure Charges Notice. Attached is an extract from the <i>Planning Act 2016</i> that details your appeal rights.
Automatic Increase Provision of charge rate (\$)	<p>An infrastructure charge levied by South Burnett Regional Council is to be increased by the difference between the Producer Price Index (PPI) applicable at the time the infrastructure charge was levied, and PPI applicable at the time of payment of the levied charge, adjusted by reference to the 3-yearly PPI average¹. If the levied charge is increased using the method described above, the charge payable is the amount equal to the sum of the charge as levied and the amount of the increase.</p> <p>However, the sum of the charge as levied and the amount of the increase is not to exceed the maximum adopted charge the Authority could have levied for the development at the time the charge is paid.</p>
GST	The Federal Government has determined that contributions made by developers to Government for infrastructure and services under the <i>Planning Act 2016</i> are GST exempt.
Making a Payment	<p>This Infrastructure Charges Notice cannot be used to pay your infrastructure charges.</p> <p>To pay the levied charge, you must request an Itemised Breakdown showing the total levied charge payable at the time of payment. An Itemised Breakdown must be presented at the time of payment.</p> <p>An Itemised Breakdown may be requested by emailing info@southburnett.qld.gov.au</p> <p>Payment can be made at any of the following South Burnett Regional Council Offices:</p>

¹ 3-yearly PPI average is defined in section 114 of the *Planning Act 2016* and means the PPI adjusted according to the 3-year moving average quarterly percentage change between financial quarters. PPI Index is the producer price index for construction 6427.0 (ABS PPI) index number 3101 – Road and Bridge construction index for Queensland published by the Australian Bureau of Statistics.

- 69 Hart Street, Blackbutt, 4314;
- 45 Glendon Street, Kingaroy, 4610;
- 42 Stephens Street West, Murgon, 4605;
- 48 Drayton Street, Nanango, 4615;
- McKenzie Street, Wondai, 4606; or
- via other methods identified on the Itemised Breakdown.

Enquiries

Enquiries regarding this Infrastructure Charges Notice should be directed to the SOUTH BURNETT REGIONAL COUNCIL, Department of Planning and Land Management, during office hours, Monday to Friday by phoning (07) 4189 9100 or email at info@southburnett.qld.gov.au

INFRASTRUCTURE CHARGES NOTICE

(Section 119 of the Planning Act 2016)

APPLICANT: Ethos Health Care Pty Ltd
C/- Isaac Consulting Pty Ltd
2/47 Warner Street
FORTITUDE VALLEY QLD 4006

APPLICATION: **STAGE 2**
MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT
- RESIDENTIAL CARE FACILITY (GENERAL CARE UNITS, NDIS UNITS, PALLIATIVE CARE UNITS AND DEMENTIA CARE UNITS)
- HEALTH CARE SERVICES
- HOSPITAL (PLUS 42 X ANCILLARY SHORT TERM STAFF ACCOMMODATION, CAFE/FLOREST)
- CHILD CARE CENTRE (50 ENROLMENTS)

DATE: 6/3/2024

FILE REFERENCE: MCU23/0024

AMOUNT OF THE LEVIED CHARGE: **\$1,430,640.00** **Total**
(Details of how these charges were calculated are shown overleaf)

\$700,273.00	Water Supply Network
\$385,919.00	Sewerage Network
\$343,018.00	Transport Network
\$0.00	Parks and Land for Community Facilities Network
\$1,430.00	Stormwater Network

AUTOMATIC INCREASE OF LEVIED CHARGE: The amount of the levied charge is subject to an automatic increase. Refer to the Information Notice attached to this notice for more information on how the increase is worked out.

LAND TO WHICH CHARGE APPLIES: Lots 4 & 5 on SP146001, Lot 1 on RP57027, Lots 2 & 3 on RP7925 & Lot 1 on RP42037

SITE ADDRESS: 25 & 31 Markwell St & 7 Glendon St, Kingaroy

PAYABLE TO: **South Burnett Regional Council**

WHEN PAYABLE: Material Change of Use – When the change happens.
(In accordance with the timing stated in Section 122 of the Planning Act 2016)

OFFSET OR REFUND: Not Applicable.

This charge is made in accordance with South Burnett Regional Council's **Charges Resolution (No. 3) 2019**

DETAILS OF CALCULATION

Water Supply

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	13,697	m ² GFA	49.00	CR Table 2.2	\$671,153.00
Educational Facility (Childcare)	350	m ² GFA	49.00	CR Table 2.2	\$17,150.00
Retail (commercial Retail)	190	m ² GFA	63.00	CR Table 2.2	\$11,970.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$49.00	CR Table 2.2	\$0.00

Sewerage

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	13,697	m ² GFA	27.00	CR Table 2.2	\$369,819.00
Educational Facility (Childcare)	350	m ² GFA	27.00	CR Table 2.2	\$9,450.00
Retail (commercial Retail)	190	m ² GFA	35.00	CR Table 2.2	\$6,650.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$27.00	CR Table 2.2	\$0.00

Transport

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	13,697	m ² GFA	24.00	CR Table 2.2	\$328,728.00
Educational Facility (Childcare)	350	m ² GFA	24.00	CR Table 2.2	\$8,400.00
Retail (commercial Retail)	190	m ² GFA	31.00	CR Table 2.2	\$5,890.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$24.00	CR Table 2.2	\$0.00

Parks and Land for Community Facilities

Adopted Charges

Development Description	Number of Units	Units of Measure	Charge Rate	Reference	Amount
Essential Services (Hospital, Medical Facilities, Residential Care, NDIS Accommodation, Communal Space)	13,697	m ² GFA	0.00	CR Table 2.2	\$0.00
Educational Facility (Childcare)	350	m ² GFA	0.00	CR Table 2.2	\$0.00
Retail (commercial Retail)	190	m ² GFA	0.00	CR Table 2.2	\$0.00

Discounts*

Description	Number of Units	Units of Measure	Discount Rate	Reference	Amount
Existing lawful use	0	m ² GFA	\$0.00	CR Table 2.2	\$0.00